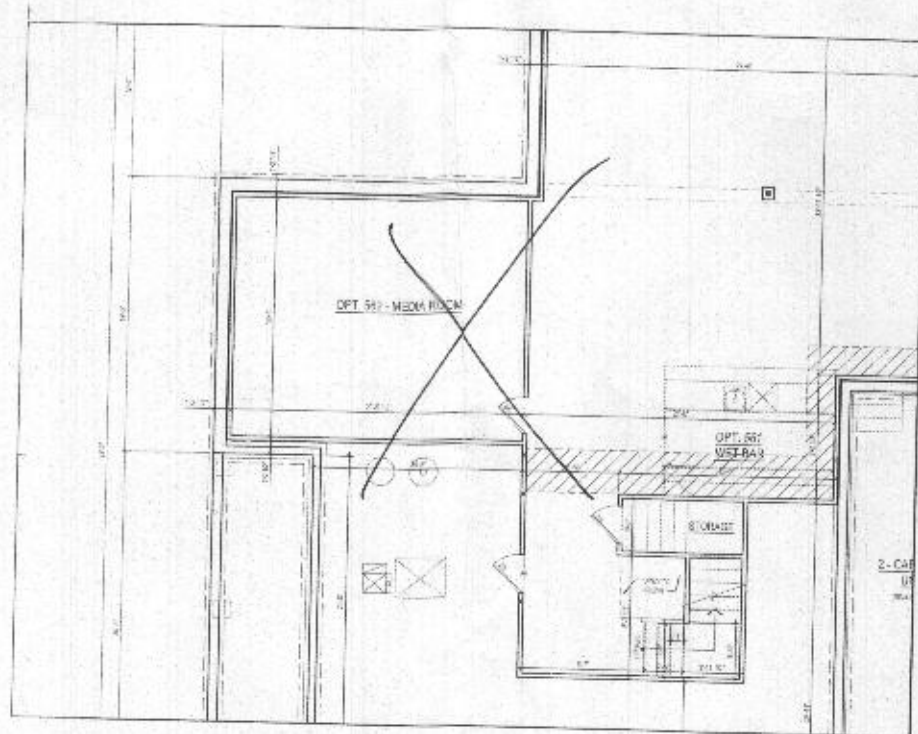
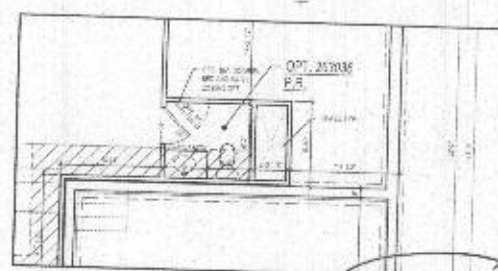


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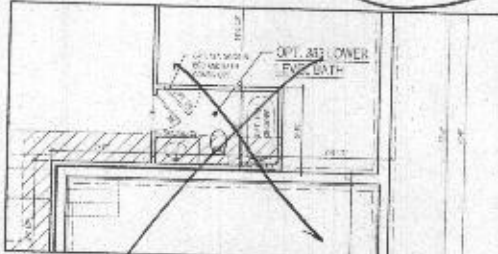
3 PART, BASEMENT PLAN
A-110 SCALE 1/8" = 1'-0"

W OPT 502 - MEDIA ROOM



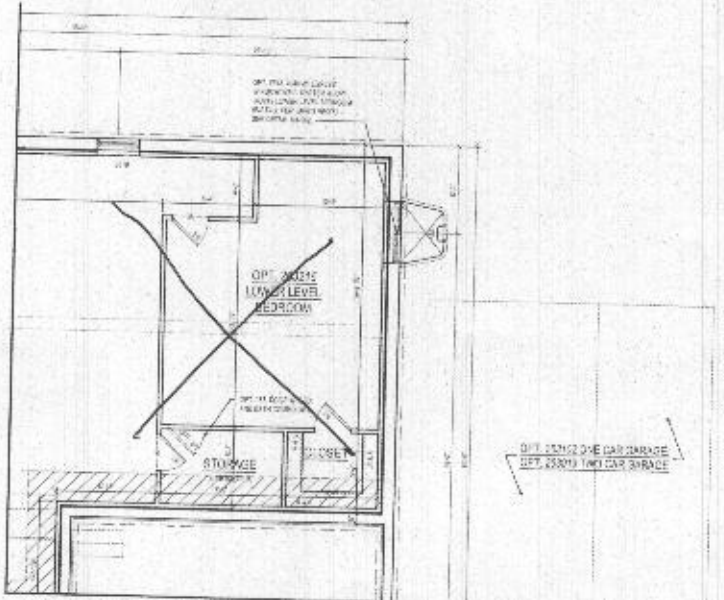
4 PART. BASEMENT PLAN

4 OPT. Z6016 - POWDER ROOM



2 PART. BASEMENT PLAN

W/OPT. 303 - LOWER LEVEL BATH



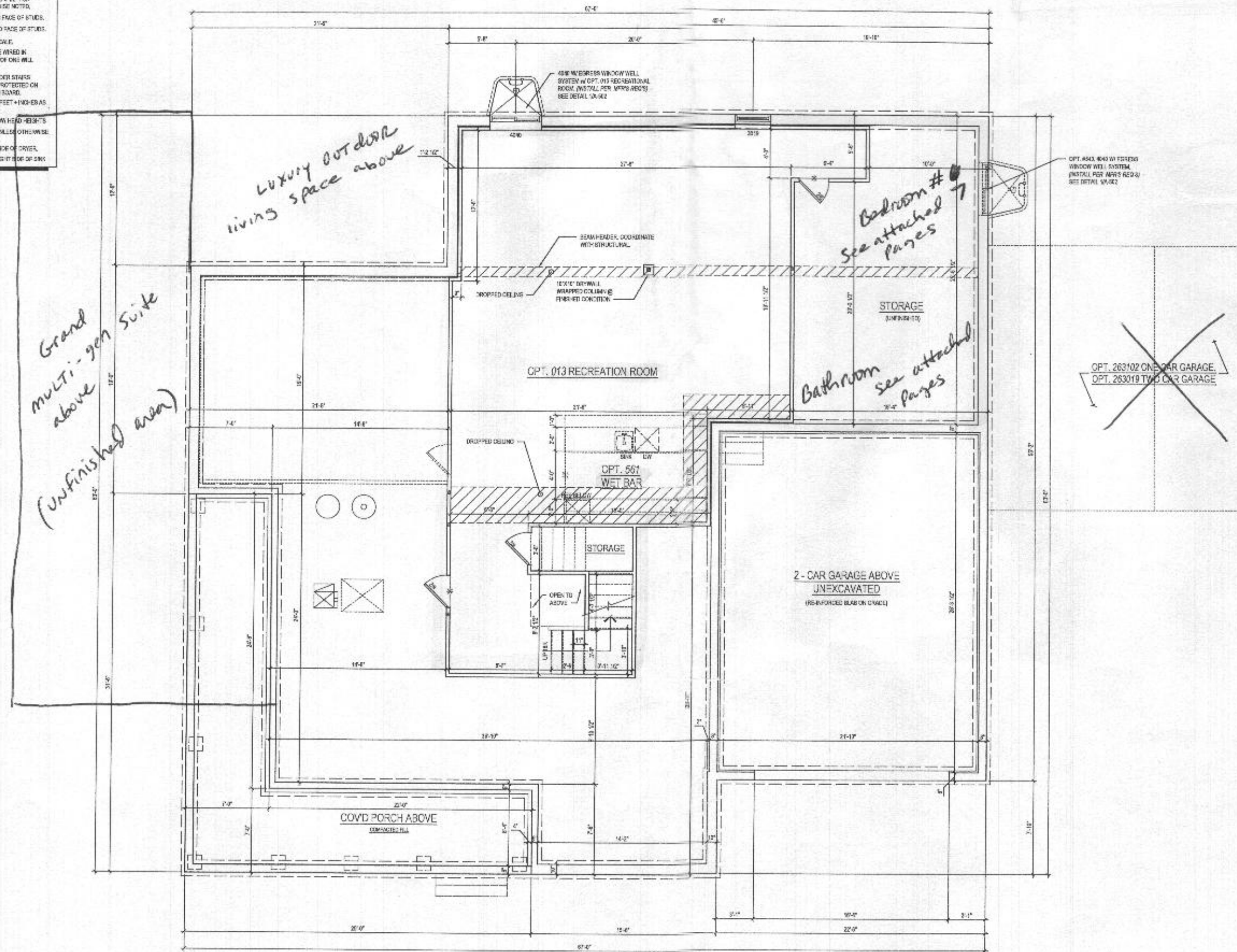
1 PART. BASEMENT PLAN

W/OPT. 263216 - LOWER LEVEL BEDROOM

10500 Pudding Lane Lot 15 Kingsley Woods

Health Dept

- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3" O.P. FOR INTERIOR AND 4" O.P. FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS COVER OVER SCALES.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE GRADE UNDER STAIRS SHALL HAVE WALKWAYS AND SCOTCHES PROTECTED ON ENCLOSED SIDE WITH 1/2" DRY PLUM BOARD.
 - ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 6'8" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DOOR.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



1 PART. BASEMENT PLAN
A-101 SCALE 1/4" = 1'-0"
TYPICAL

W/ OPT. 013 - RECREATION ROOM

see attached pages for
"Modern Farmhouse" ECU.

ARCHITECT:

lessard DESIGN

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P: 571.295.5000
F: 703.327.1700
CONTACT: CHRISTINA LEMLEY
CLM177@tollbrothers.com

PROJECT NAME: KALORAMA

SHEET TITLE: FLOOR PLANS

NO.	DESCRIPTION	DATE
01	DESIGN DEVELOPMENT	02.23.20
02	SD SET	05.26.20
03	WALLOW CHECK PERMIT SET	11.22.20
04	FINAL PERMIT SET	11.22.20

PROJECT NO: TOL-2019-001

DRAWN BY: AC & AN

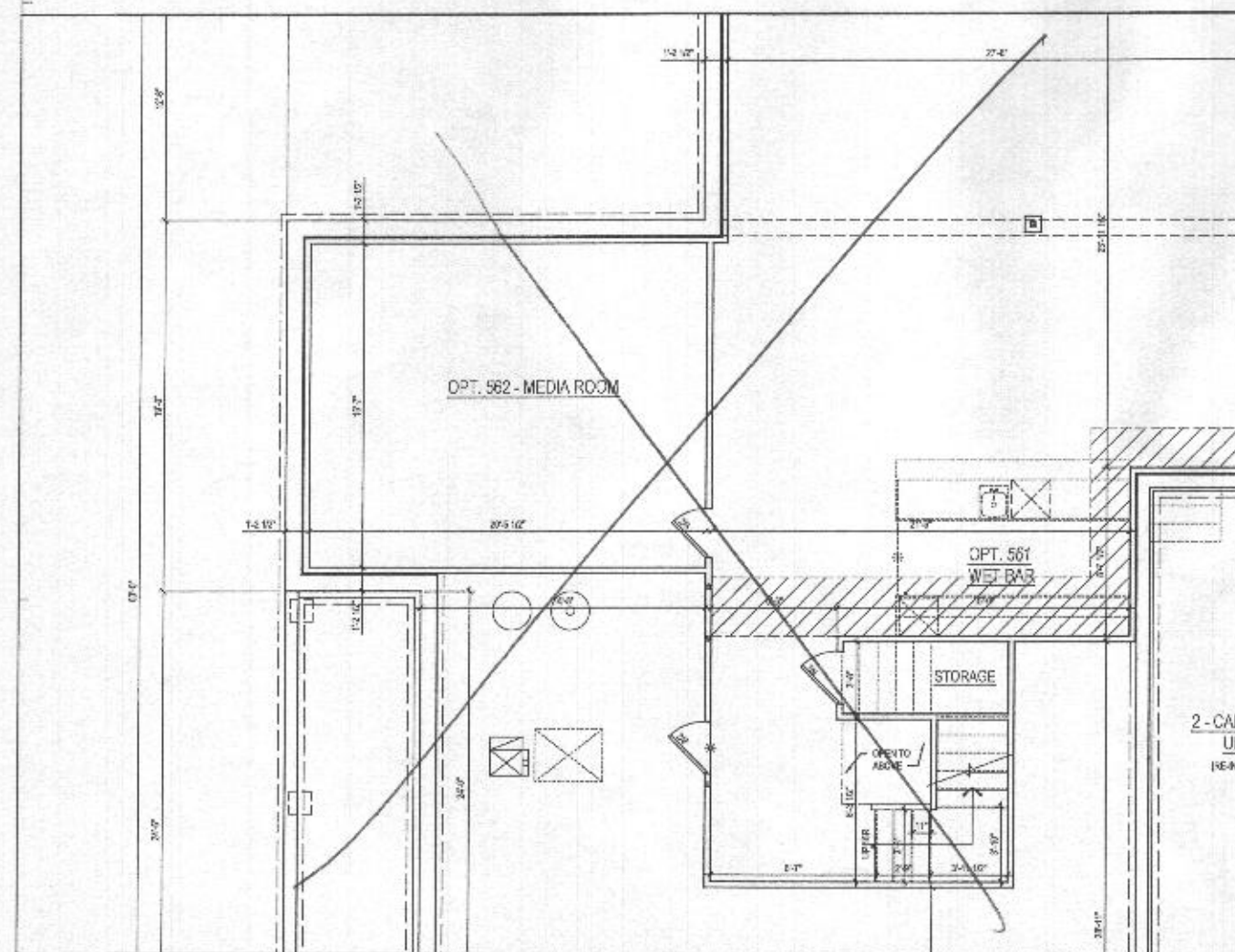
CHECKED BY: TM & AN

PLT DATE: DEC 23, 2023

FILE NAME: TOL-2019-001.dwg

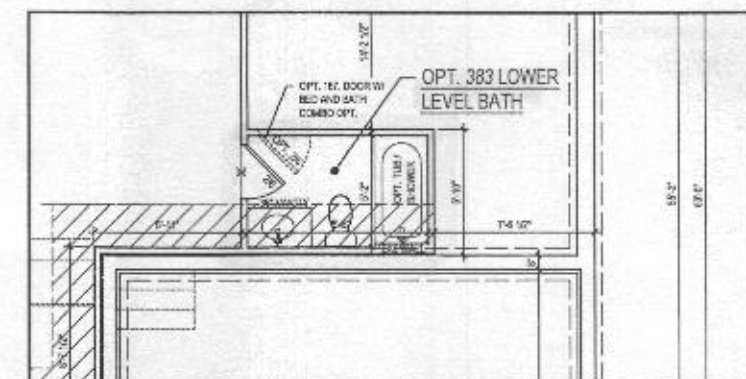
A-101

- A. ALL WOOD STUD PARTS ARE NOT DIMENSIONED ARE TO BE 1/2" FOR INTERIOR & 3/4" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS BETWEEN DASHES.
- E. ALL SMOKE DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND FLOORS PROTECTED OR ENCLOSED SIDE WITH 2" X 4" STUDS MIN.
- G. ALL WINDOWS SHALL BE NOTED IN FEET - INCHES AS MEASURED FROM SILL TO SILL.
- H. REFER TO ELEVATIONS FOR WINDOW HAZARD RATING.
- I. ALL DOORS ARE TO BE R-19 MIN UNLESS OTHERWISE NOTED.
- J. SW-190-ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



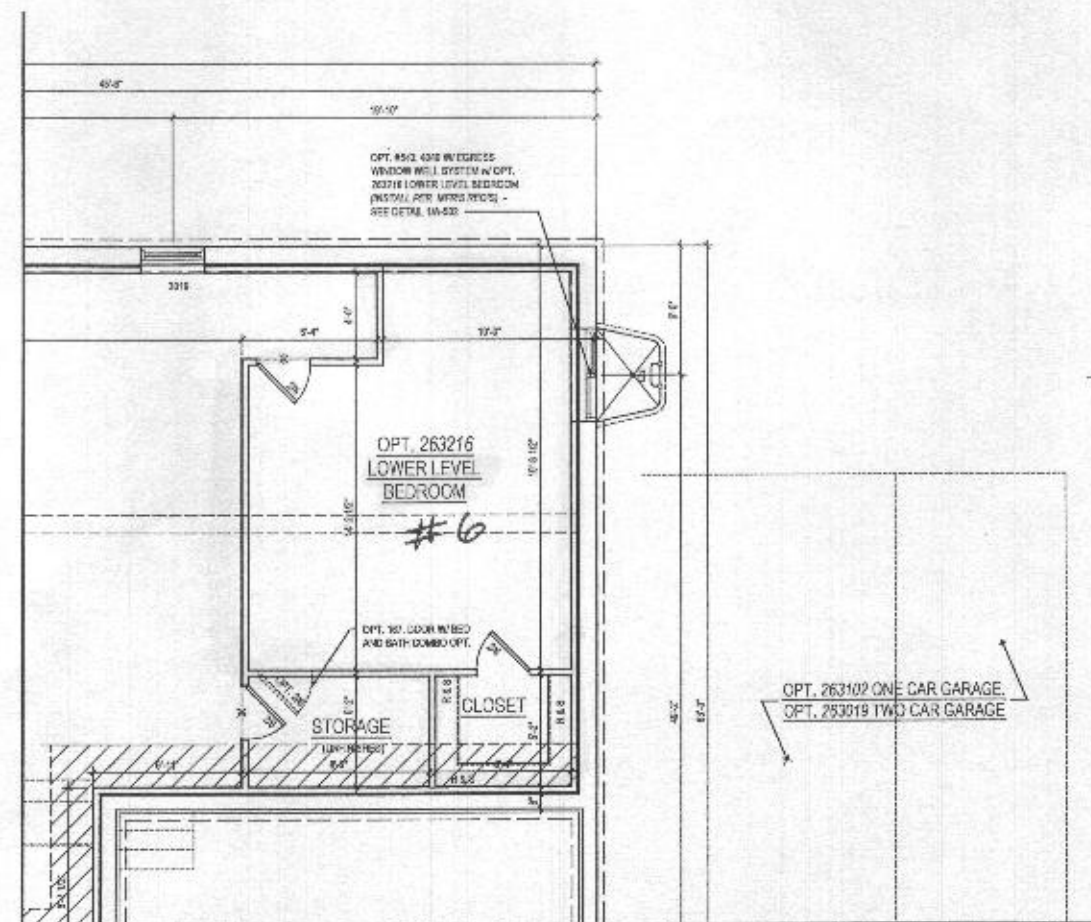
A-103 SCALE: 1/4"=1'-0"
DATE: 5-25-2006

W/ OPT. 562 - MEDIA ROOM



A-103 SCALE: 1/4"=1'-0"
DATE: 11/10/00

W/ OPT. 383 - LOWER LEVEL BATH

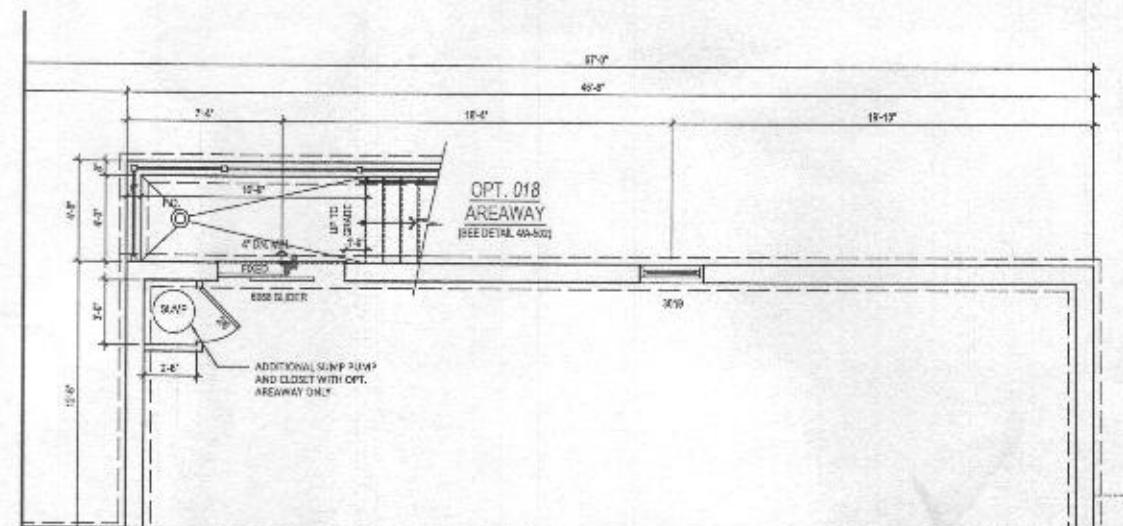


A-103 SCALE: 1/4"=1'-0"

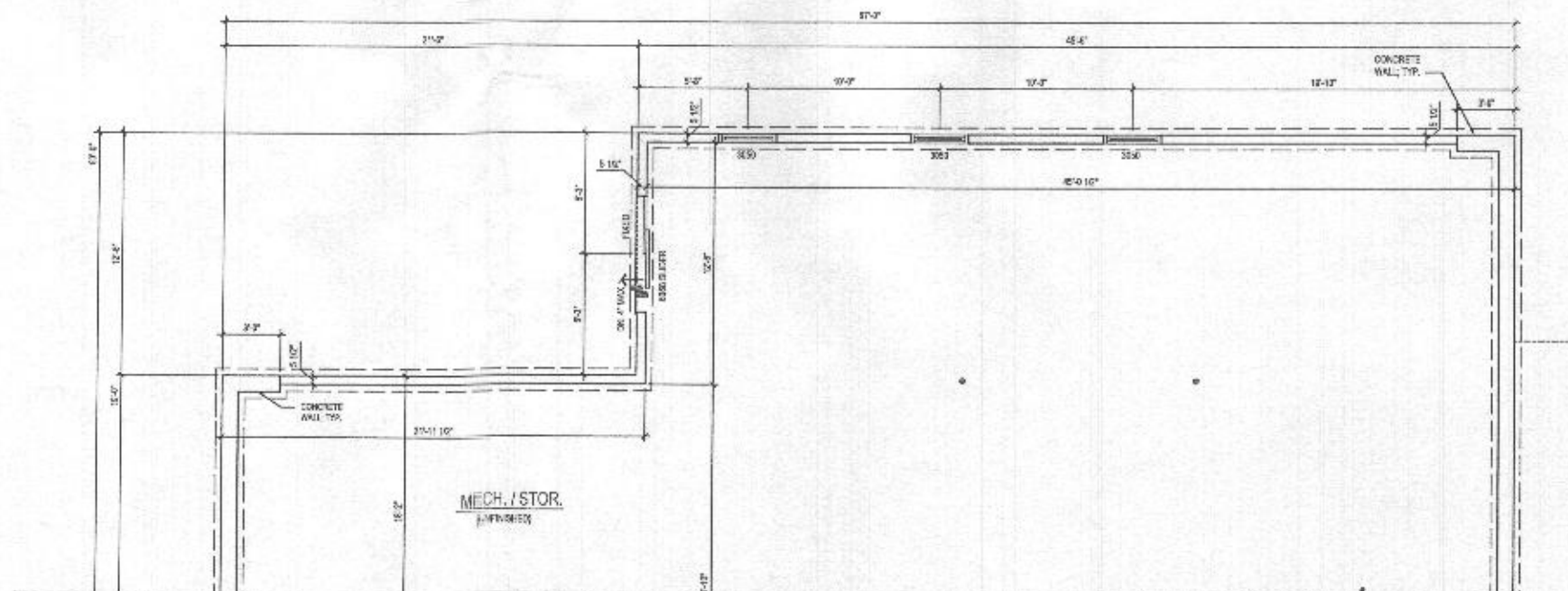
W/ OPT. 263216 - LOWER LEVEL BEDROOM

GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 4 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS COVER OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WYED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" OPTIMUM BOARD.
- G. ALL WINDOW SIZES ARE NOTED IN FEET & INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- J. WARDEN ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. CUSHIONER ALWAYS TO BE ON RIGHT SIDE OF DOOR.



1 PART. BASEMENT PLAN W/ OPT. 018 - AREAWAY
A-102 SCALE: 1/4"=1'-0" UNFINISHED BASEMENT



1 PART. BASEMENT PLAN W/ OPT. 017 - WALKOUT CONDITION
A-102 SCALE: 1/4"=1'-0" UNFINISHED BASEMENT

AND STREET:

lessard
DESIGN

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H: 703.322.1715
CONTACT: CHRISTINA LEMLEY
CLEMLEY@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME:

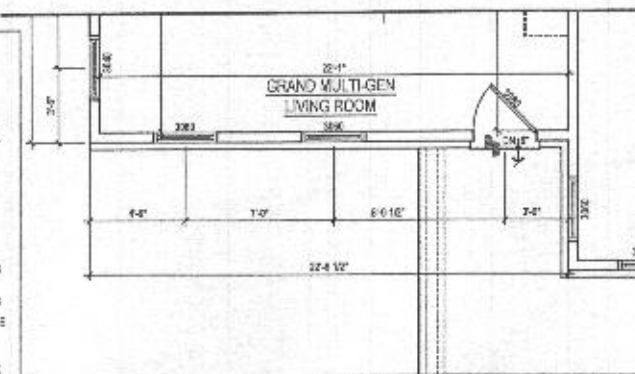
SHEET TITLE:

NO.	DESCRIPTION	DATE
01	DESIGN DEVELOPMENT	03.23.20
02	SITE SET	04.02.20
03	WILLOW CREEK PERMIT SET	02.22.20
04	LENNY HILL PERMIT SET	02.22.20

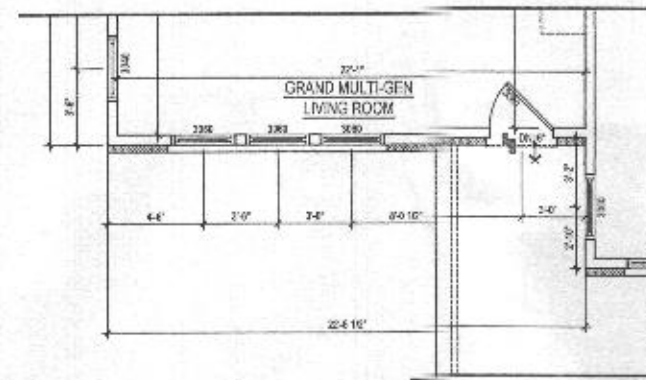
PROJECT NO: 2019-01
DRAWN BY: JAC & JAC
CHECKED BY: JAC & JAC
DATE: 04.02.20
SCALE: 1/4"=1'-0"

A-102

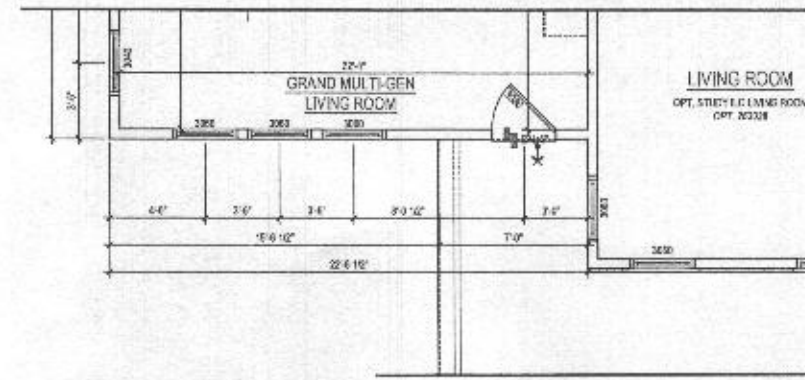
- A. ALL WINDOW SILL PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 1" FOR EXTERIOR UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D. ALL DIMENSIONS ARE GROUND FLOOR LEVEL.
- E. ALL WINDOW DETECTORS ARE TO BE PLACED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE REMAIN.
- F. UNENCLOSED ACCESSIBLE SEAT UNDER STAIRS (SHALL HAVE MAINS AND SEAT) IS PROTECTED ON ENCLOSED SIDE WITH 6" GYPSUM BOARD.
- G. ALL WINDOWS ARE NOTED IN FEET + INCHES ARE MEASURED FROM FINISH TO TOP.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6' 8" HIGH UNLESS OTHERWISE NOTED.
- J. WINDOW HEADS ARE TO BE ON LEVEL OF FINISH.
- K. SLOPEWAYS ALWAYS TO BE ON RIGHT SIDE OF DRIVE.



2C PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE: 1/8"=1'-0" FAIRMONT
DATE: 07/20/2018

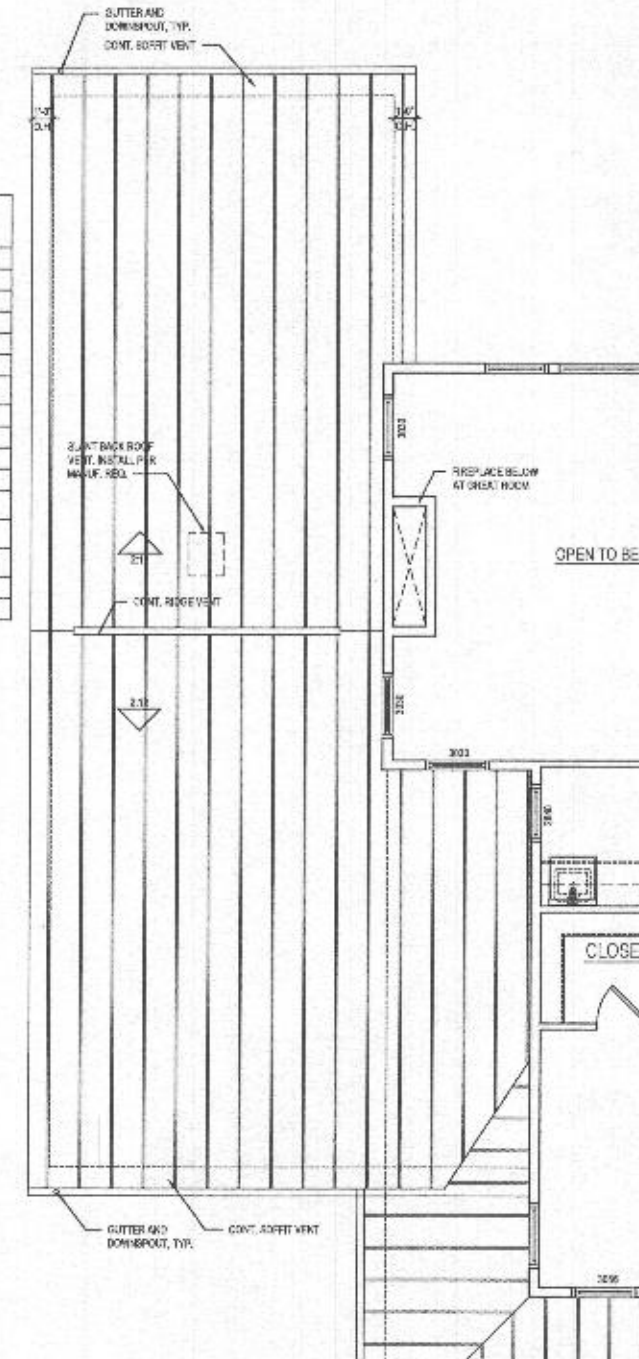


2b PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD
A-407 SCALE: 1/4"=1'-0" TRADITIONAL
SHE NO.

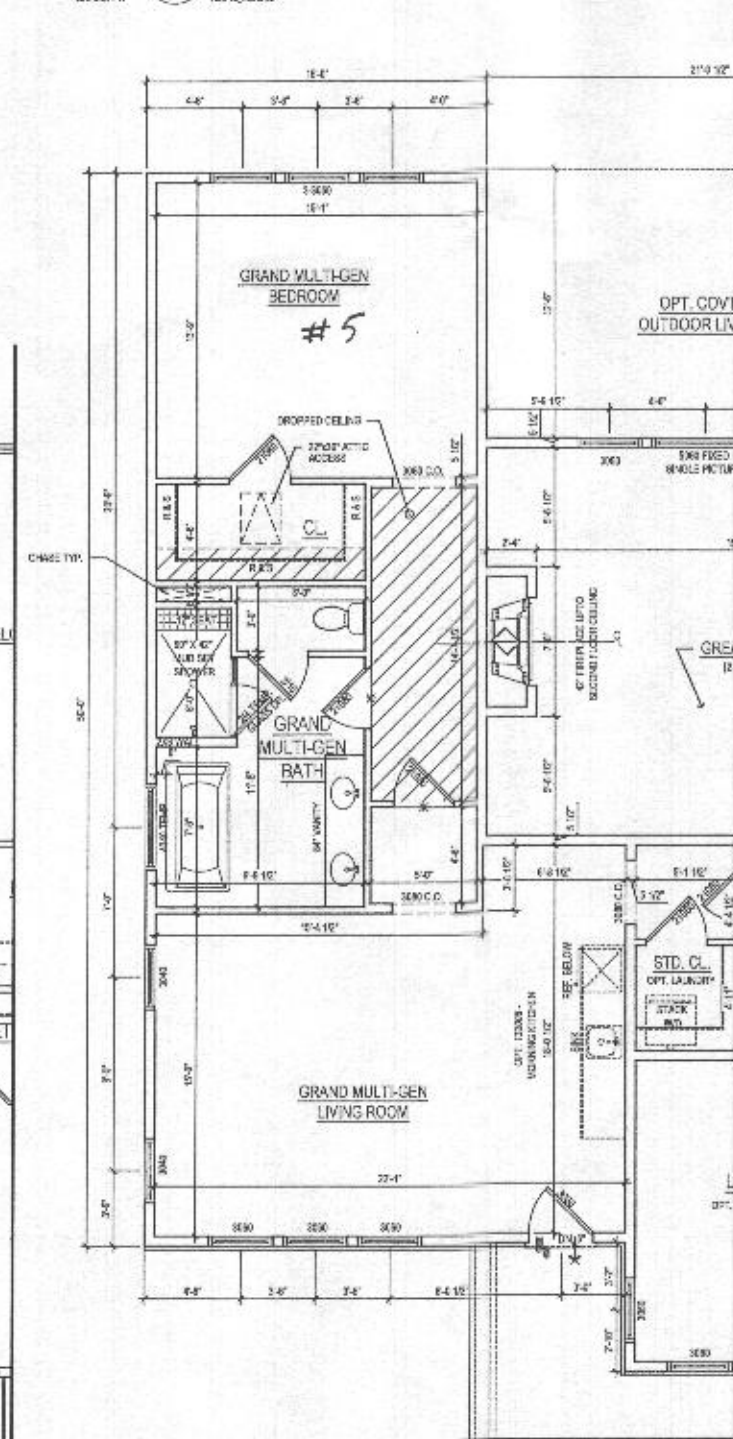


2a PART. FIRST FLOOR PLAN w/ OPT. 253075 - GRAND MULTIGEN SUITE ADD.
A-407 SCALE 1/4"=1'-0" MODERN FARMHOUSE
10/26/2019 360 SQ. FT.

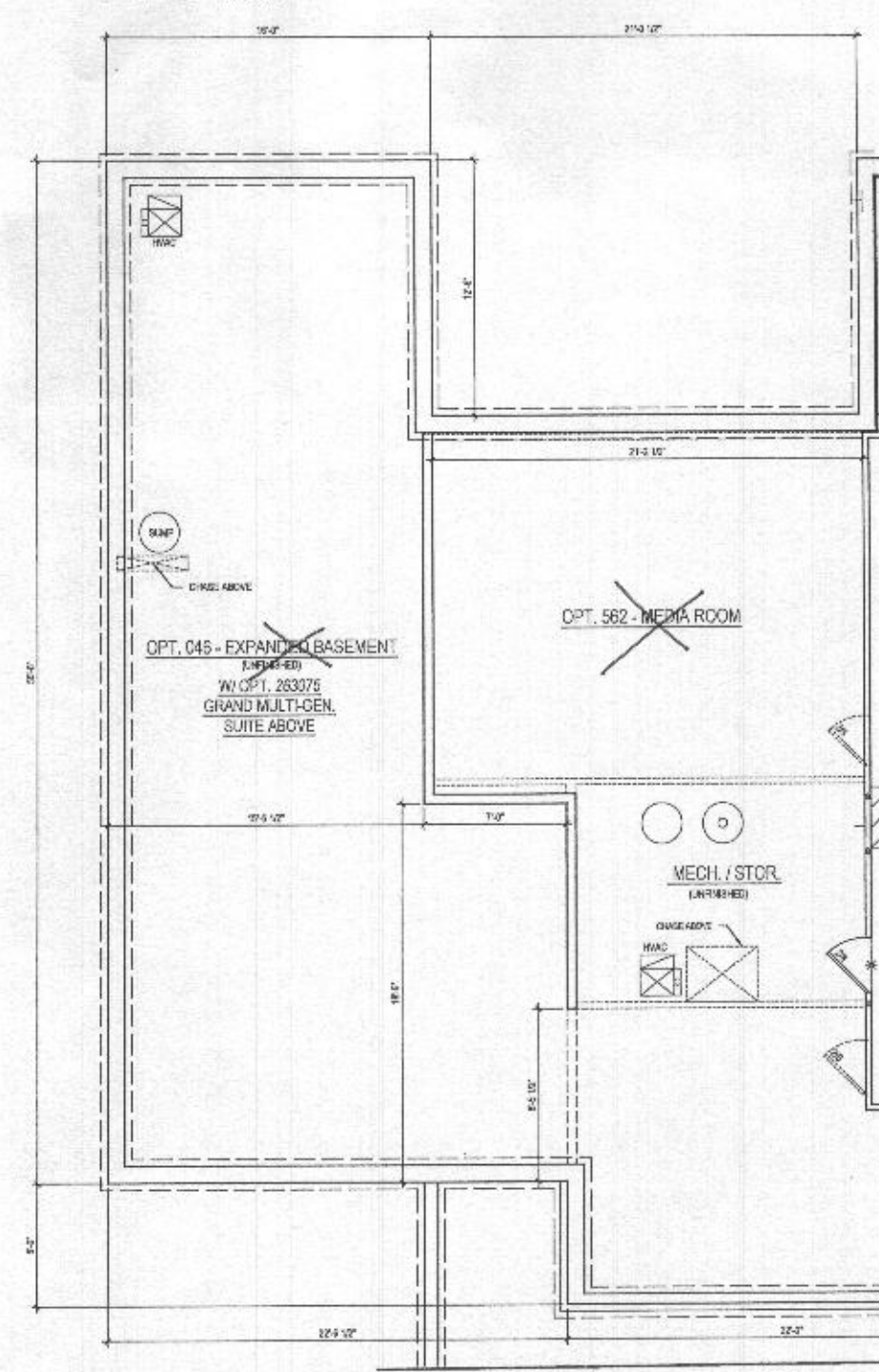
ROOF VENTILATION CALCULATIONS - MAIN ROOF		
ROOF AREA	=	912.00 SQ. FT.
1 X 304	=	304 SQ. FT.
4 X 12 X 12	=	487.51 SQ. IN.
50% INTAKE	=	216.85 SQ. IN.
ROOF VENT - PROVIDED (INTAKE @ 2 SQ. FT./FT.)	=	24.00 FT.
ROOF VENT - PROVIDED	=	41.50 FT.
50% EXHAUST	=	216.85 SQ. IN.
ROOF VENT - PROVIDED	=	12.00 FT.
60% EXHAUST	=	170.28 FT.
ROOF VENT PROVIDED	=	1
60% EXHAUST	=	56.00 FT.
TOTAL EXHAUST PROVIDED	=	725.28 FT.



3 PART, SECOND FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD
A-407 SCALE: 1/8"=1'-0"
TAK & ASSOC.



2 PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE: 1/8"=1'-0" CRAFTSMAN
D&S DC, INC.



1 PART. BASEMENT FLOOR PLAN w/ OPT. 253075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE: 1/4"=1'-0"
TOMMY LARSEN

ARCHITECT



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SEAL & SIGNATURE:

DATE

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CLEMLEY@tollbrothers.com

KALORAMA
AND MULT
ADDITION

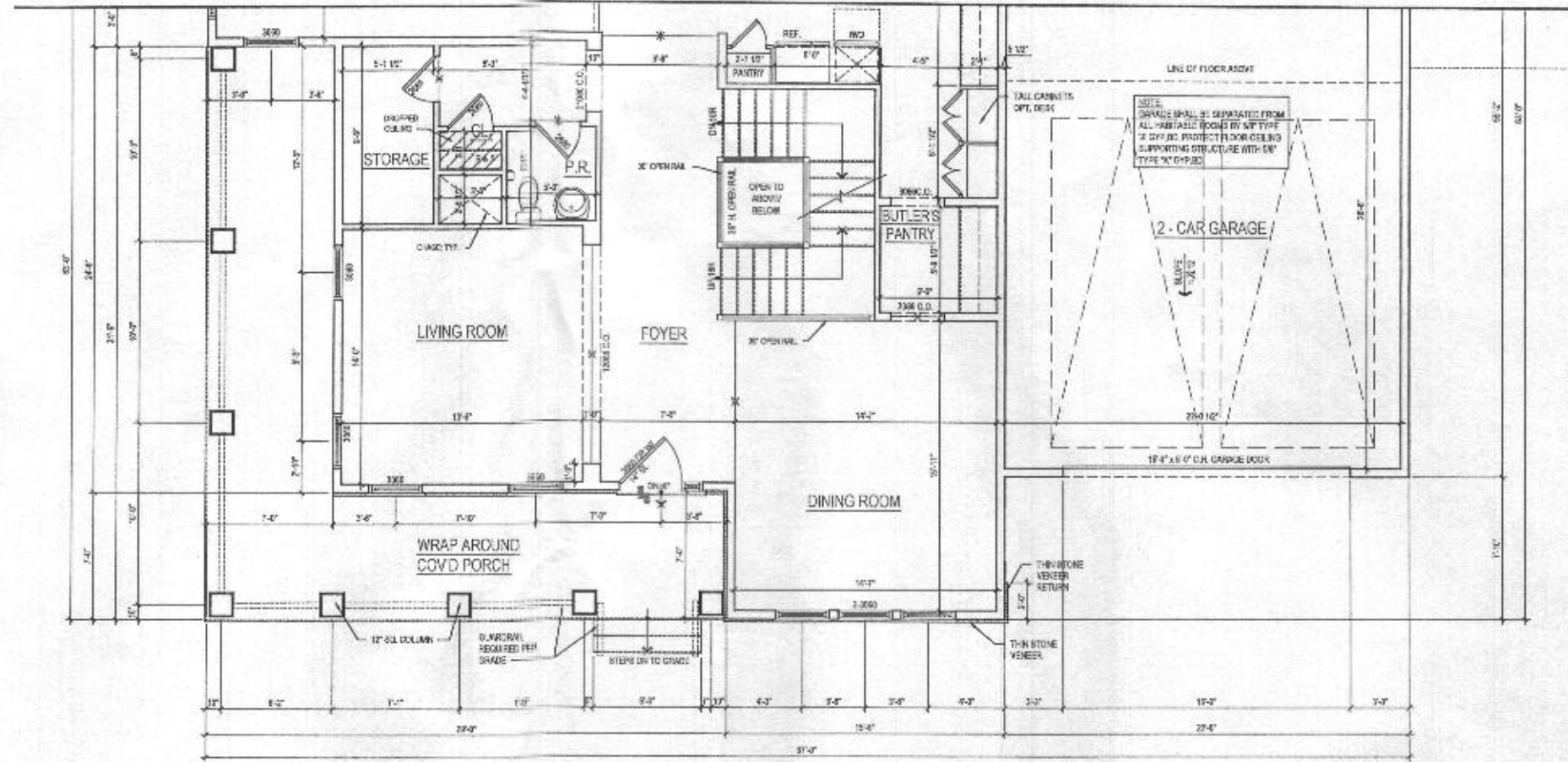
1001

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
	DESIGN DEVELOPMENT	01.23.20
	END SET	04.30.20
	MILL/OW CREEK PERMIT SET	12.22.20
	CONRA MILL PERMIT SET	12.22.20

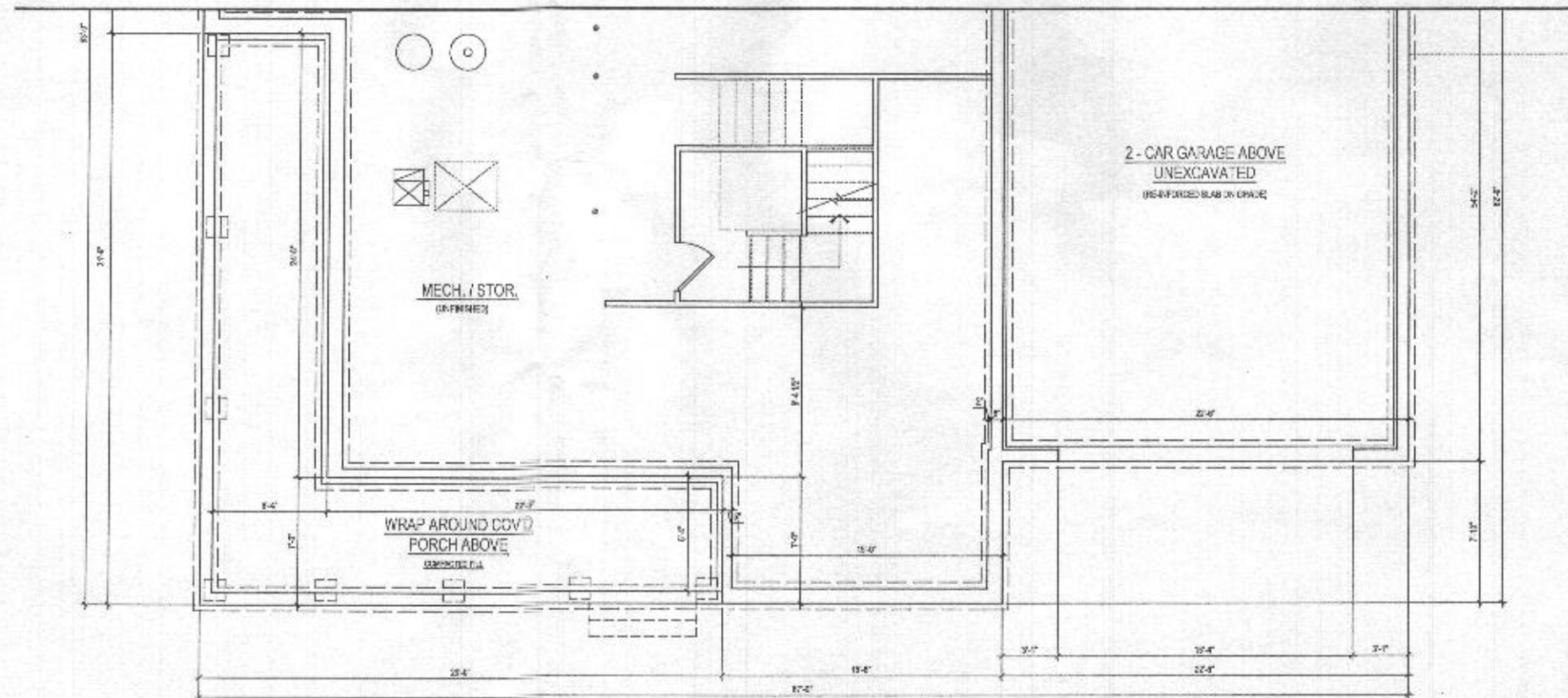
PROJECT NO:	TO: 100
DRAWN BY:	AC 1
CHECKED BY:	AN 1
PLT DATE:	Dec 10, 20
FILE NAME:	TO: 100, 100

A-407

- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL DIMENSIONS GOVERN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND DOORS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS ARE TO BE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 3'-0" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 PART. FIRST FLOOR PLAN
 A-140 SCALE: 1/4"=1'-0"
 @ ELEV. 2 - MODERN FARMHOUSE
 2,082 S.F.



1 PART. BASEMENT FLOOR PLAN
 A-140 SCALE: 1/4"=1'-0"
 @ ELEV. 2 - MODERN FARMHOUSE



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 CONTACT: CHRISTINA LEMLEY
 CLEMLEY@tollbrothers.com

KALORAMA

PROJECT NAME:

FLOOR PLANS

SHEET TITLE:

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.21.20
2	SID SET	06.10.20
3	WELLOW CHECK PERMIT SET	12.22.20
4	LENAM HILL PERMIT SET	12.22.20

PROJECT NO: TEL-001

DRAWN BY: AC & AM

CHECKED BY: RM & GP

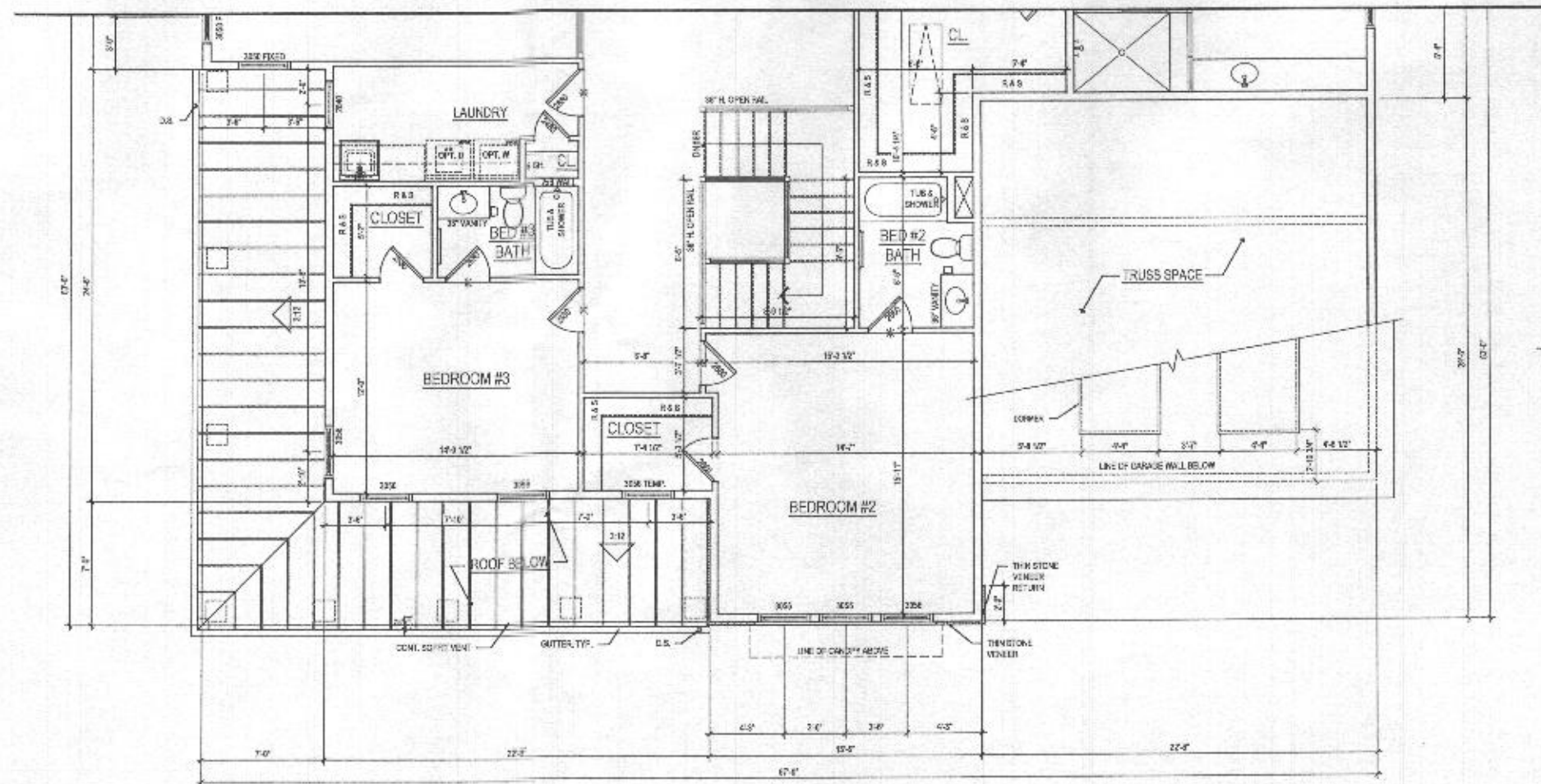
PLT DATE: Dec. 10, 2020

FILE NAME: TEL-001-A140.dwg

A-140

GENERAL PLAN NOTES

- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 16" O.C. STUDS AND 5/8" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SCOTTERS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 7'-0" HIGH UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF SINK.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



1 PART. SECOND FLOOR PLAN
A-141 SCALE: 1/8" = 1'-0"
10/20/2010

@ ELEV. 2 - MODERN FARMHOUSE
2,484 S.F. (T)

ARCHITECT

lessard
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CONTACT: CHRISTINA L. HOLLY
CJEM.TYB@tollbrothers.com

PROJECT NAME: **KALORAMA**

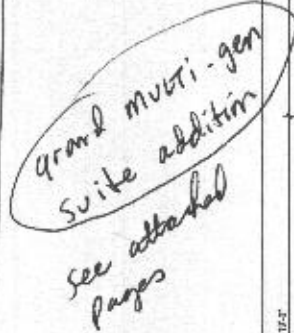
SHEET TITLE: **FLOOR PLANS**

ISSUES / REVISIONS		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	10.22.09
2	RED SET	10.25.09
3	WILLOW CREEK PERFECT SET	12.22.09
4	JENAH HILL PERFECT SET	12.22.09

PROJECT NO:	TOLBRO
DRAWN BY:	AC & AN
CHECKED BY:	AM & AP
DATE:	10/20/10
PLT. DATE:	10/20/10

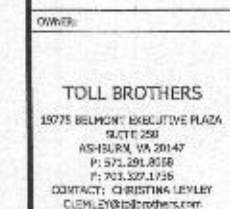
A-141

- A. ALL UNDOOR SWITCHES MUST BE UNLOCKED AND WIRING TO BE 1/2" FOR INTERIOR AND 1/4" FOR EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR SWITCHES ARE TO FACE OF STUD.
- C. ALL EXTERIOR UNDOOR SWITCHES ARE TO FACE OF STUD.
- D. ALL SWITCHES TO BE ON ONE SIDE OF STUD.
- E. ALL SWING DETECTOR ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. UNDOOR ACCESSIBLE SWITCHE UNDER STAIRS SHALL HAVE WALLS AND ROOF TOPS PROTECTED ON EMERGENCY SIDE WITH 1/2" FEELING BOARD.
- G. ALL WINDOWS ARE NOT TO BE OPENED 1/2" AND ARE TO BE CLOSED FROM EACH TO EACH.
- H. REFER TO TITULATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 1/4" MINIMUM SWING OTHERS NOTED.
- J. WHEELCHAIRWAYS TO BE 1/2" LESS OF DRIVER.
- K. SIDEWALKS ALWAYS TO BE ON RIGHT SIDE OF ROAD.



@ ELEV. 1 - CRAFTSMAN

see attached pages
for "Modern farmhouse" QV.



KALORAMA

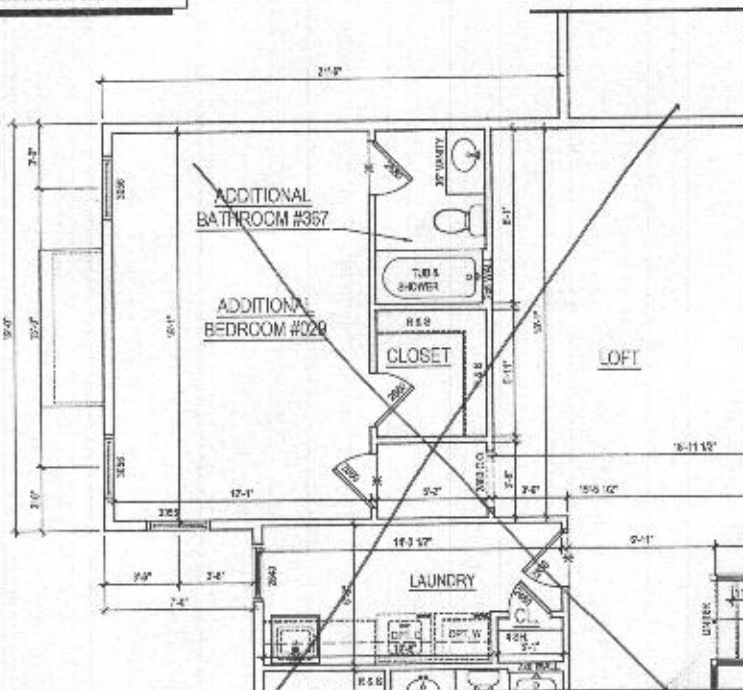
FLOOR PLANS

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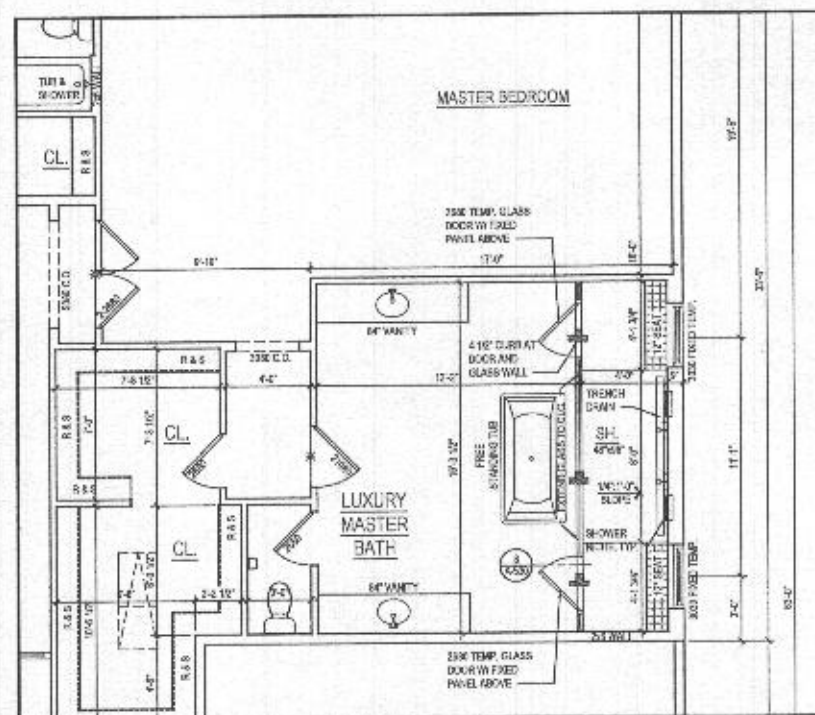
A-110

GENERAL PLAN NOTES

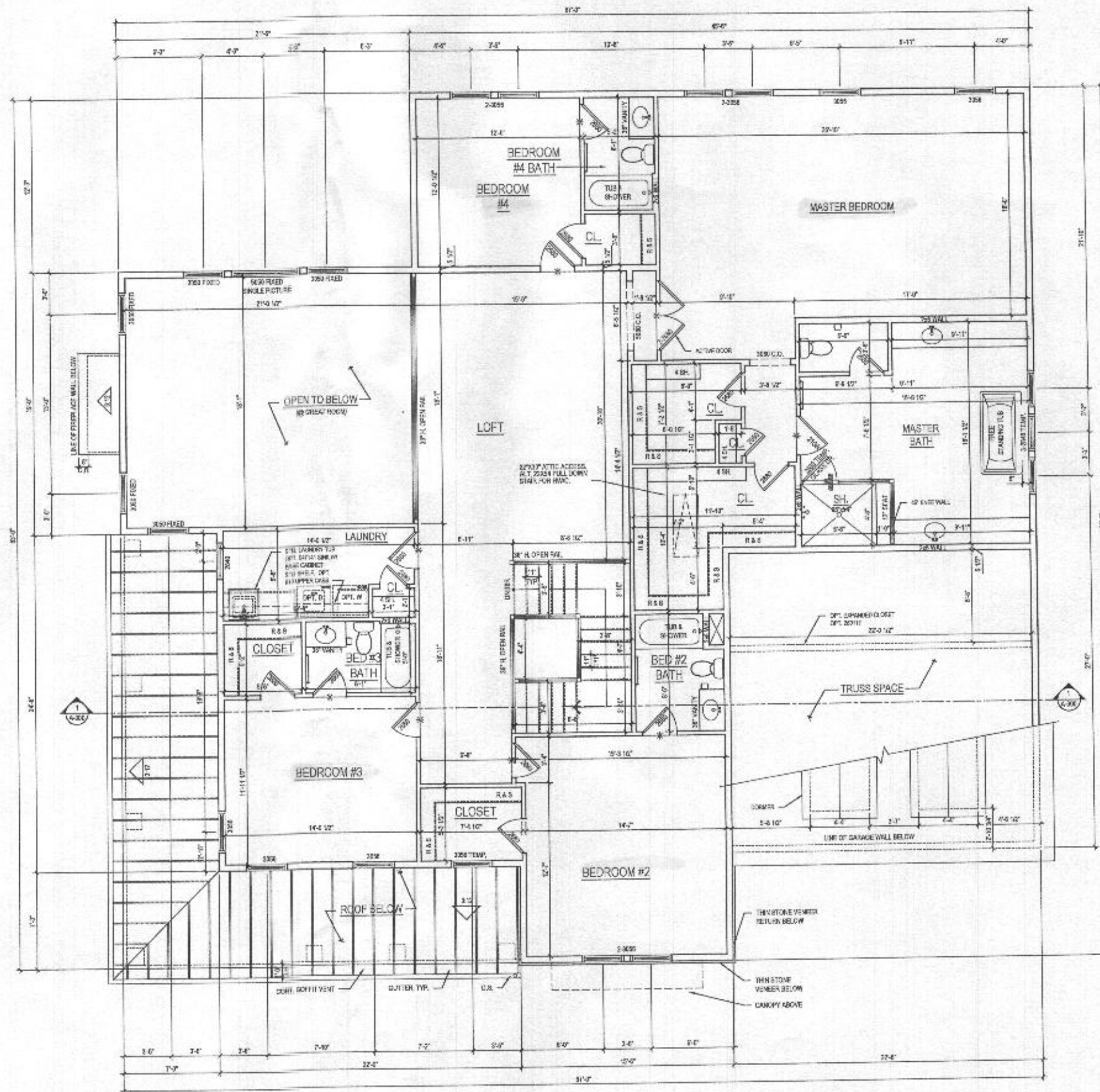
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS. SEE 2015 IRC FOR DETAILS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SLOPES PROTECTED ON ENCLOSED SIDE WITH 1/2" GYP. BOARD.
- ALL WINDOWS SHALL BE NOTED IN FEET - INCHES AND MEASURED FROM FINISH TO FINISH.
- REFER TO ELEVATIONS FOR WINDOW HEAD / SIGHTS.
- ALL DOORBASES TO BE 4" X 1 1/2" UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DOOR SWINGS ALWAYS TO BE ON RIGHT SIDE OF DOOR.



3 PART. 2ND FLOOR PLAN w/ OPT. ADDITIONAL BEDROOM #029
A-120 SCALE: 1/4" = 1'-0"



2 PART. SECOND FLOOR PLAN w/ OPT. 055 - LUXURY MASTER BATH
A-120 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
A-120 SCALE: 1/4" = 1'-0"

@ ELEV. 1 - CRAFTSMAN
2.000.000.00

see attached
Pages for
"Modern Farmhouse" ELEV.



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CJEWELL@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME

SHEET TITLE

NO.	DESCRIPTION	DATE
1	DISCERN DEVELOPMENT	12.23.20
2	BED SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LEWIS HILL PERMIT SET	12.22.20

PROJECT NO: TOLLBROS
DRAWN BY: AC & AH
CHECKED BY: JR & AP
PLOT DATE: DEC 16, 2020
FILE NAME: TOLLBROS_A120.dwg

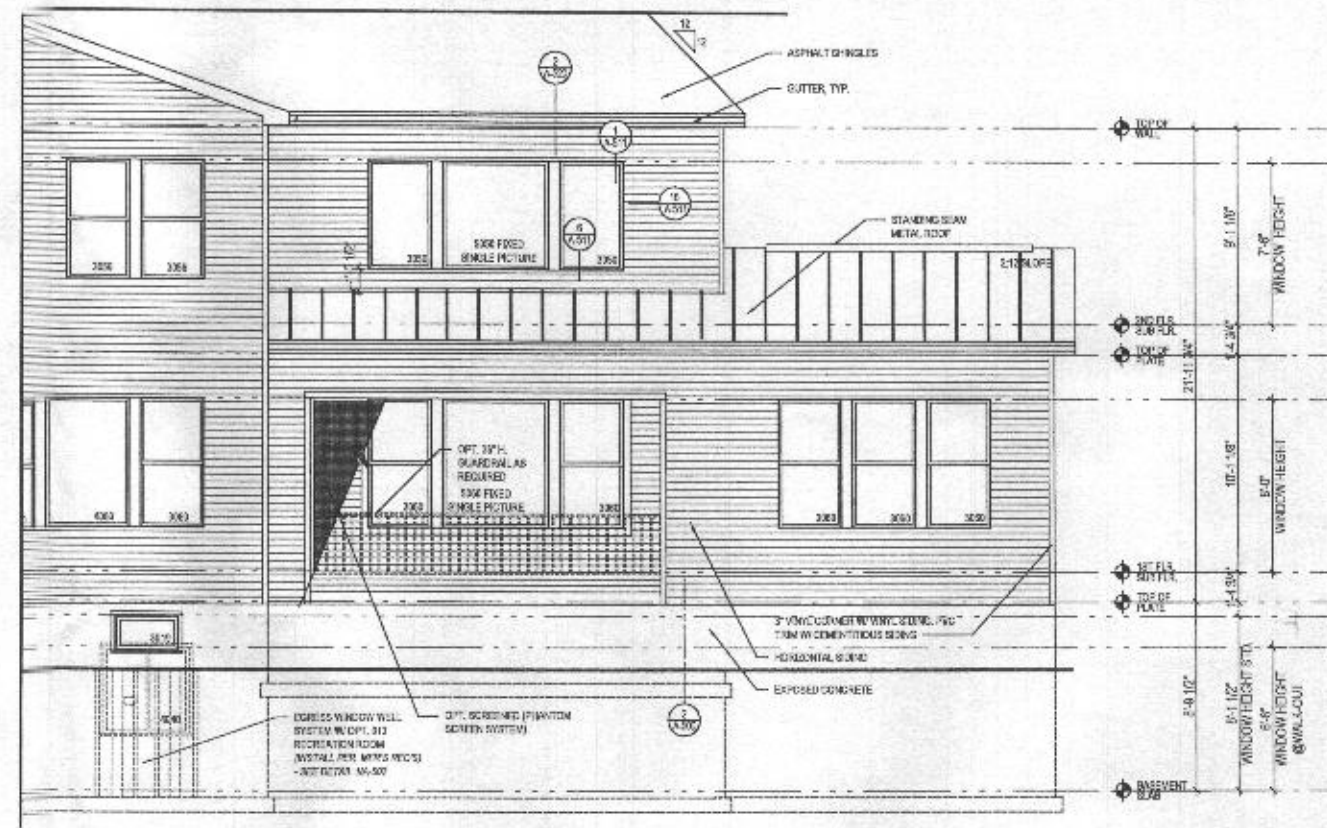
A-120

GENERAL PLAN NOTES

- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" FOR INTERIOR AND 4" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SLOTTES PROTECTED ON ENCLOSED SIDE WITH 1/2" OYPOLYAN BOARDS.
- ALL WOODWORK SHALL BE FINISHED IN FIELD - NO RISERS OR MOLDINGS FROM BASE TO CASE.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'8" HIGH UNLESS OTHERWISE NOTED.
- WALLS ARE ALWAYS TO BE ON LEFT SIDE OF DOOR.
- DOORSWEEP ALWAYS TO BE ON RIGHT SIDE OF DOOR.

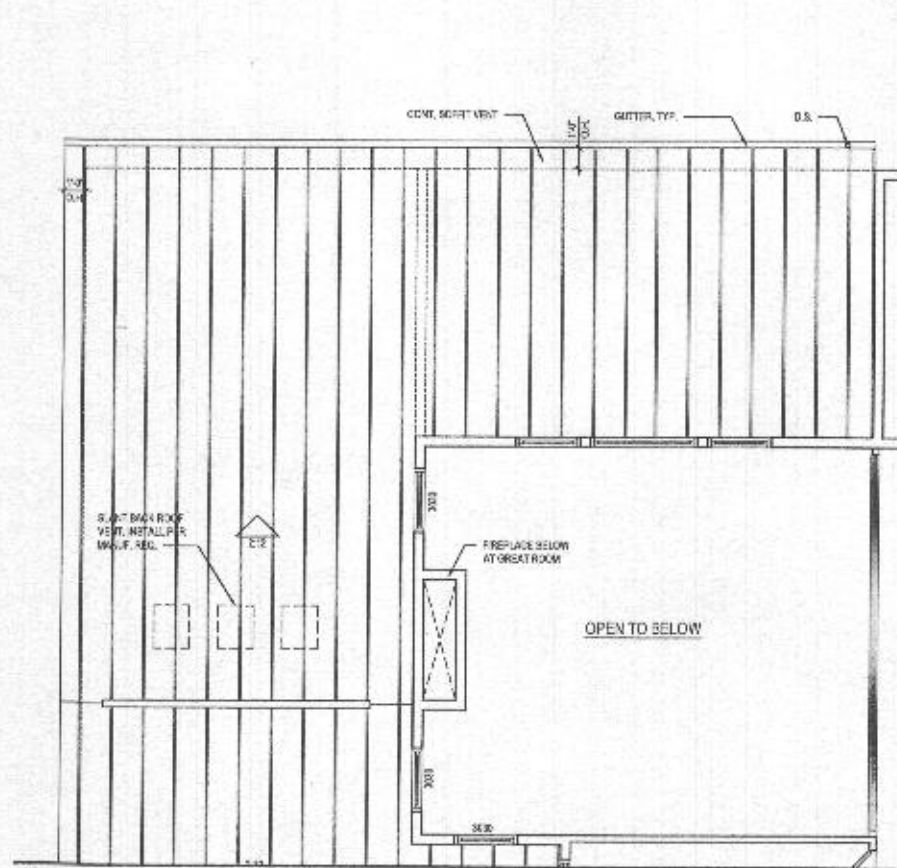
ROOF VENTILATION CALCULATIONS - G.M.G. AND LOL COMBO

ROOF AREA	=	1175.85 SQ. FT.
/300	=	3.92 SQ. FT.
4' x 12' x 12'	=	584.76 SQ. IN.
SINK (INTAKE)	=	282.34 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 2 SQ. IN. / FT. L.)	=	51.34 FT.
SOFFIT VENT - PROVIDED	=	61.73 FT.
SINK (OUTTAKE)	=	282.06 SQ. IN.
WALL VENT - PROVIDED	=	12.34 FT.
@14.1 SQ. IN. / FT.	=	118.23 FT.
FLOOR VENT PROVIDED	=	3
@69 SQ. IN. / FT.	=	100.00 FT.
TOTAL OUTTAKE PROVIDED	=	308.73 FT.



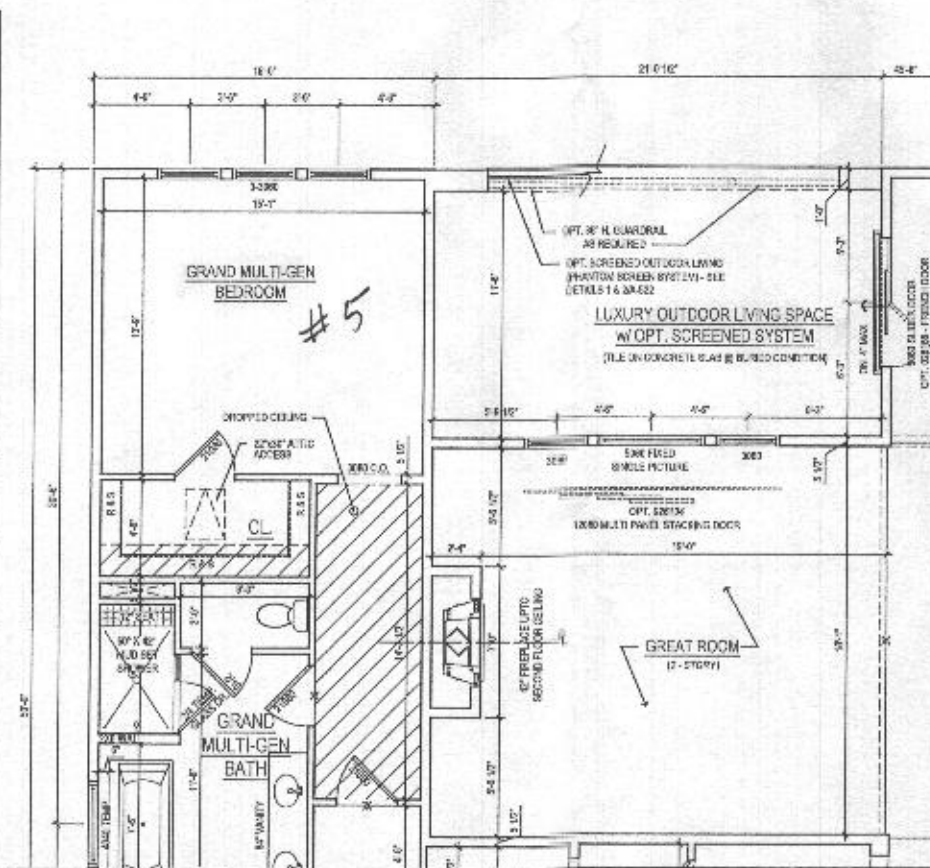
4 PART. REAR ELEVATION
A-408 SCALE: 1/4"=1'-0"

OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
W/ LUXURY OUTDOOR LIVING SPACE
@ BURIED CONDITION
© ALL R.P.V.



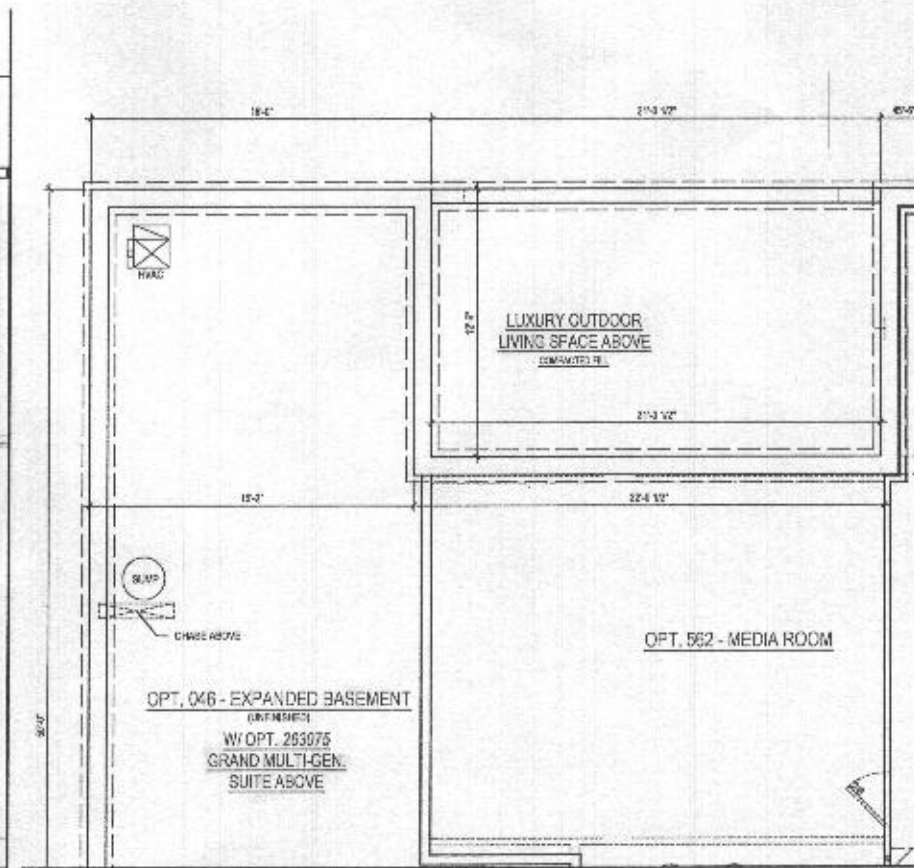
3 PART. SECOND FLOOR PLAN

OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
W/ LUXURY OUTDOOR LIVING SPACE
@ BURIED CONDITION



2 PART. FIRST FLOOR PLAN

OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
W/ LUXURY OUTDOOR LIVING SPACE
@ BURIED CONDITION



1 PART. BASEMENT FLOOR PLAN

OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
W/ LUXURY OUTDOOR LIVING SPACE
@ BURIED CONDITION

lessard
DESIGN

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CONTACT: CHRISTINA LEMLEY
CLEMLEY@tollbrothers.com

PROJECT NAME:

KALORAMA

SHEET TITLE:

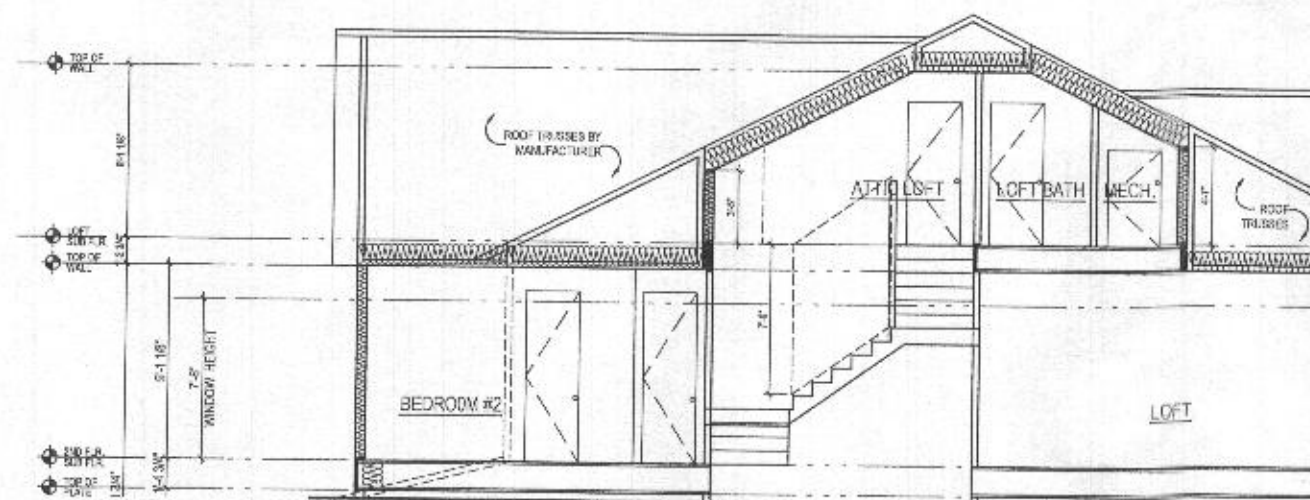
GRAND MULTI-GEN SUITE ADD. w/
LUXURY OUTDOOR LIVING SPACE

NO.	DESCRIPTION	DATE
1	DISCERN DEVELOPMENT	03.23.20
2	RED SET	09.30.20
3	PULLMAN CHECK PERFECT SET	12.22.20
4	LUXURY TOLL PROJECT SET	12.22.20

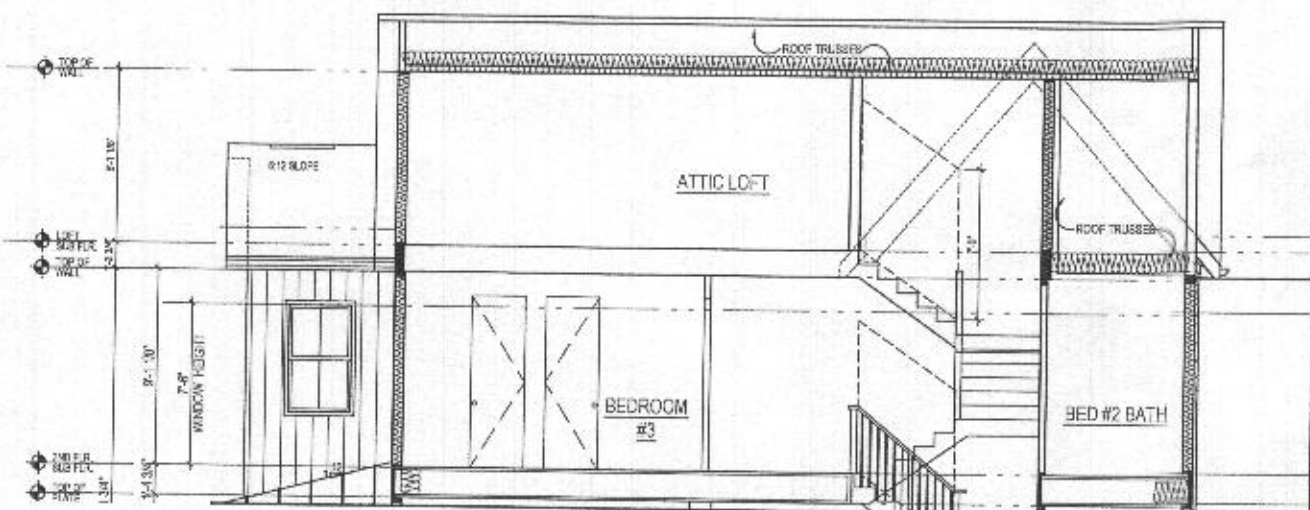
A-408

GENERAL PLAN NOTES

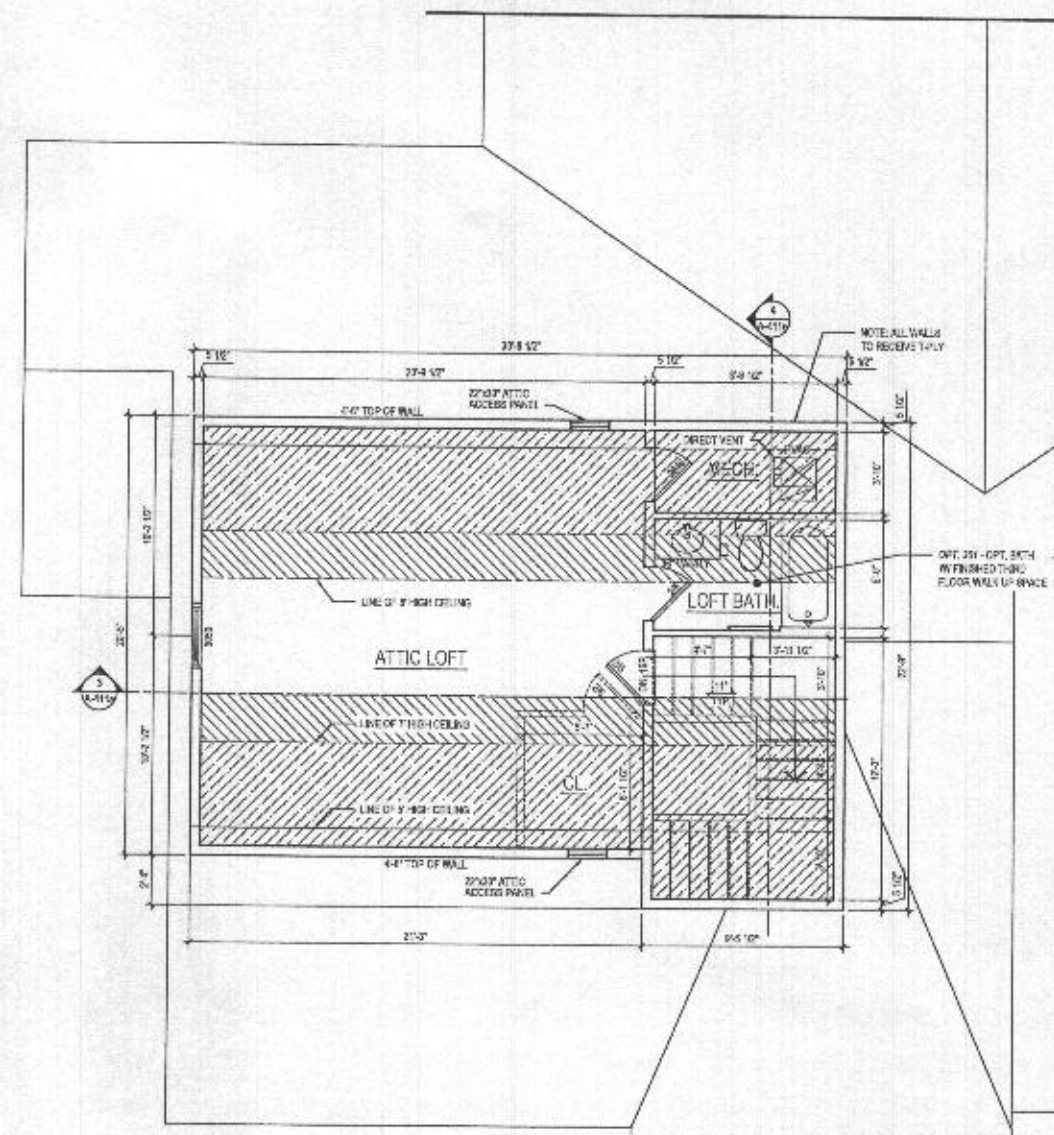
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 3 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL WINDOW DETAILERS ARE TO BE NOTED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE OTHER.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON EXPOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS ARE NOTED IN FEET + INCHES AS VERIFIED FROM CASH TO CASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'6" HIGH UNLESS OTHERWISE NOTED.
- WALLS ARE ALWAYS TO BE ON LEFT SIDE OF DOOR.
- DOORSWITCH ALWAYS TO BE ON RIGHT SIDE OF DOOR.



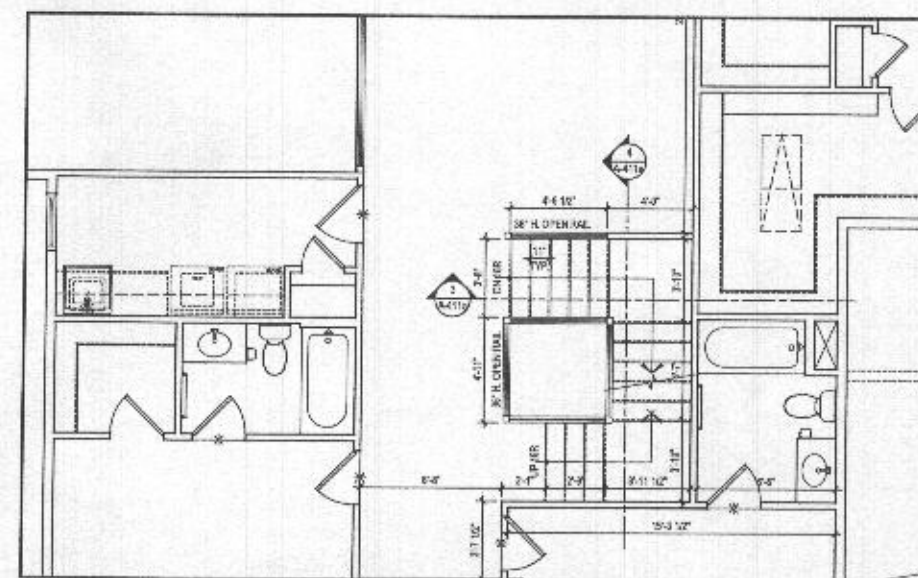
4 PART. SECTION
 w/ OPT. 539 : THIRD FLOOR WALK UP SPACE
 @ ELEV. 2 - MODERN FARMHOUSE (SIM. @ ELEV. 5 - FAIRVIEW)
 SCALE: 1/4" = 1'-0"
 TYPICAL WALL



3 PART. SECTION
 w/ OPT. 539 : THIRD FLOOR WALK UP SPACE
 @ ELEV. 2 - MODERN FARMHOUSE (SIM. @ ELEV. 5 - FAIRVIEW)
 SCALE: 1/4" = 1'-0"
 TYPICAL WALL



2 PART. 2ND FLOOR PLAN
 w/ OPT. 539 : THIRD FLOOR WALK UP SPACE
 @ ELEV. 2 - MODERN FARMHOUSE (SIM. @ ELEV. 5 - FAIRVIEW)
 SCALE: 1/4" = 1'-0"
 TYPICAL WALL



1 PART. 2ND FLOOR PLAN
 w/ OPT. 539 : THIRD FLOOR WALK UP SPACE
 @ ELEV. 2 - MODERN FARMHOUSE (SIM. @ ELEV. 5 - FAIRVIEW)
 SCALE: 1/4" = 1'-0"
 TYPICAL WALL

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KALORAMA

**w/ OPT. 539 : THIRD
 FLOOR WALK UP SPACE**

PROJECT NAME:
 SHEET TITLE:

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.22.20
2	3RD SET	09.25.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LEWIS PERMIT SET	12.22.20

PROJECT NO.:
 DRAWN BY:
 CHECKED BY:
 PLOT DATE:
 FILE NAME:

A-411a