

PERMIT NUMBER: B 2200-468

DATE ACCEPTED:



# RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

## BUILDING SITE ADDRESS REQUIRED

Street Address: 10525 Pudding Lane		Unit:
City: Ellicott City	State: MD	Zip Code: 21042
Subdivision/Village/Complex Name: Kings Forest		SDP/WP/BA #:
Lot: 30	Tax Map:	Parcel:
Grading Permit #:		

## DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
New 2 story "Parkhurst" Craftsman ELEV with 2 car side lot garage, 2 car side attached garage, luxury level deck, multi gas suite and finished basement level (1st floor from kitchen, wet bar and media room)		

## PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Toll Brothers Inc		Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 250 Gibraltar Rd. Contact: Summer Riley		
City: Harsham	State: PA	Zip Code: 19044
Phone: 410-872-9105	Email: sriley2@tollbrothers.com	

## APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decorative Building Services		Contact Name: Jim Kenwin
Street Address: PO Box 552		
City: Woodbine	State: MD	Zip Code: 21797
Phone: 443-309-7792	Email: jmark@decorativebuilding.com	

## CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers		Contact: Summer Riley
Licensee's Name: Toll Brothers Inc		License #: 8220
Street Address: 6731 Columbia Gateway Dr Ste 120		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410-872-9105	Email: sriley2@tollbrothers.com	

## ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:		Name:
Street Address:		
City:	State:	Zip Code:
Phone:	Email:	

## BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private (Septic)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

## ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Parkhurst" Craftsman ELEV w 2-car side + 2 car attached garage, luxury level deck, multi gas suite and finished basement level					
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms: 11	# Full Baths: 5	# Half Baths: 2	# Fireplaces: 1		
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1st Fl Width: 81	1st Fl Depth: 72	2nd Fl Width: 59	2nd Fl Depth: 56	Bsmt Width: 59	Bsmt Depth: 72
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 8900	sq ft	Occupiable Area: 8351	sq ft

## AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

## FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input checked="" type="checkbox"/> SHA	<input type="checkbox"/> CID
SUBMITTAL FEES: \$ 150.00		PAYMENT: \$ 10510.155		ACCEPTED BY: MF	

**Bernard, Dana**

---

**From:** Bernard, Dana  
**Sent:** Tuesday, March 15, 2022 3:10 PM  
**To:** sriley1@tollbrothers.com  
**Cc:** 'jim@decaturbuildingservices.com'  
**Subject:** 10525 Pudding Lane

Hello All,

I have received your building permit for 10525 Pudding Lane however we cannot complete the review until the OSDS plan is received. Also, before the ICOP can be issued Radium testing must be completed.

Thanks

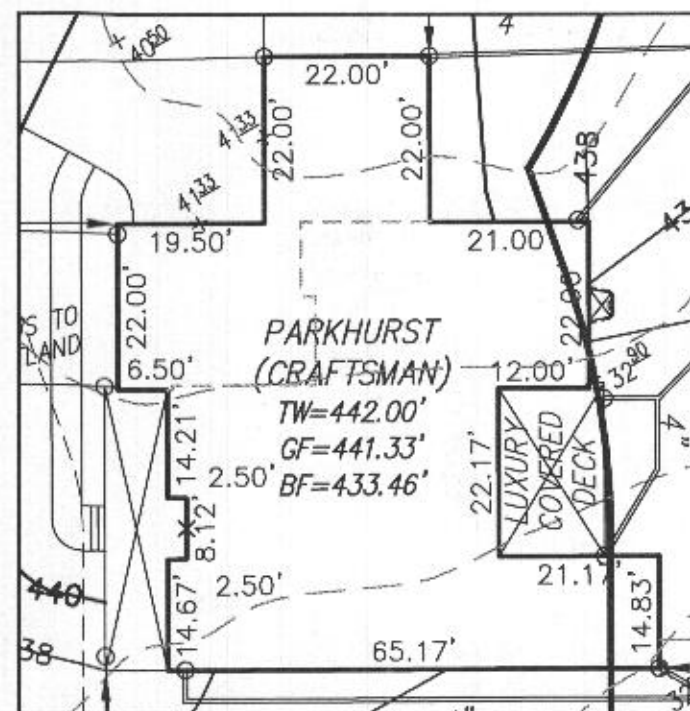
Dana Bernard  
Howard County Health Department  
Well and Septic Program



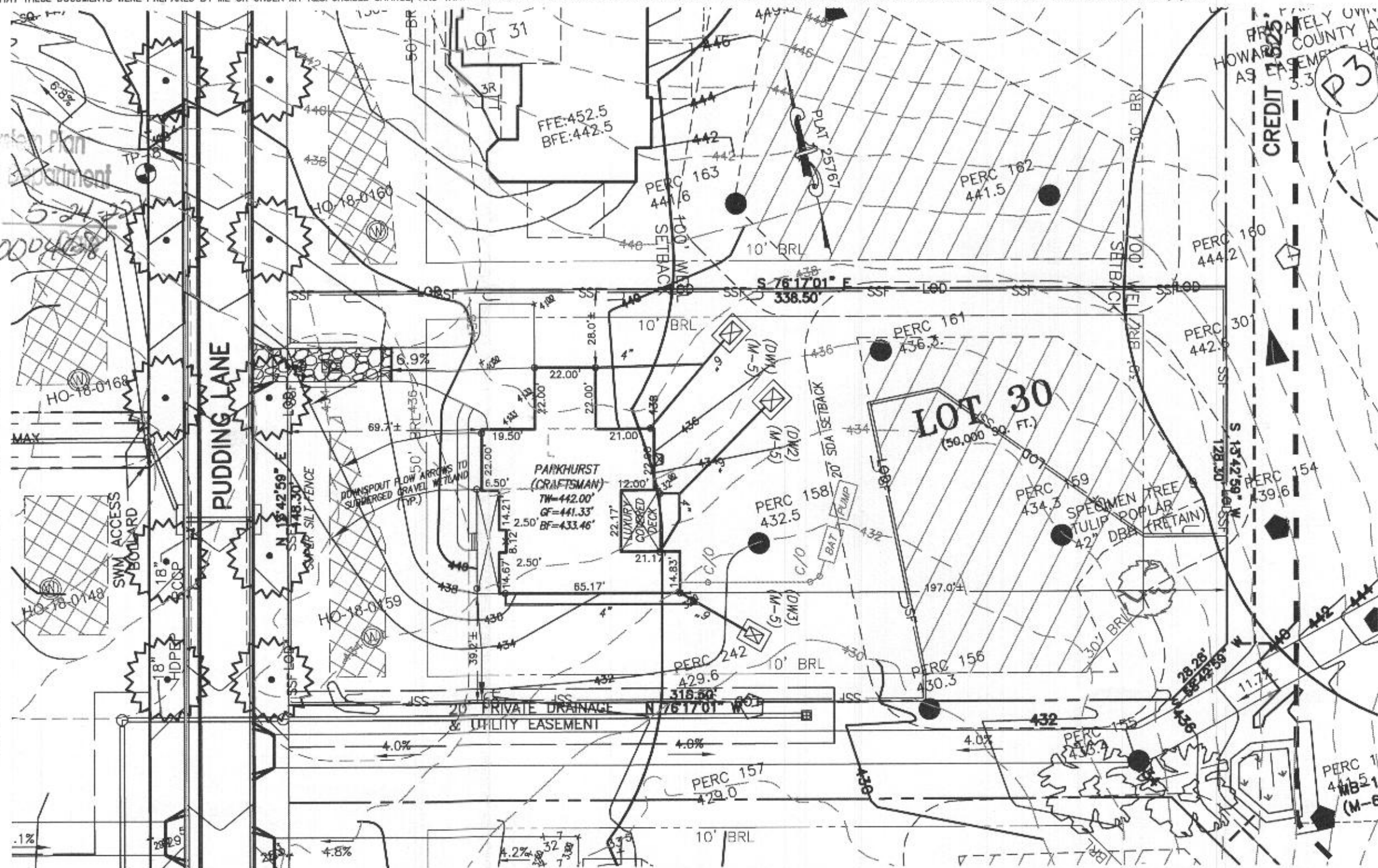
LEGEND:

- BRL BUILDING RESTRICTION LINE  
 T.W. WELL LOCATION  
 G.F. TOP OF WALL  
 B.F. GARAGE FLOOR  
 BASEMENT FLOOR  
 PASSED PERC LOCATION  
 FAILED PERC LOCATION  
 SEWAGE DISPOSAL AREA  
 WELL BOX AREA  
 SILT FENCE  
 SUPER SILT FENCE  
 LIMITS OF DISTURBANCE  
 PROPOSED TREE  
 PROPOSED TREE  
 STONE CONSTRUCTION ENTRANCE

NOTE:  
 TOTAL LIMITS OF DISTURBANCE (LOD) = 40,658 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT PLAN  
 SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: PARKHURST (CRAFTSMAN)

- INTERIOR WET BAR  
 TWO CAR SIDE ENTRY GARAGE  
 FINISHED LOWER LEVEL  
 WALK-OUT BASEMENT  
 ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
 POWDER ROOM - FINISHED BASEMENT  
 MULTI-GENERATIONAL SUITE ADDITION  
 WALK-OUT COVER DECK  
 WET BAR - FINISHED BASEMENT  
 MEDIA ROOM - FINISHED BASEMENT  
 DOUBLE WIDE DRIVEWAY TAIL  
 DAYLIGHT WINDOW/Well IN BASEMENT

- OPTION No. 003  
 OPTION No. 012  
 OPTION No. 013  
 OPTION No. 017  
 OPTION No. 263019  
 OPTION No. 263036  
 OPTION No. 263073  
 OPTION No. 263169  
 OPTION No. 561  
 OPTION No. 562  
 OPTION No. 851  
 OPTION No. 543

WELL NUMBER: HO-18-0159

ADDRESS: 10525 PUDDING LANE  
 ELLICOTT CITY, MD 21042

PLOT PLAN 10525  
 LOT 30 Pudding Lane  
 KINGS FOREST  
 LIBER 11372, FOLIO 431  
 PLAT NO. 25767  
 2nd ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

# ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.

6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046

T: 410-872-9105

DATE: 02/05/2022

SCALE: 1" = 40'

FILE: PP LOT 30 Parkhurst Craftsman

CHK'D: M.J.B.

JOB NO: 3502

DRAWN: V.X.P.

# revised floor plans for Health Dept

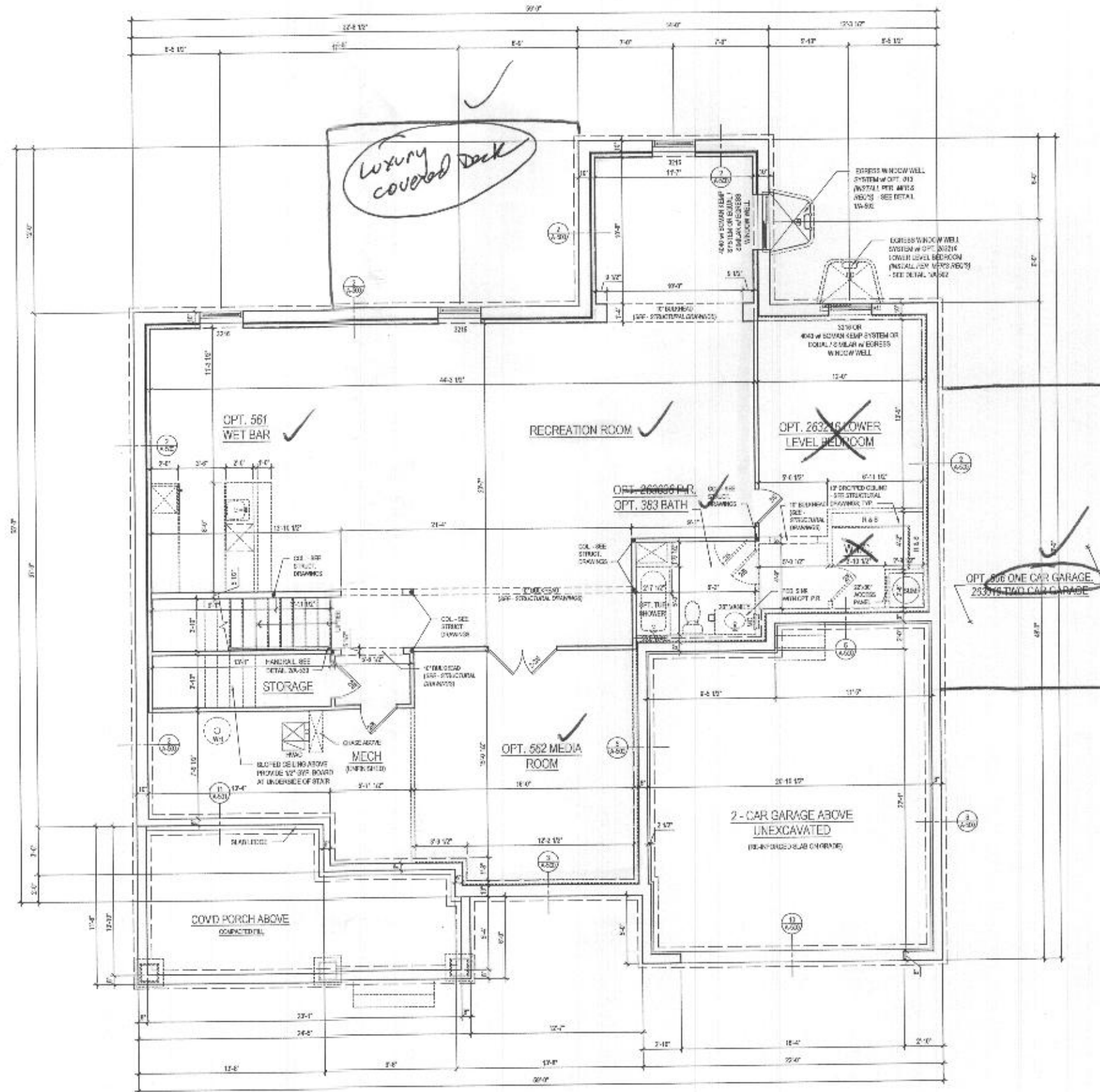
## GENERAL PLAN NOTES

- ALL WINDOW STUD PARTITIONS NOT DIMENSIONED ARE TO BE 5' 0" FOR INTERIOR AND 6' 0" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS COVER OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRE IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SERVICE UNDER STAIRS TO ALL WALL WALLS AND SLOTTED PROTECTED ON EXPOSED SIDE WITH 1/2" SYSTEM BOARD.
- ALL WINDOWS ARE NOTED IN FEET + INCHES AS MEASURED FROM BASH TO BASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 8' 0" HIGH UNLESS OTHERWISE NOTED.
- WASHERS ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DEWASHERS ALWAYS TO BE ON RIGHT SIDE OF DRYER.

10540 Pudding Lane

Lot 24

Kings Forest



1 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
TYPICAL ROOM

W/ OPT. 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN *shown*  
@ FINISHED CONDITION

See additional pages for "modern farmhouse" etc

lessard  
DESIGN

8521 Lessard Pike  
Suite 200 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

SEA: B. SIGNATURE

OWNER:

TOLL BROTHERS  
2154 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
P: 410.872.9105  
CONTACT: MARK NOSAL  
m.nosal@tollbrothers.com

PROJECT NAME:

WILLOW CREEK  
HOWARD COUNTY, MD

SHEET TITLE:

RENWICK  
FLOOR PLANS

ISSUE / REVISION

NO.	DESCRIPTION	DATE
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2	PERMIT SET	03.16.19

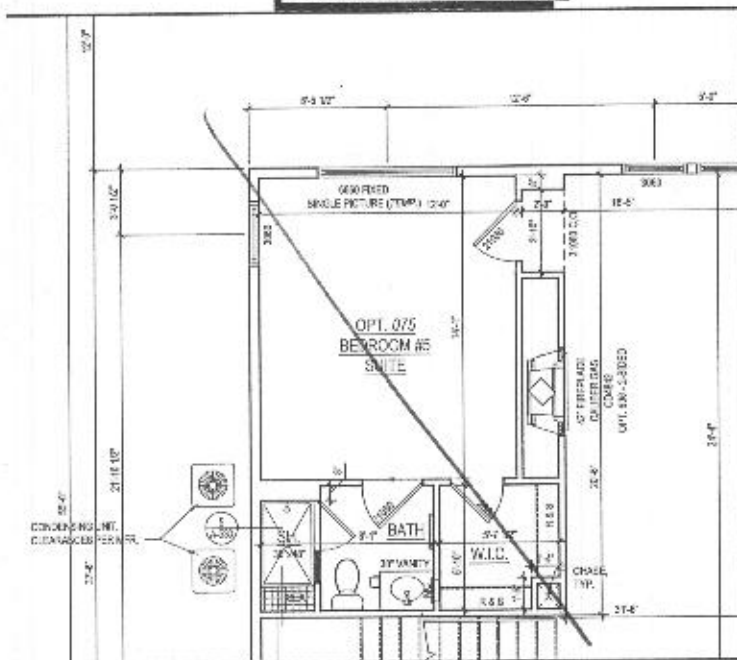
PROJECT NO.: 114-0014  
DRAWN BY: MJD  
CHECKED BY: JZ  
DATE: Nov. 13, 2019  
FILE NAME: TOLLBRO 4200.dwg

A-100a

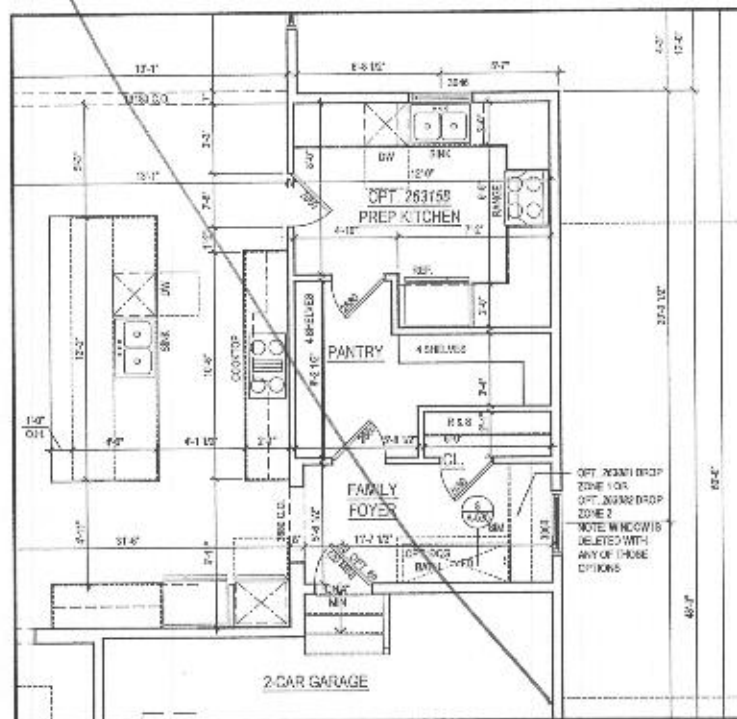


# GENERAL PLAN NOTES

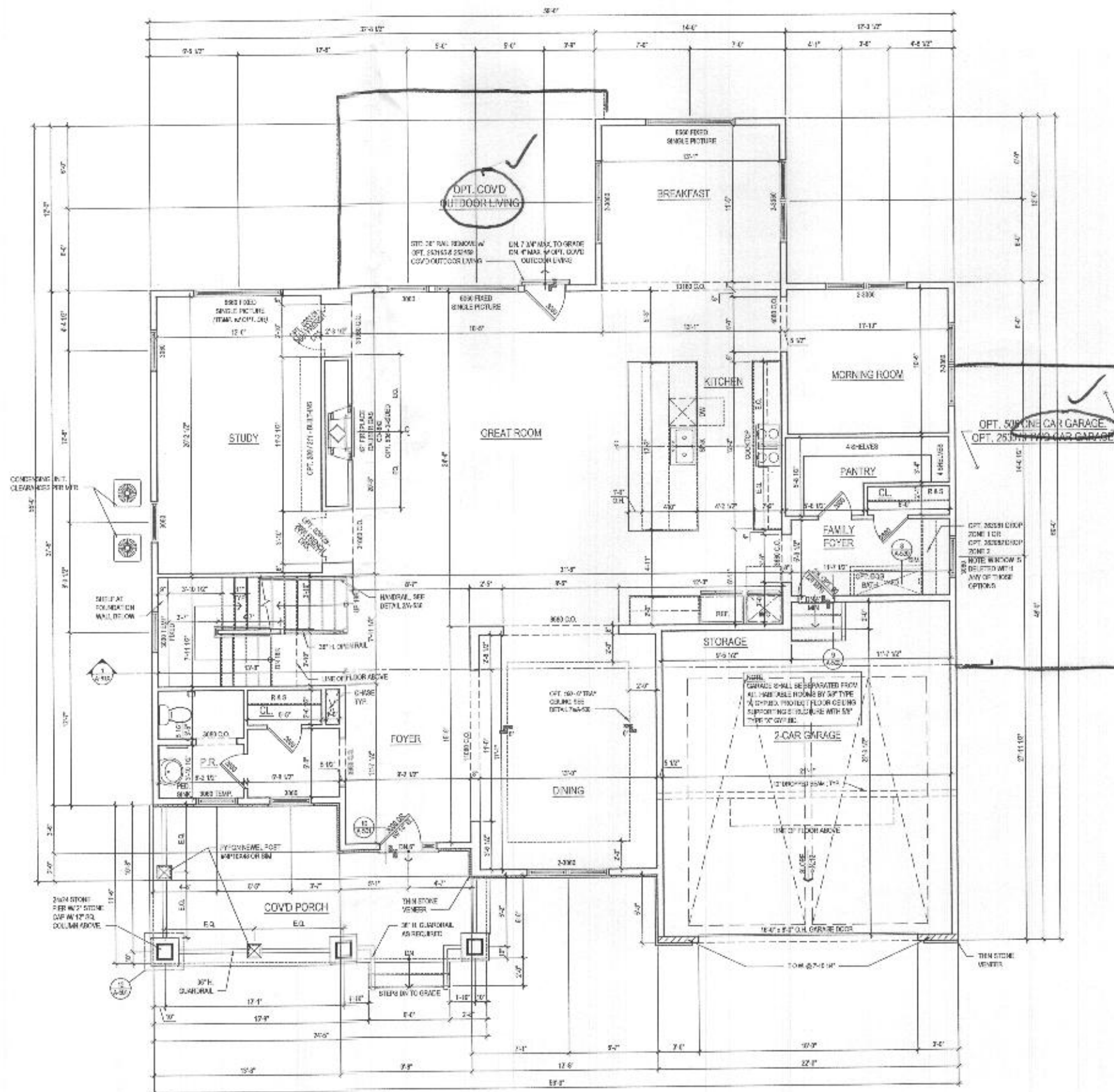
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DOORS ARE TO FACE TO STUD.
- ALL EXTERIOR DOORS ARE TO FACE TO STUD.
- ALL DIMENSIONS SHOWN ON SCALE.
- ALL DIMENSIONS ARE TO BE MEASURED IN SUCH A MANNER THAT ADJUSTMENT OF ONE WALL ADJUSTS THEM ALL.
- ENCLOSED ACCESSORY SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING FINISHED ON UNFINISHED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS ARE TO BE 4" MIN. CLEARANCE MEASURED FROM SILL TO FINISH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 4'-0" HIGH UNLESS OTHERWISE NOTED.
- WALLS ARE ALWAYS TO BE ON LEFT SIDE OF DOOR.
- DOOR SWICHES ALWAYS TO BE ON RIGHT SIDE OF DOOR.



3 PART. FIRST FLOOR PLAN w/ OPT. 075 BEDROOM #5 SUITE  
A-110 SCALE 1/8"=1'-0"  
12-00-20-00



2 PART. FIRST FLOOR PLAN w/ OPT. 263158 PREP KITCHEN  
A-110 SCALE 1/8"=1'-0"  
12-00-20-00

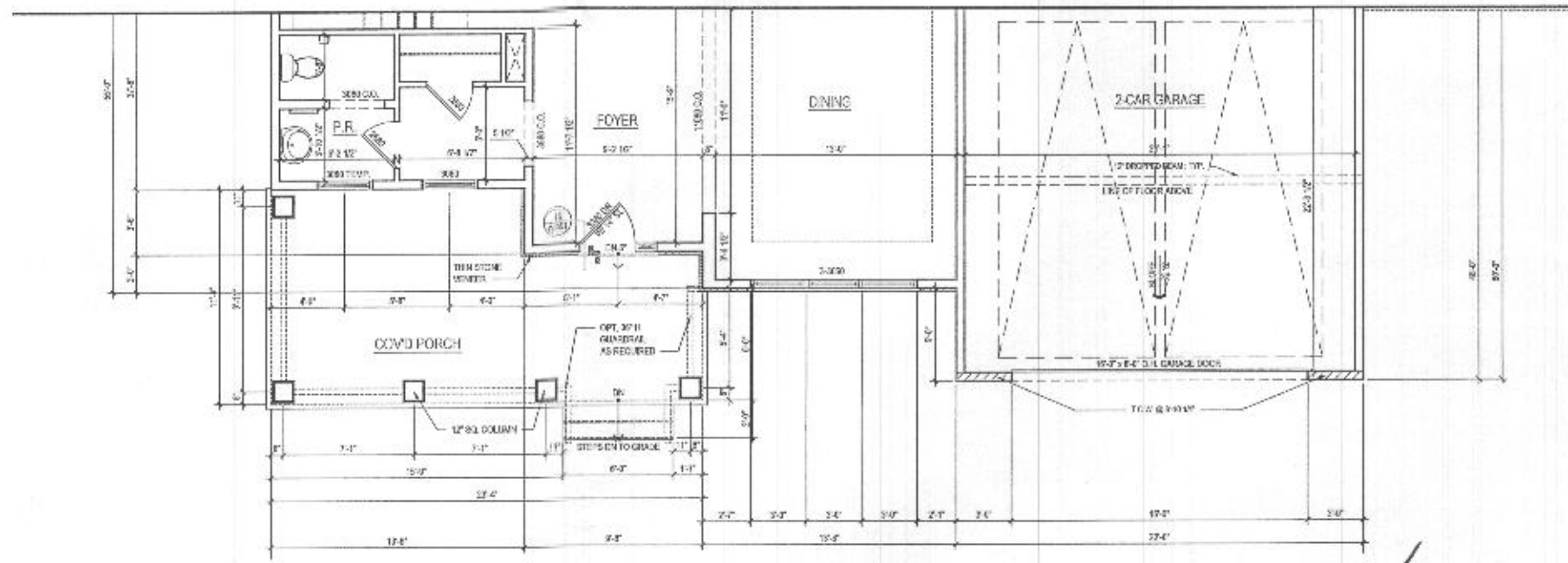


1 FIRST FLOOR PLAN  
A-110 SCALE 1/8"=1'-0"  
12-00-20-00

See additional pages for "modern farmhouse" elev.  
@ ELEV. 1 - CRAFTSMAN Shown

# GENERAL PLAN NOTES

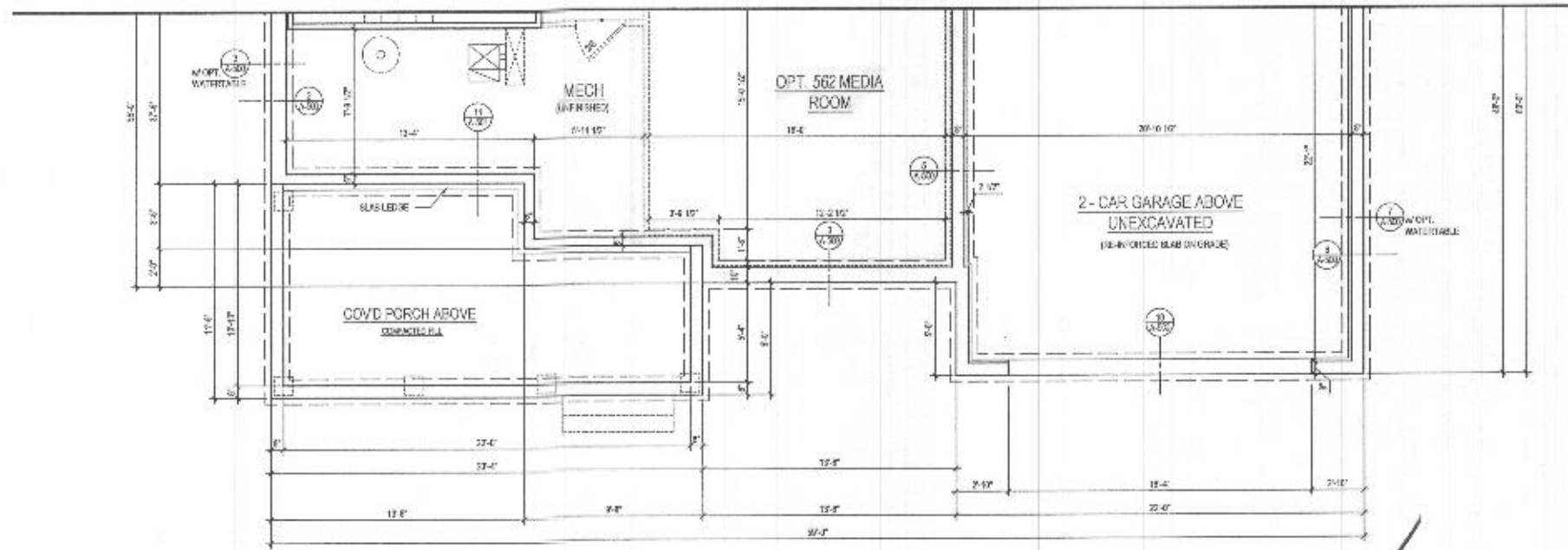
- ALL WOOD STUD PARTITIONS AND DIVISIONS ARE TO BE 1/2" FOR INTERIOR AND 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SINGLE DOORS ARE TO BE SWUNG IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND FLOORS PROTECTED OR ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS ARE TO BE 1/2" MINIMUM AS MEASURED FROM SASH TO SASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 1/2" HIGH UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF SINK.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 FIRST FLOOR PLAN

A-140 SCALE: 1/8"=1'-0"

@ ELEV. 2 - MODERN FARMHOUSE



1 BASEMENT PLAN

A-140 SCALE: 1/8"=1'-0"

@ ELEV. 2 - MODERN FARMHOUSE

ARCHITECT

**lessard**  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22180  
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SEAL & SIGNATURE

OWNER

TOLL BROTHERS

7154 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
P: 410.872.0000  
CONTACT: MARK NOSAL  
mark@tollbrothers.com

WILLOW CREEK  
HOWARD COUNTY, MD

RENWICK  
FLOOR PLANS

PROJECT NAME

SCALE / REVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08.08.23
2	ISSUED FOR CONSTRUCTION	08.08.23
3		
4		
5		
6		
7		
8		
9		
10		

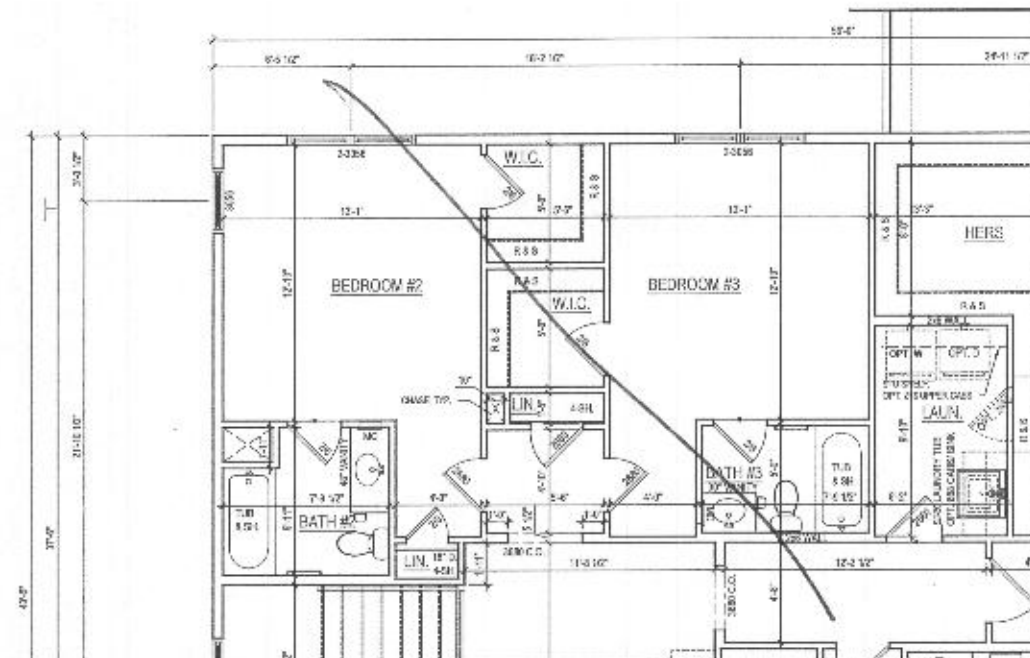
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DRAWN BY: JLD  
CHECKED BY: JLD  
PLOT DATE: Sep. 13, 2023  
FILE NAME: 10-0000-A140.dwg

A-140



# GENERAL PLAN NOTES

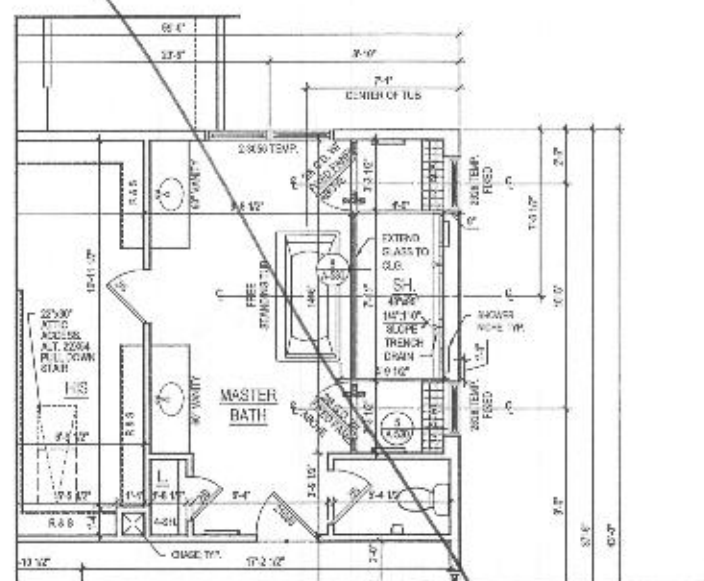
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2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
3. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
4. ALL DIMENSIONS DONOR OVER SCALE.
5. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
6. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND FLOORS PROTECTED ON ENCLOSED SIDE WITH 1/2" THICK BOARD.
7. ALL WINDOWS NOTED IN FEET - INCHES ARE MEASURED FROM FINISH TO FINISH.
8. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
9. ALL DOORS ARE TO BE 3'-0" HIGH UNLESS OTHERWISE NOTED.
10. MARKERS ALWAYS TO BE ON LEFT SIDE OF DOOR.
11. DISPLAYER A WAY TO BE ON RIGHT SIDE OF DOOR.



2 ALT. SECOND FLOOR PLAN

A-120 SCALE: 1/4"=1'-0"

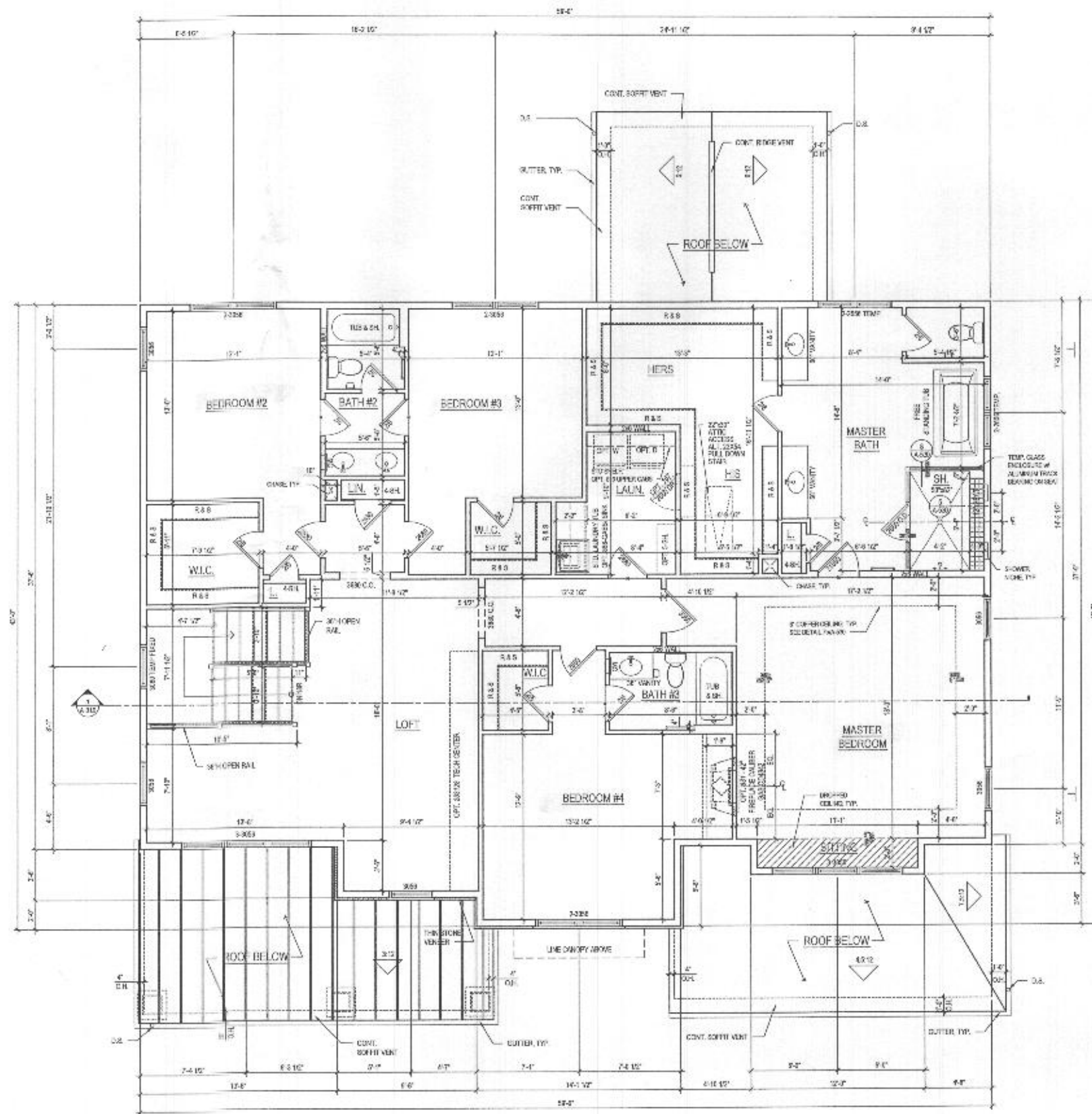
W/ OPT. 367 - BATHROOM #3



3 PART. SECOND FLOOR PLAN

A-120 SCALE: 1/4"=1'-0"

W/ OPT. 055 - LUXURY MASTER BATH



1 SECOND FLOOR PLAN

A-120 SCALE: 1/4"=1'-0"

See additional pages for "Modern Farmhouse" SW  
@ ELEV. 1 - CRAFTSMAN Shown



8521 Leesburg Pike  
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www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

TOLL BROTHERS

7161 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
P: 410.872.2003  
CONTACT: MARK NESSAL  
marknessal@tollbrothers.com

WILLOW CREEK  
HOWARD COUNTY, MD  
RENWICK  
FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

ISSUE / REVISION

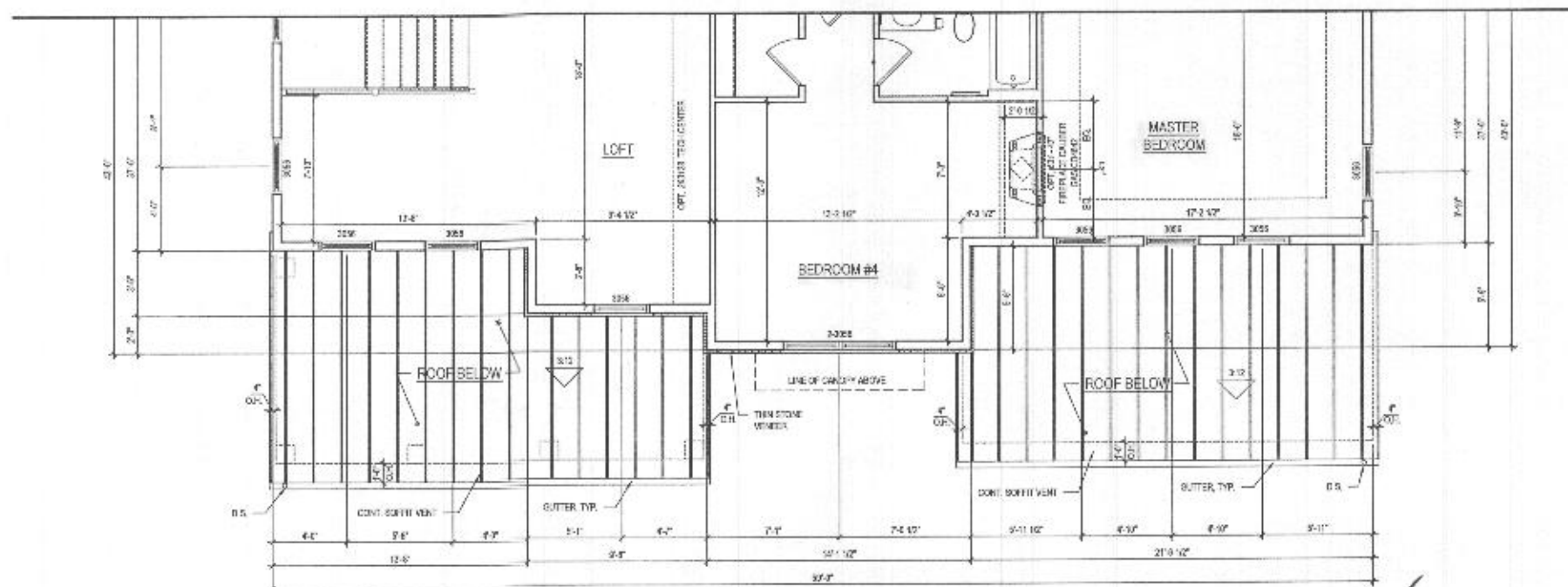
NO.	DESCRIPTION	DATE
REV 01	PERMIT SET	08.16.19

PROJECT NO: 10-031  
DRAWN BY: ALAN  
CHECKED BY: ALAN  
PLOT DATE: Sep. 13, 2019  
FILE NAME: 10-031\_01222019

A-120

# GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SWITCHES AND OUTLETS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON UNCLOSED SIDES WITH 1/2" GYP. BOARD.
- G. ALL WINDOWS ARE NOTED IN FEET + INCHES AT VERANDA FROM GROUND TO SILL.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 3'-4" HIGH UNLESS OTHERWISE NOTED.
- J. HANDLES ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. DAMPERS ALWAYS TO BE ON RIGHT SIDE OF DOOR.



## 1 SECOND FLOOR PLAN

A-141 SCALE 1/4"=1'-0"

@ ELEV. 2 - MODERN FARMHOUSE



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SEAL & SIGNATURE

OWNER

### TOLL BROTHERS

7164 COLUMBIA GATEWAY DRIVE  
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CONTACT: MARK NOGAL  
mnogal@tollbrothersinc.com

WILLOW CREEK  
HOWARD COUNTY, MD  
RENWICK  
FLOOR PLANS

PROJECT NAME

SHEET TITLE

NO.	DESCRIPTION	DATE
1	REVISED	08.12.15
2	REVISED	09.12.15
3	REVISED	
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10	REVISED	

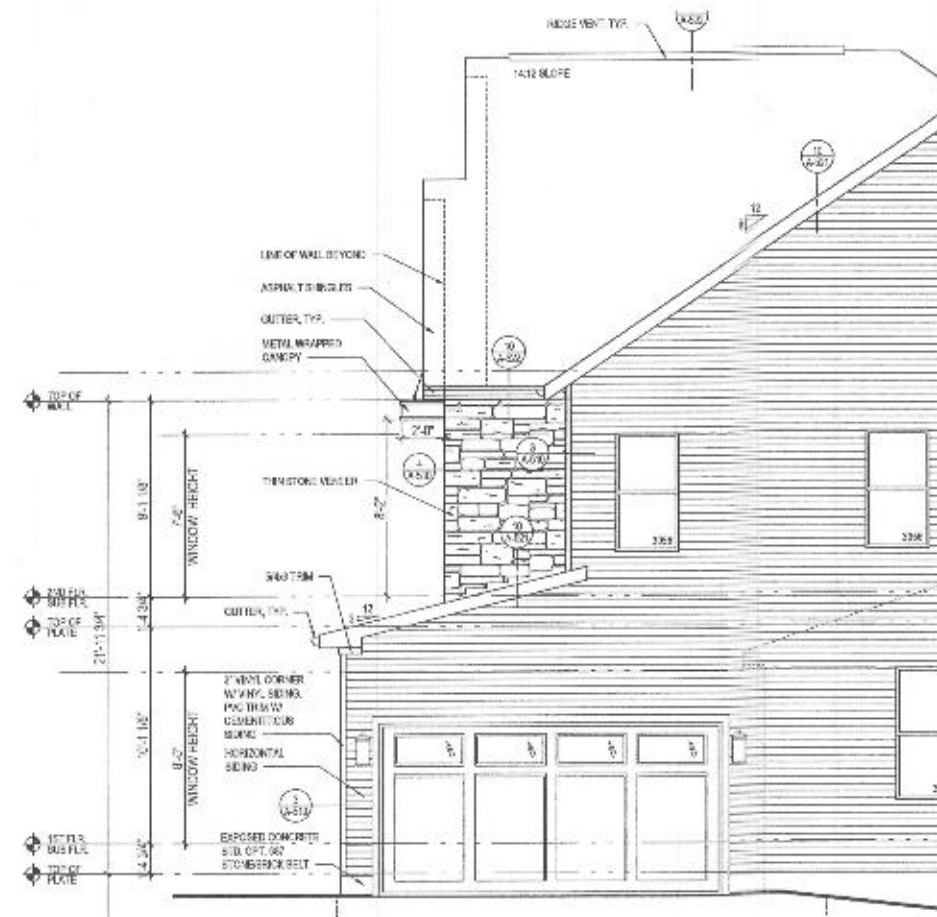
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CHECKED BY: MNOGAL  
PLOT DATE: Sep 15, 2015  
BY: MNOGAL

A-141

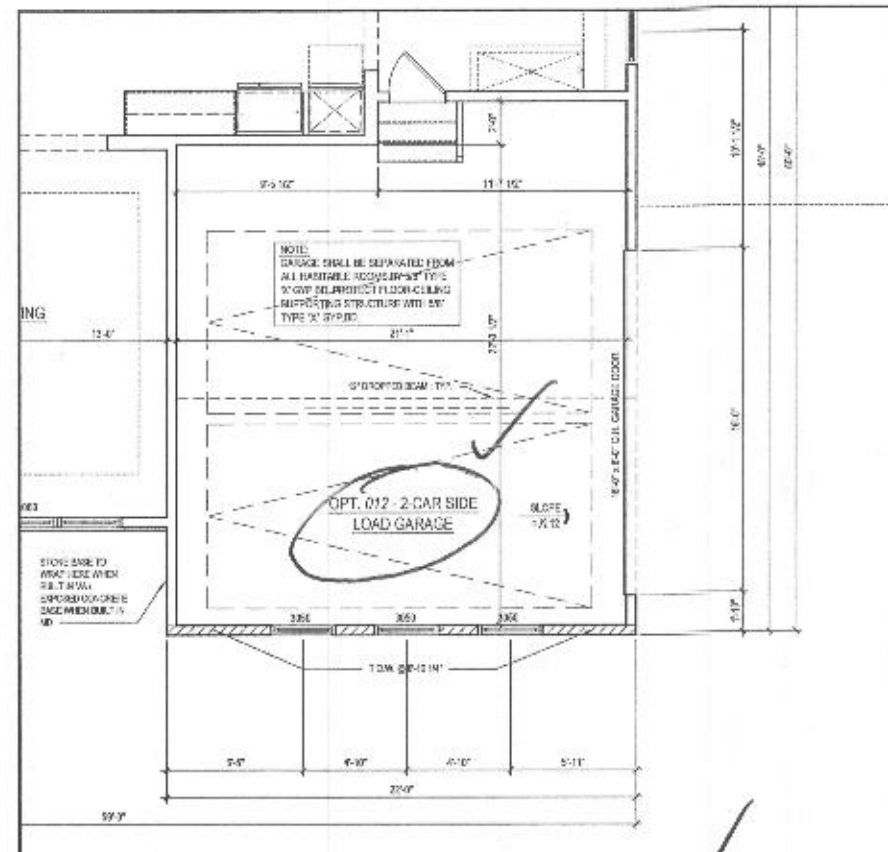


# GENERAL PLAN NOTES

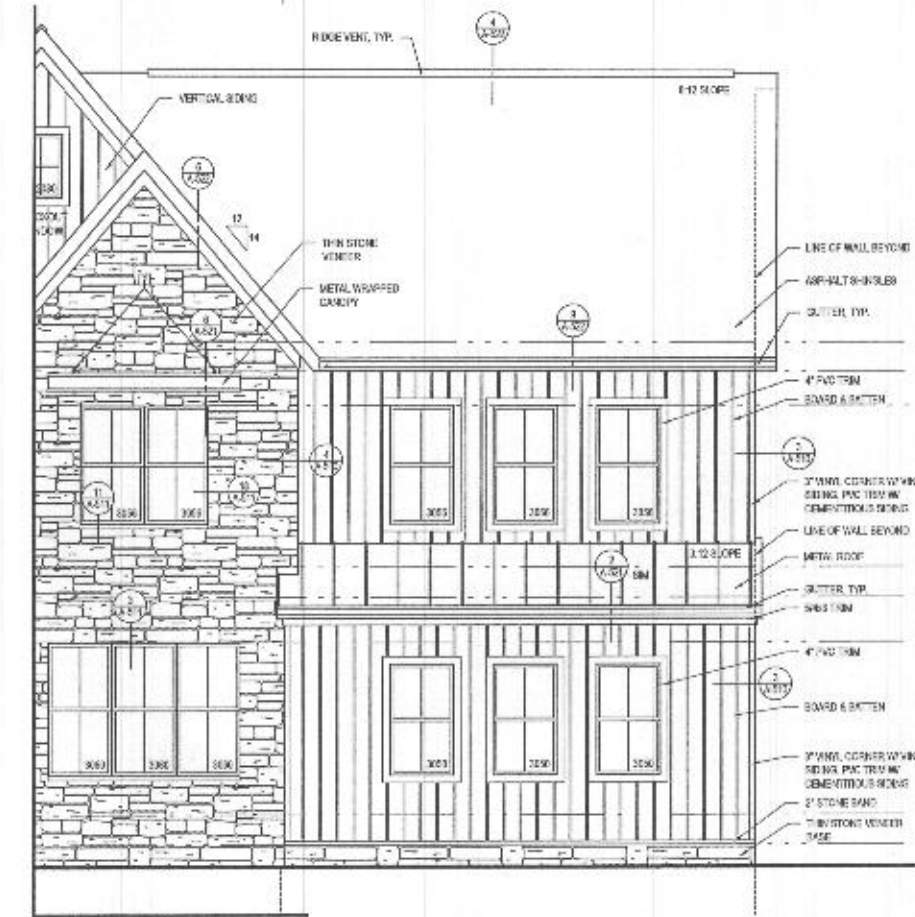
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GIVEN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRE IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- END OF ACCESSIBLE SWING UNDER STAIRS SHALL HAVE WALLS AND SCHELS PROTECTED ON END OF STAIR TO BE 1/2" OF GYPSUM BOARD.
- ALL WINDOWS SET ARE NOTED IN FEET - INCHES ARE MEASURED FROM FINISH TO FINISH.
- REFER TO ELEVATIONS FOR WINDOW HEADS AND TO ALL DOORS ARE TO BE 6'8" HIGH UNLESS OTHERWISE NOTED.
- WALLS ARE TO BE ON LEFT SIDE OF DOOR.
- DOOR SWING ALWAYS TO BE ON RIGHT SIDE OF DOOR.



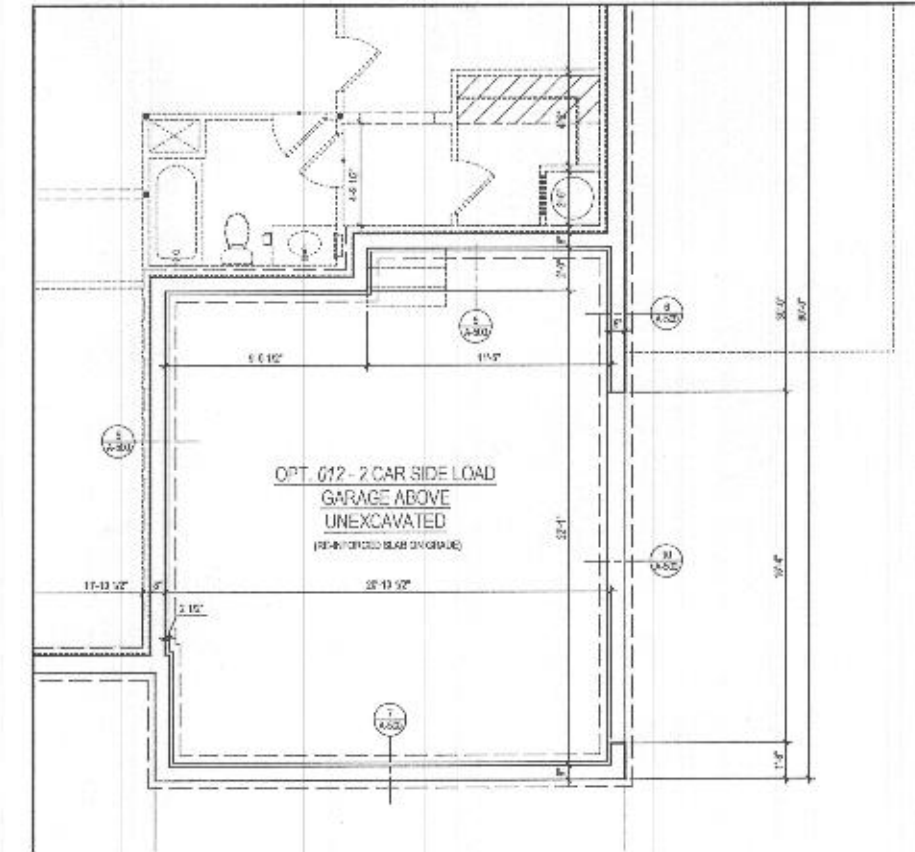
4 PART. RIGHT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE  
ELEV. 2 - MODERN FARMHOUSE - SHOWN  
SCALE: 1/4" = 1'-0"  
A-400b



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - SIDE LOAD GARAGE  
ELEV. 2 - MODERN FARMHOUSE - SHOWN  
SCALE: 1/4" = 1'-0"  
A-400b



3 PART. FRONT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE  
ELEV. 2 - MODERN FARMHOUSE - SHOWN  
SCALE: 1/4" = 1'-0"  
A-400b



1 PART. BASEMENT PLAN w/ OPT. 012 - SIDE LOAD GARAGE  
ELEV. 2 - MODERN FARMHOUSE - SHOWN  
SCALE: 1/4" = 1'-0"  
A-400b

8521 Leesburg Pike  
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www.lessarddesign.com

SEAL & SIGNATURE:

**TOLL BROTHERS**  
7064 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21045  
P: 410.872.8005  
CONTACT: MARK NOGAL  
markn@tollbrothers.com

**WILLOW CREEK**  
HOWARD COUNTY, MD

**RENWICK**  
**OPTIONS**

NO.	DESCRIPTION	DATE
010	ISSUE SET	06.18.18
011	PERMIT SET	06.18.18

PROJECT NO: TOL-18-012\_A400b

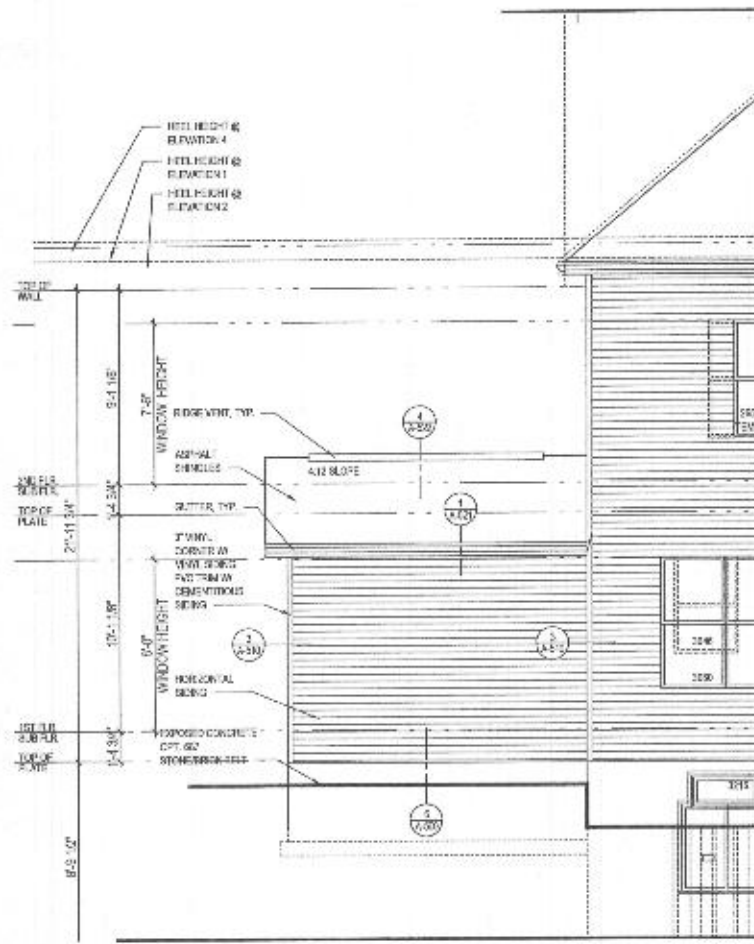
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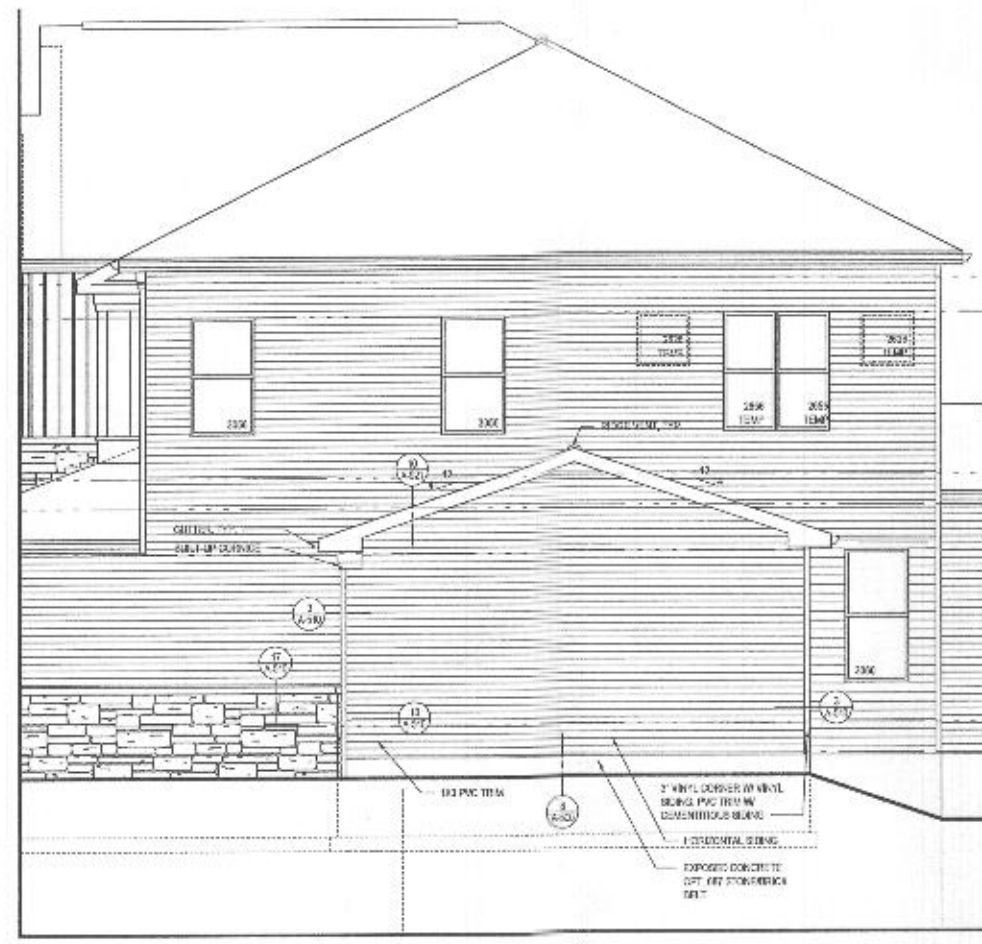
DATE: 06.18.18

FILE NAME: TOL-18-012\_A400b

**A-400b**



6 PART. REAR ELEVATION w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES



5 PART. RIGHT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES

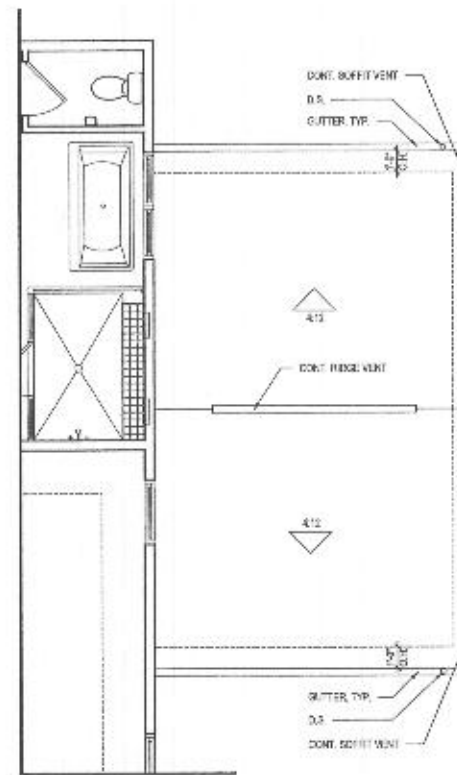


4 PART. FRONT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES

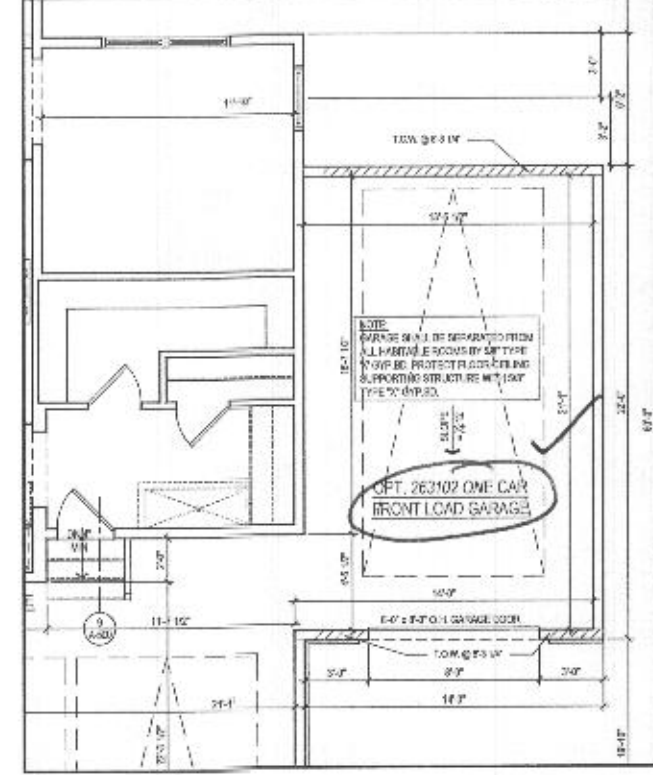
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITION WALLS DIMENSIONED ARE TO BE 2" TOP INTERIOR AND 5/8" FOR EXTERIOR MINIMUM IN ALL DIRECTIONS.
  - ALL WINDOW DIMENSIONS ARE TO FACE OF STUD.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL DOORS AND WINDOWS OVER SCALE.
  - ALL WINDOW DETAILERS ARE TO BE WIRE IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE OTHER.
  - ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND FLOORS FINISHED ON ENCLOSURE SIDE WITH 1/2" GYP. BOARD.
  - ALL WINDOW SIZES ARE NOTED IN FEET + INCHES AS MEASURED FROM FINISH TO FINISH.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 36" HIGH UNLESS OTHERWISE NOTED.
  - WALLS ARE ALWAYS TO BE ON LEFT SIDE OF DOOR.
  - DOOR HANDS ALWAYS TO BE ON RIGHT SIDE OF DOOR.

**ROOF VENTILATION CALCULATIONS - ONE CAR GARAGE ROOF**

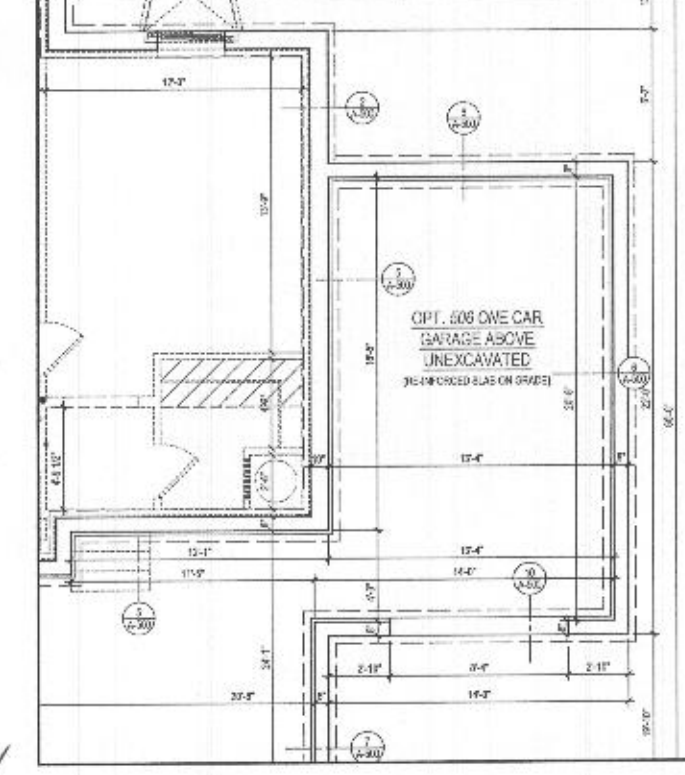
ROOF AREA	=	276.92 SQ. FT.
7/30	=	3.02 SQ. FT.
12x12	=	132.44 SQ. FT.
EPS (MEANS)	=	43.22 SQ. IN.
SOFFIT VENT - REQUIRED (UNITS @ 6.0 SQ. IN. / FT.)	=	1.22 FT.
SOFFIT VENT - PROVIDED	=	2.13 FT.
RES (OUTLINE)	=	18.22 SQ. IN.
RIDGE VENT - REQUIRED (OUTLINE @ 14.1 SQ. IN. / FT.)	=	4.76 FT.
RIDGE VENT - PROVIDED	=	3.96 FT.



3 PART. SECOND FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES



2 PART. FIRST FLR PLAN w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES



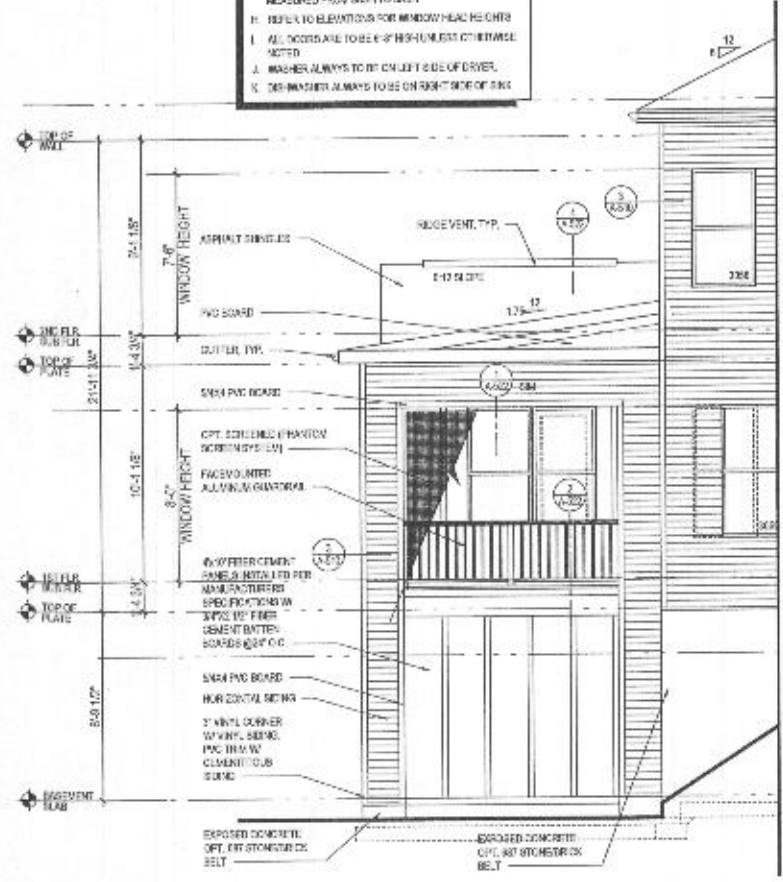
1 PART. BASEMENT PLAN w/ OPT. 263102 - ONE CAR GARAGE  
A-401 SCALE 1/4"=1'-0"  
TYPICAL NOTES



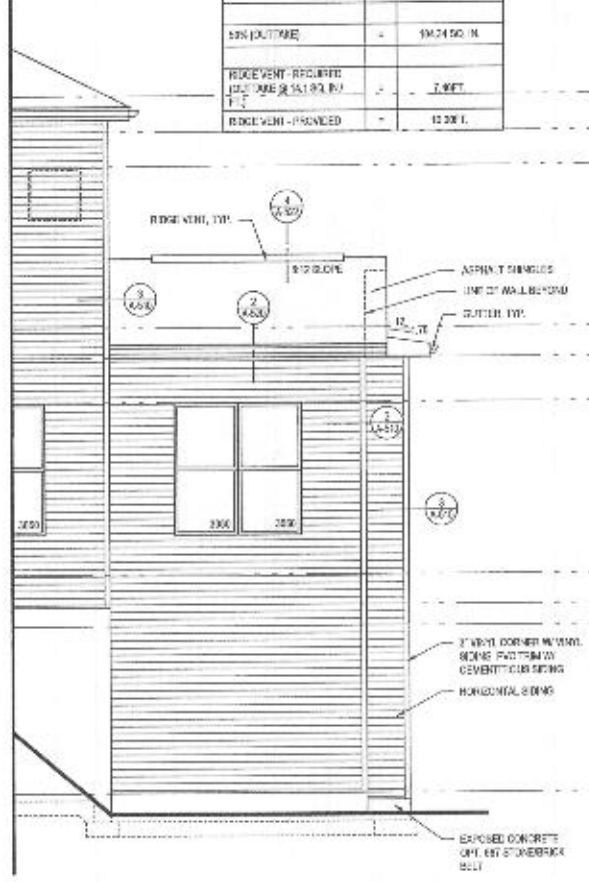
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT MENTIONED ARE TO BE 2" X 10" FOR INTERIOR AND 2" X 12" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - ALL INTERIOR DIVISIONS ARE TO FACE OF STUD.
  - ALL EXTERIOR DIVISIONS ARE TO FACE OF STUD.
  - ALL DIMENSIONS GIVEN OVER SCALE.
  - ALL SMOKE DETECTORS ARE TO BE WIRELESS IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE ALL.
  - ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SLOPE PROTECTED OR ENCLOSED WITH 1/2" GYPSUM BOARD.
  - ALL WINDOWS ARE TO BE 1/2" X 10" UNLESS OTHERWISE NOTED.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
  - WALKWAYS ALWAYS TO BE ON LEFT SIDE OF DRIVE.
  - WALKWAYS ALWAYS TO BE ON RIGHT SIDE OF DRIVE.

**ROOF VENTILATION CALCULATIONS - REAR ROOF**

ROOF AREA	= 44.15 SQ. FT.
100%	= 1.00 SQ. FT.
1/2" X 12"	= 20.69 SQ. FT.
50% (TYPICAL)	= 10.34 SQ. FT.
ROOF VENT - REQUIRED (1/2" X 12" X 12")	= 10.34 SQ. FT.
ROOF VENT - PROVIDED	= 10.34 SQ. FT.
50% (TYPICAL)	= 10.34 SQ. FT.
ROOF VENT - REQUIRED (1/2" X 12" X 12")	= 10.34 SQ. FT.
ROOF VENT - PROVIDED	= 10.34 SQ. FT.



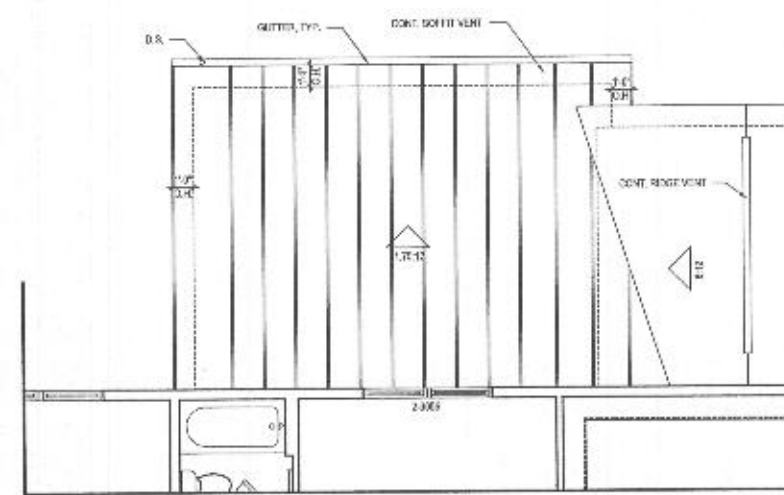
**6 PART. LEFT ELEV.** w/ OPT. 263165 - COVD OUTDOOR LIVING @ WALKOUT CONDITION  
A-403 SCALE: 1/4"=1'-0"



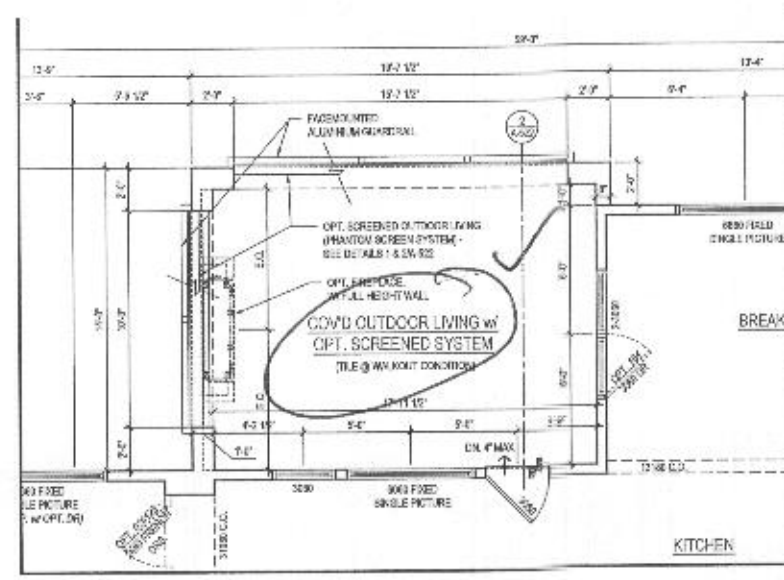
**5 PART. RIGHT ELEV.** w/ OPT. 263165 - COVD OUTDOOR LIVING @ WALKOUT CONDITION  
A-403 SCALE: 1/4"=1'-0"



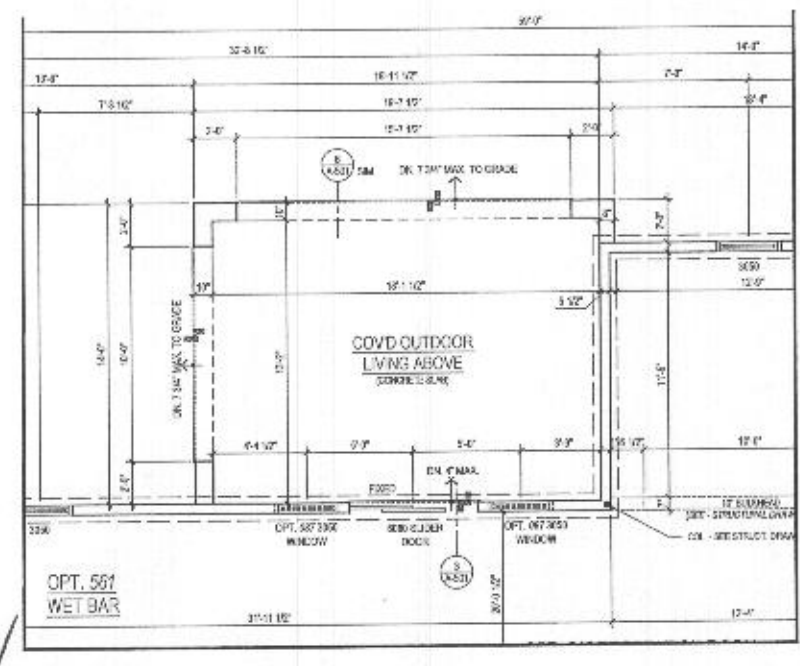
**4 REAR ELEVATION**  
A-403 SCALE: 1/4"=1'-0"



**3 PART. SECOND FLOOR PLAN** w/ OPT. COVD OUTDOOR LIVING  
A-403 SCALE: 1/4"=1'-0"



**2 PART. FIRST FLOOR PLAN** w/ OPT. 263169 - COVD OUTDOOR LIVING @ WALKOUT CONDITION  
A-403 SCALE: 1/4"=1'-0"



**1 PART. BASEMENT PLAN** w/ OPT. 263169 - COVD OUTDOOR LIVING @ WALKOUT CONDITION  
A-403 SCALE: 1/4"=1'-0"

**lessard DESIGN**  
8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

**TOLL BROTHERS**  
7164 COLUMBIA GATEWAY DRIVE  
COLUMBIA, MD 21046  
P: 410.872.9100  
CONTACT: MARK ROSAL  
mark@tollbrothers.com

**RENEWICK OPTIONS**  
WILLOW CREEK  
HOWARD COUNTY, MD

**A-403**

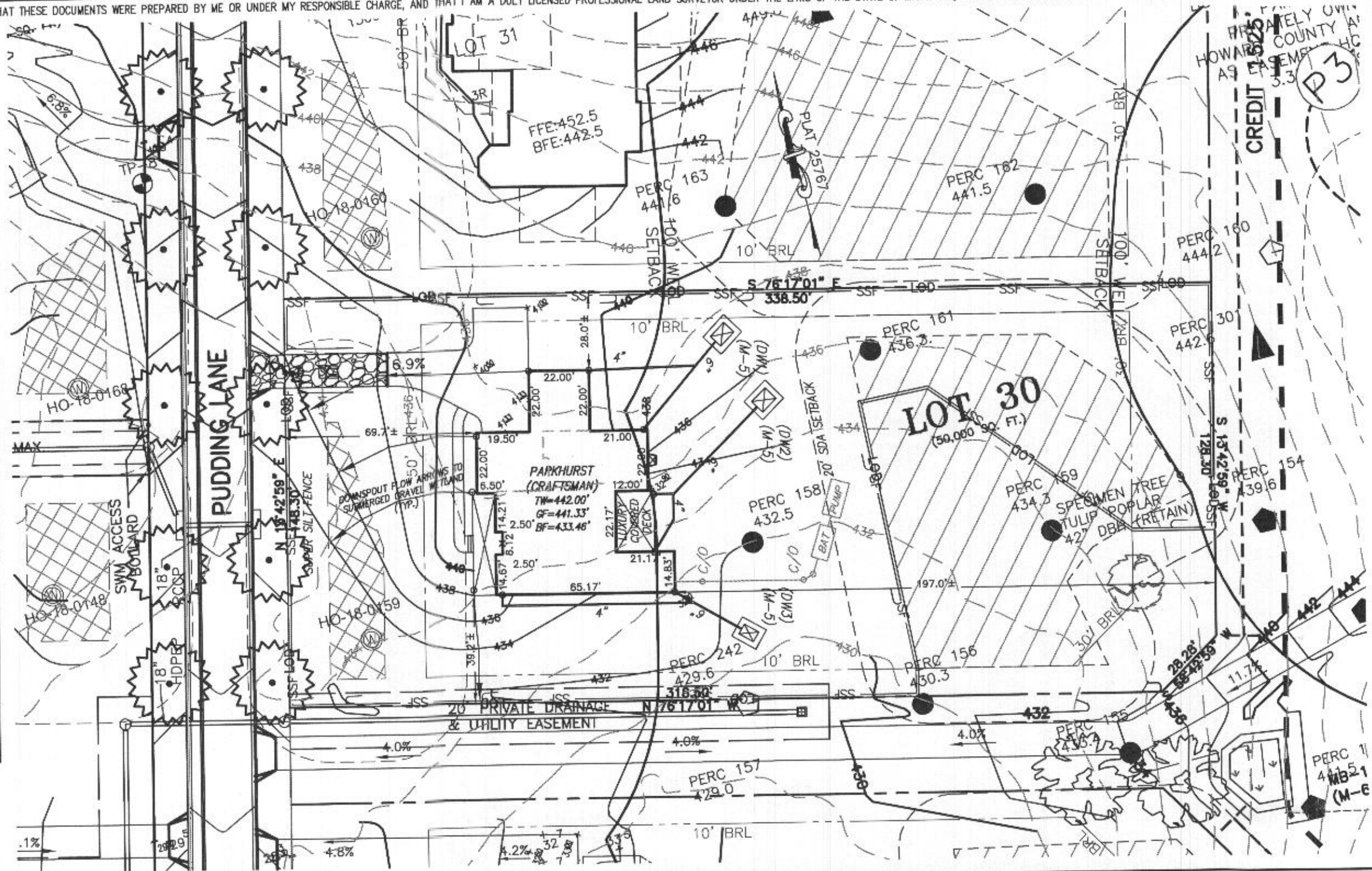


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

# LEGEND:

- BRL BUILDING RESTRICTION LINE
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PERC PASSED PERC LOCATION
- PERC FAILED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- SILT FENCE
- SUPER SILT FENCE
- LIMITS OF DISTURBANCE
- PROPOSED TREE
- PROPOSED TREE
- STONE CONSTRUCTION ENTRANCE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 40,658 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN  
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



## HOUSE TYPE: PARKHURST (CRAFTSMAN)

- INTERIOR WET BAR
- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- ADDITIONAL TWO CAR FRONT ENTRY GARAGE
- POWDER ROOM - FINISHED BASEMENT
- MULTI-GENERATIONAL SUITE ADDITION
- WALK-OUT COVER DECK
- WET BAR - FINISHED BASEMENT
- MEDIA ROOM - FINISHED BASEMENT
- DOUBLE WIDE DRIVEWAY TAIL
- DAYLIGHT WINDOW/WELL IN BASEMENT

- OPTION No. 003
- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 263019
- OPTION No. 263036
- OPTION No. 263073
- OPTION No. 263169
- OPTION No. 561
- OPTION No. 562
- OPTION No. 851
- OPTION No. 543

WELL NUMBER: HO-18-0159

ADDRESS: 10525 PUDDING LANE  
ELLICOTT CITY, MD 21042

PLOT PLAN  
LOT 30  
**KINGS FOREST**  
LIBER 11372, FOLIO 431  
PLAT NO. 25767  
2nd ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

## ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.

6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046

T: 410-872-9105

DATE: 02/05/2022

SCALE: 1" = 40'

FILE: PP LOT 30 Parkhurst Craftsman

CHK'D: M.J.B.

JOB NO: 3502

DRAWN: V.X.P.



Health Dept

B22000468

# GENERAL PLAN NOTES

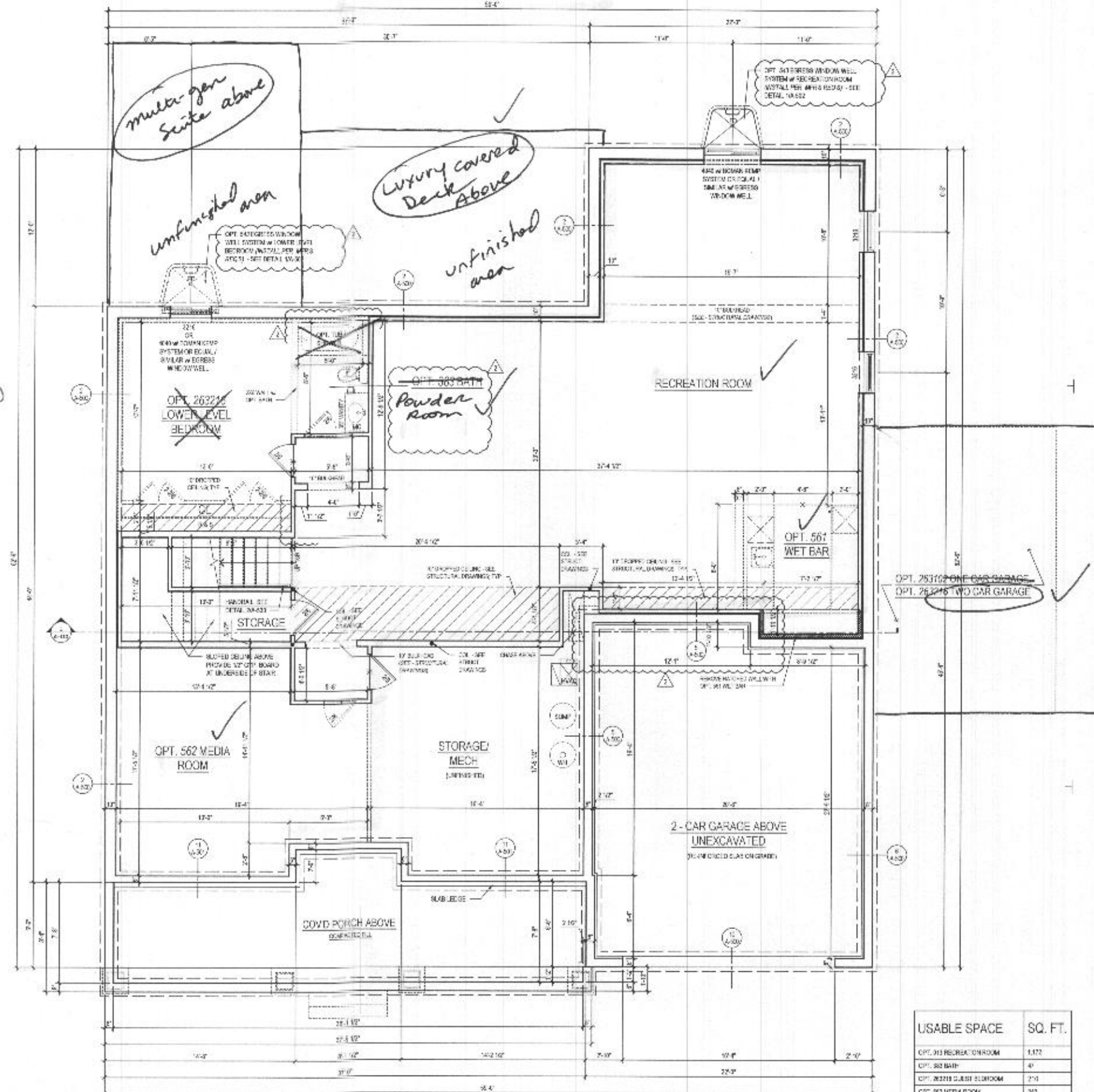
- ALL WOOD STUD PARTITIONS AND DIVISIONS SHALL BE TO BE 2" TOP FOR INTERIOR AND 1" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL DIMENSIONS GIVEN OVER SLOPE.
- ALL SLOPE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE RAMP UNDER STAIRS SHALL HAVE WALLS AND SLOTTED PROTECTED ON ENCLOSED SIDE WITH 1/2" CYPRUS BOARD.
- ALL WINDOW SIZES ARE NOTED IN FEET - INCHES AS VIEWED FROM INSIDE TO OUT.
- REFER TO ELEVATIONS FOR WINDOW HEADS UNITS.
- ALL DOORS ARE TO BE 6'0" UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- WASHER ALWAYS TO BE ON RIGHT SIDE OF DRYER.

10525 Pudding Lane

Lot 30

Kings forest  
(Kingsley Woods)

5 BR  
only



USABLE SPACE	SQ. FT.
OPT. 313 RECREATION ROOM	1,172
OPT. 561 BATH	41
OPT. 26310 GUEST BEDROOM	210
OPT. 562 MEDIA ROOM	343
TOTAL	1,766

1 BASEMENT FLOOR PLAN  
A-100a SCALE: 1/4"=1'-0"

W/ OPT 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN  
@ FINISHED CONDITION

lessard  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1900 | F: 571.830.1801  
www.lessarddesign.com

DESIGN & CONSTRUCTION

OWNER:

TOLL BROTHERS

10775 BELMONT EXECUTIVE PLAZA  
ARLINGTON, VA 22204  
P: 703.281.0058  
CONTACT: CHRISTINA LEMLEY  
clemley@tollbrothers.com

PROJECT NAME:

MARYLAND

PROJECT TITLE:

PARKHURST FLOOR PLANS

DATE / REVISION

NO.	DESCRIPTION	DATE
010 SET		05.22.19
PERMIT SET		06.12.19
1 NO NEW STANDARDS		09.25.19
2 NO #22024		12.11.20

DESIGNED BY: [Signature]

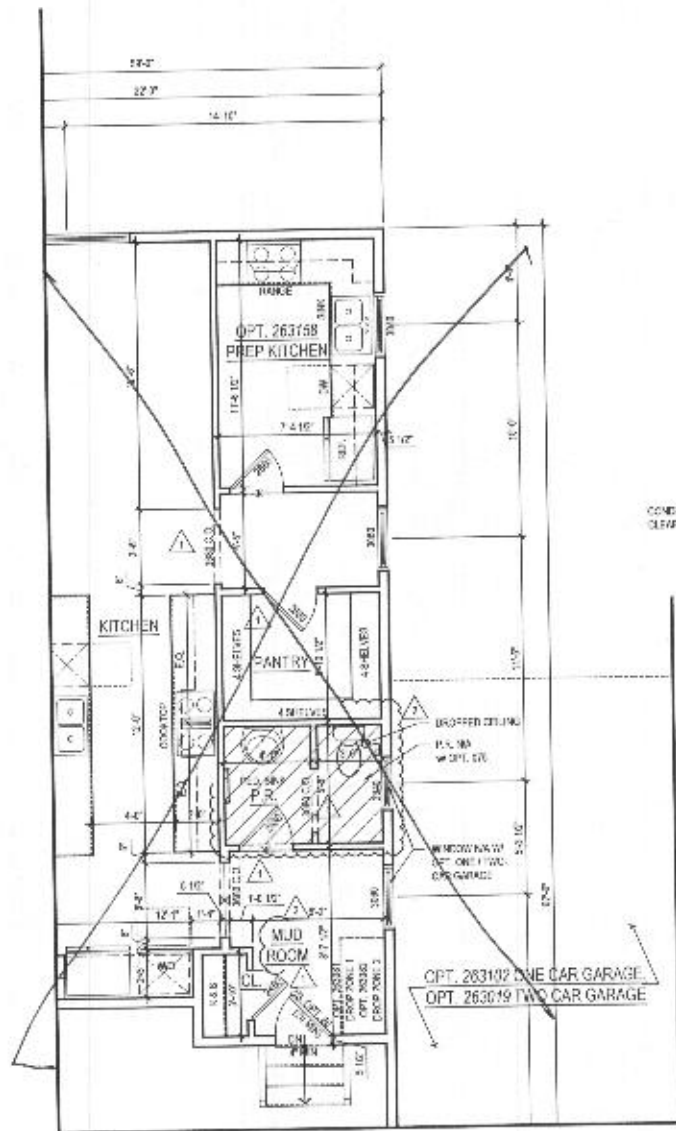
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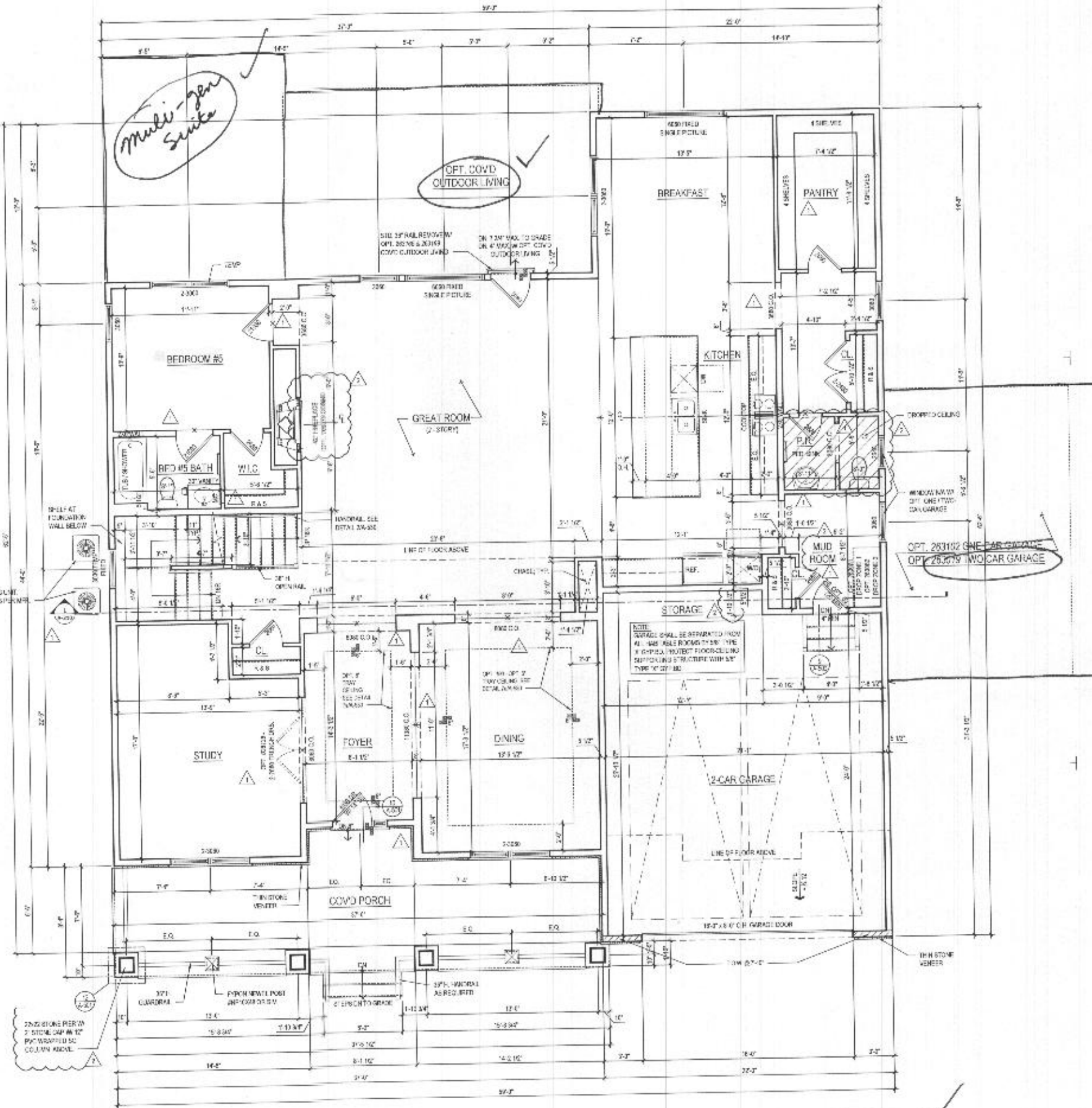
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A-100a

- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 1" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL DIMENSIONS GOVERN OVER SCALE.
  - ALL DOOR DETECTORS ARE TO BE WIRE IN STUD A VARIETY OF ACTUAL ACT OF ONE WILL ACTUAL & HIGH ALL.
  - ENLIGHTEN ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SLOTTED FLOORING ON ENCLOSED ARE WITH 1/2" WOOD BOARD.
  - ALL WINDOWS ARE TO BE NOTED IN FULL DIMENSIONS MEASURED FROM SASH TO SASH.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 3/4" UNLESS OTHERWISE NOTED.
  - WASHER & DRYER TO BE ON LEFT SIDE OF DRYER.
  - IF WASHER & DRYER TO BE ON RIGHT SIDE OF DRYER.



**2 PART. FIRST FLOOR PLAN w/ OPT. 263158 - OPT. PREP KITCHEN**  
A-110 - SCALE 1/4" = 1'-0"



**1 FIRST FLOOR PLAN**  
A-110 - SCALE 1/4" = 1'-0"

@ ELEV. 1 - CRAFTSMAN

**lessard DESIGN**  
1521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 703.830.1803 | F: 703.830.1803  
www.lessarddesign.com

**TOLL BROTHERS**  
10775 BELMONT EXECUTIVE PLAZA  
ADIRONDACK, VA 20147  
P: 571.201.8088  
CONTACT: C. KRISTINA LITTELL  
dkr@tollbrothers.com

**MARYLAND**  
**PARKHURST**  
**FLOOR PLANS**

NO.	DESCRIPTION	DATE
1	PREP KITCHEN	05.24.18
2	PREP KITCHEN	06.15.18
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5	PREP KITCHEN	06.15.18
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100	PREP KITCHEN	06.15.18

**A-110**