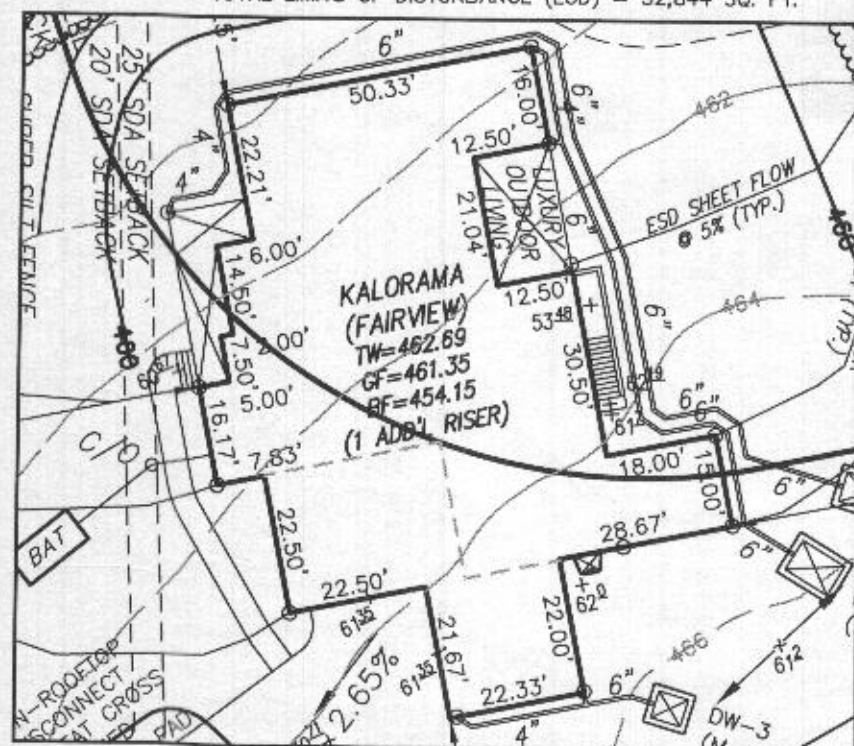


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

LEGEND:

- BRL BUILDING RESTRICTION LINE
- WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- SILT FENCE
- SUPER SILT FENCE
- LIMITS OF DISTURBANCE
- PROPOSED TREE
- SCE STONE CONSTRUCTION ENTRANCE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 52,844 SQ. FT.



HOUSE ENLARGEMENT
NOT TO SCALE

WELL NUMBER: HO-18-0147

ADDRESS: 10505 PUDDING LANE
ELLICOTT CITY, MD 21042

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT PLAN
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

HOUSE TYPE: KALORAMA (FAIRVIEW)

TWO CAR SIDE ENTRY GARAGE
FINISHED LOWER LEVEL
DAYLIGHT BASEMENT
DAYLIGHT WINDOW/WELL
WET BAR
MEDIA ROOM
DOUBLE WIDE DRIVEWAY TAIL
ADDITIONAL TWO CAR FRONT ENTRY GARAGE
POWDER ROOM FOR FINISHED LOWER LEVEL
STUDY IN LIEU OF LIVING ROOM/FLEX ROOM
MULTI-GENERATIONAL SUITE ADDITION
GRAND MULTI-GENERATIONAL SUITE ADDITION
EXPANDED CLOSET
PREP KITCHEN
LUXURY OUTDOOR LIVING
BEDROOM IN FINISHED LOWER LEVEL
FINISHED THIRD FLOOR WITH HALF BATH
FINISHED BASEMENT UNDER GRAND MULTI-GEN

OPTION No. 012
OPTION No. 013
OPTION No. 018
OPTION No. 543
OPTION No. 561
OPTION No. 562
OPTION No. 851
OPTION No. 263019
OPTION No. 263036
OPTION No. 263038
OPTION No. 263073
OPTION No. 263075
OPTION No. 263111
OPTION No. 263158
OPTION No. 263165
OPTION No. 263216
OPTION No. 263381
OPTION No. 263279

10505 Pudding Lane
PLOT PLAN
LOT 35
KINGS FOREST
LIBER 11372, FOLIO 431
PLAT NO. 25767
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.

6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046

T: 410-872-9105

DATE: 04/06/2022

SCALE: 1" = 40'

FILE: PP LOT 35 - KALORAMA FAIR.

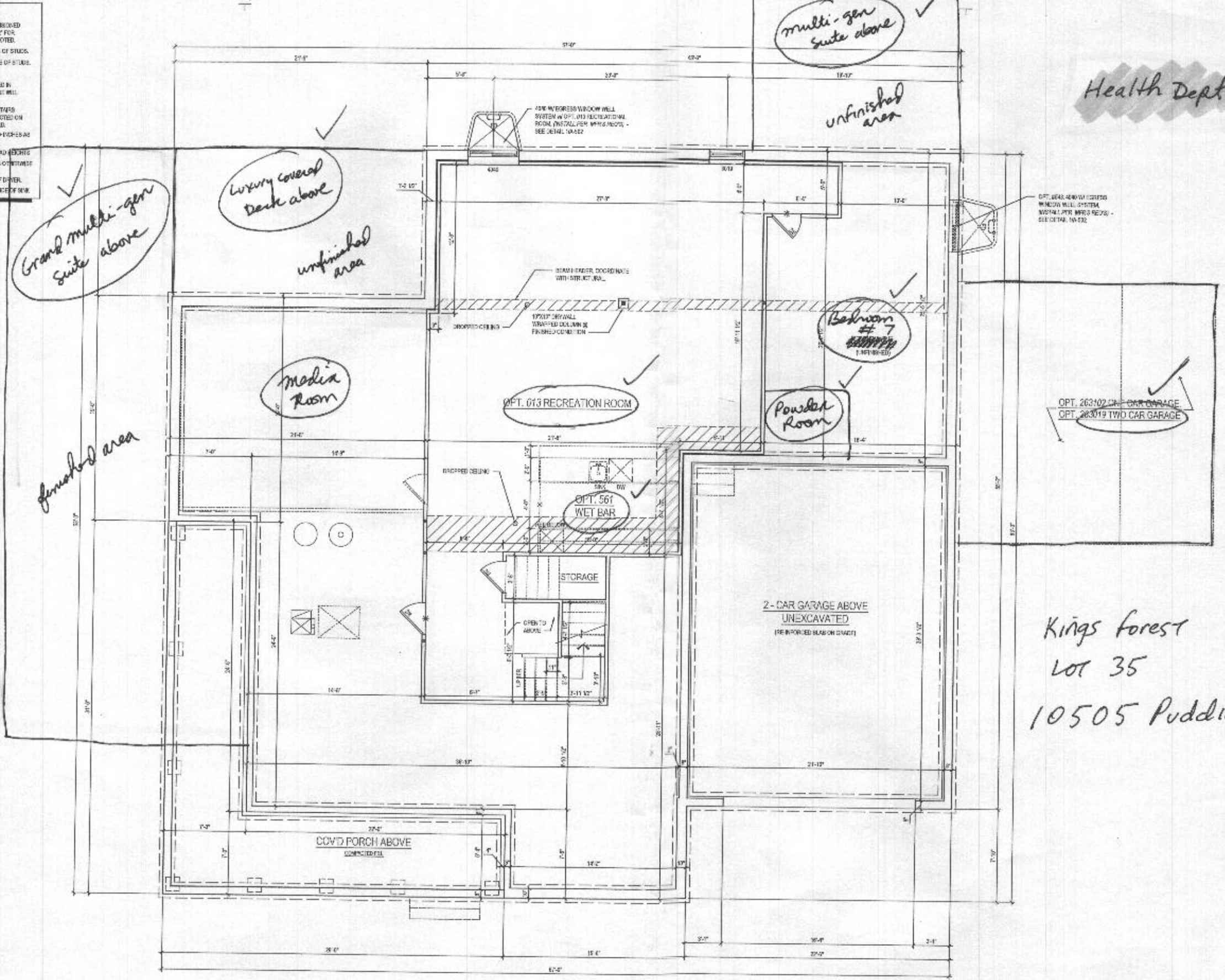
CHK'D: M.J.B.

JOB NO: 3502

DRAWN: R.C.K.

B22001587

- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DEVELOPED ARE TO BE 3/4" FOR INTERIOR AND 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCHEDULE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SETS ARE NOTED IN FEET + INCHES AS MEASURED FROM FINISH TO FINISH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 3'-0" HIGH UNLESS OTHERWISE NOTED.
 - J. PARKED ALWAYS TO BE ON LEFT SIDE OF DRIVE.
 - K. GROUNDWATER ALWAYS TO BE ON RIGHT SIDE OF DRIVE.



1 PART. BASEMENT PLAN
A-101 SCALE: 1/4"=1'-0"
SOURCE: VOLUME

WI OPT. 013 - RECREATION ROOM

see additional pages for Fairview elev

ARCHITECT

lessard
DESIGN

5571 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEAL & SIGNATURE

OWNER:

TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
SUITE 250
ARLINGTON, VA 22207
P: 571.251.2058
F: 703.222.4148
CONTACT: CHRISTINA KENLEY
CKENLEY@tollbrothers.com

PROJECT NAME:

SHEET TITLE:

ISSUE / REVISION

NO.	DESCRIPTION	DATE
01	PERMANENT DEVELOPMENT	10.22.20
02	REVISED	10.22.20
03	PERMANENT DEVELOPMENT SET	10.22.20
04	PERMANENT DEVELOPMENT SET	10.22.20

PROJECT NO:

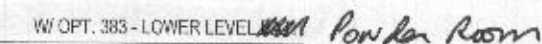
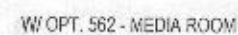
DRAWN BY:

CHECKED BY:

FILE NAME:

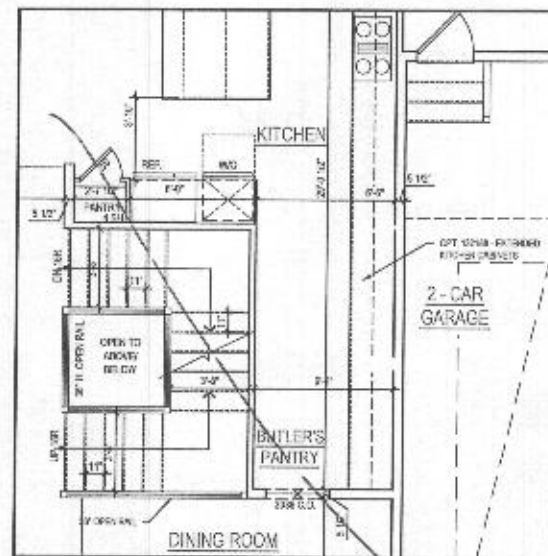
A-101

- A. ALL WINDOW HEAD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 5/8" FOR EXTERIOR UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D. ALL DIMENSIONS GIVEN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND DOOR IF PROVIDED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SHALL BE SETTED IN SET + 1/8" IN ORDER TO ELIMINATE PROBLEMS TO SEAL.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6' 8" HIGH UNLESS OTHERWISE NOTED.
- J. WASHERS ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. DOOR WASHERS ALWAYS TO BE ON RIGHT SIDE OF SW.

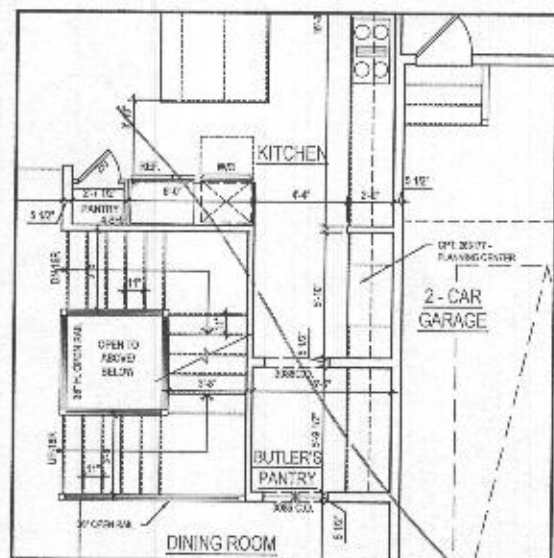


GENERAL PLAN NOTES

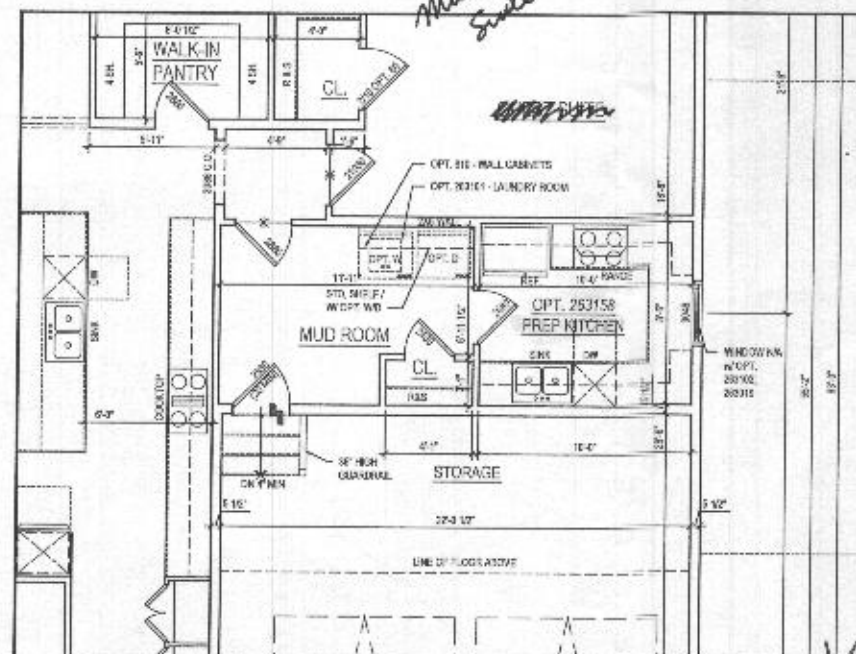
- A. ALL STUDY PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER NOTE.
- E. ALL WINDOW DETECTORS ARE TO BE WIRELESS IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE WALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZES ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HINGE HEIGHTS.
- I. ALL DOORS ARE TO BE 8'0" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF ENTRY.
- K. DRYER ALWAYS TO BE ON RIGHT SIDE OF ENTRY.



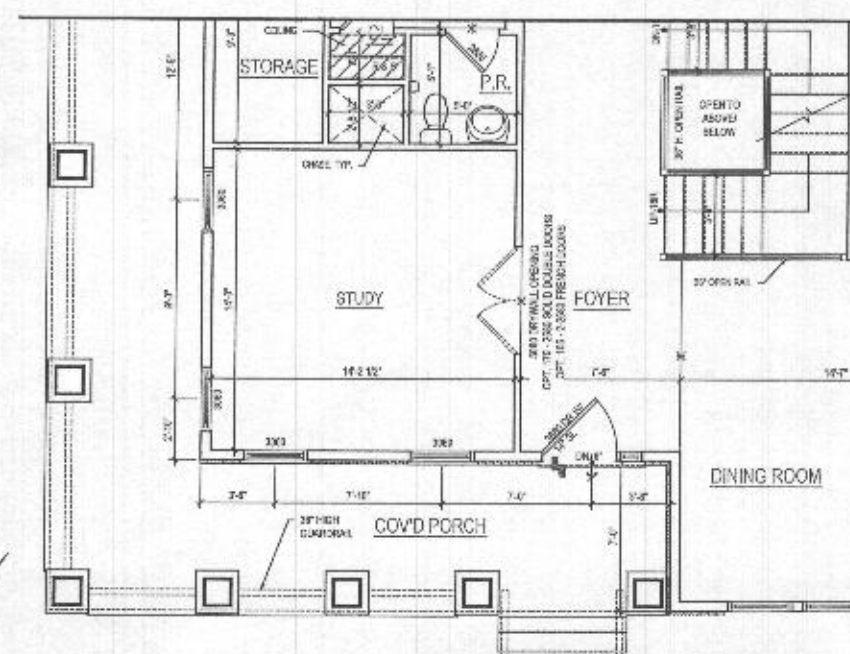
4 PART. FIRST FLOOR PLAN W/ OPT. 132188
A-111 SCALE: 1/4"=1'-0" EXTENDED KITCHEN CABINETS



3 PART. FIRST FLOOR PLAN W/ OPT. 263177
A-111 SCALE: 1/4"=1'-0" PLANNING CENTER



2 PART. FIRST FLOOR PLAN W/ OPT. 263158 PREP KITCHEN
A-111 SCALE: 1/4"=1'-0"



1 PART. FIRST FLOOR PLAN W/ OPT. 263036 STUDY
A-111 SCALE: 1/4"=1'-0"

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www.lessarddesign.com

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P: 571.291.8058
F: 703.227.1738
CONTACT: CRISTINA LEMLEY
CLEMLEY@tollbrothers.com

KALORAMA

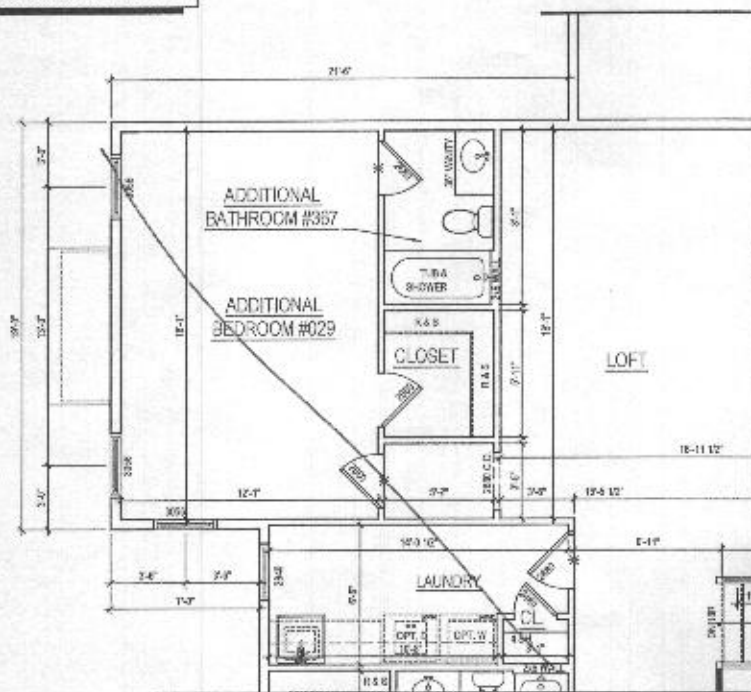
FLOOR PLANS

PROJECT NAME:		
KALORAMA		
PROJECT TITLE:		
ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	ISSUE 1 (ISSUE 1)	03.22.20
2	ISSUE 2 (ISSUE 2)	04.26.20
3	ISSUE 3 (ISSUE 3)	05.22.20
4	ISSUE 4 (ISSUE 4)	05.22.20
5	ISSUE 5 (ISSUE 5)	05.22.20
6	ISSUE 6 (ISSUE 6)	05.22.20
7	ISSUE 7 (ISSUE 7)	05.22.20
8	ISSUE 8 (ISSUE 8)	05.22.20
9	ISSUE 9 (ISSUE 9)	05.22.20
10	ISSUE 10 (ISSUE 10)	05.22.20
11	ISSUE 11 (ISSUE 11)	05.22.20
12	ISSUE 12 (ISSUE 12)	05.22.20
13	ISSUE 13 (ISSUE 13)	05.22.20
14	ISSUE 14 (ISSUE 14)	05.22.20
15	ISSUE 15 (ISSUE 15)	05.22.20
16	ISSUE 16 (ISSUE 16)	05.22.20
17	ISSUE 17 (ISSUE 17)	05.22.20
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20	ISSUE 20 (ISSUE 20)	05.22.20
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100	ISSUE 100 (ISSUE 100)	05.22.20

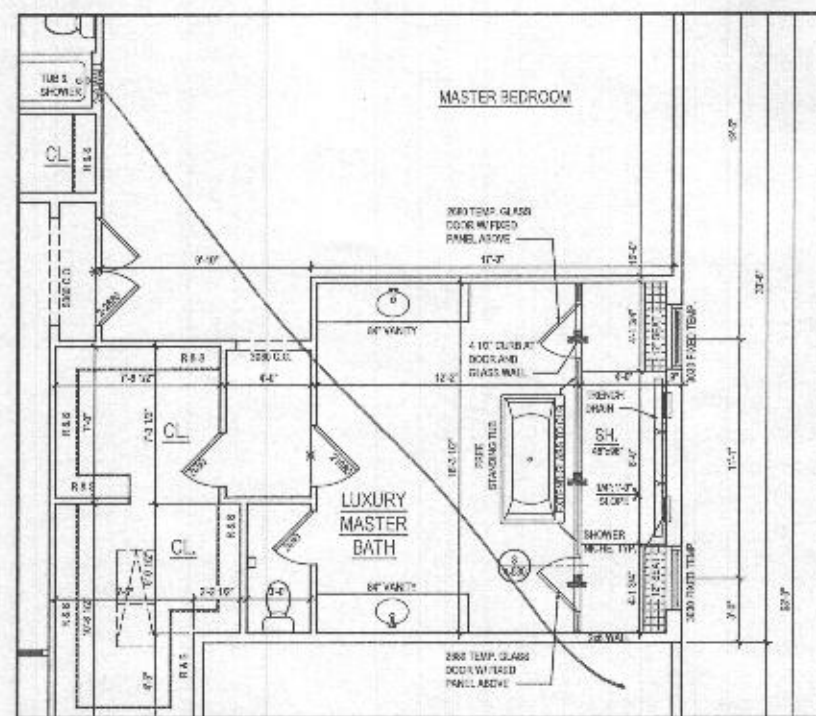
A-111

GENERAL PLAN NOTES

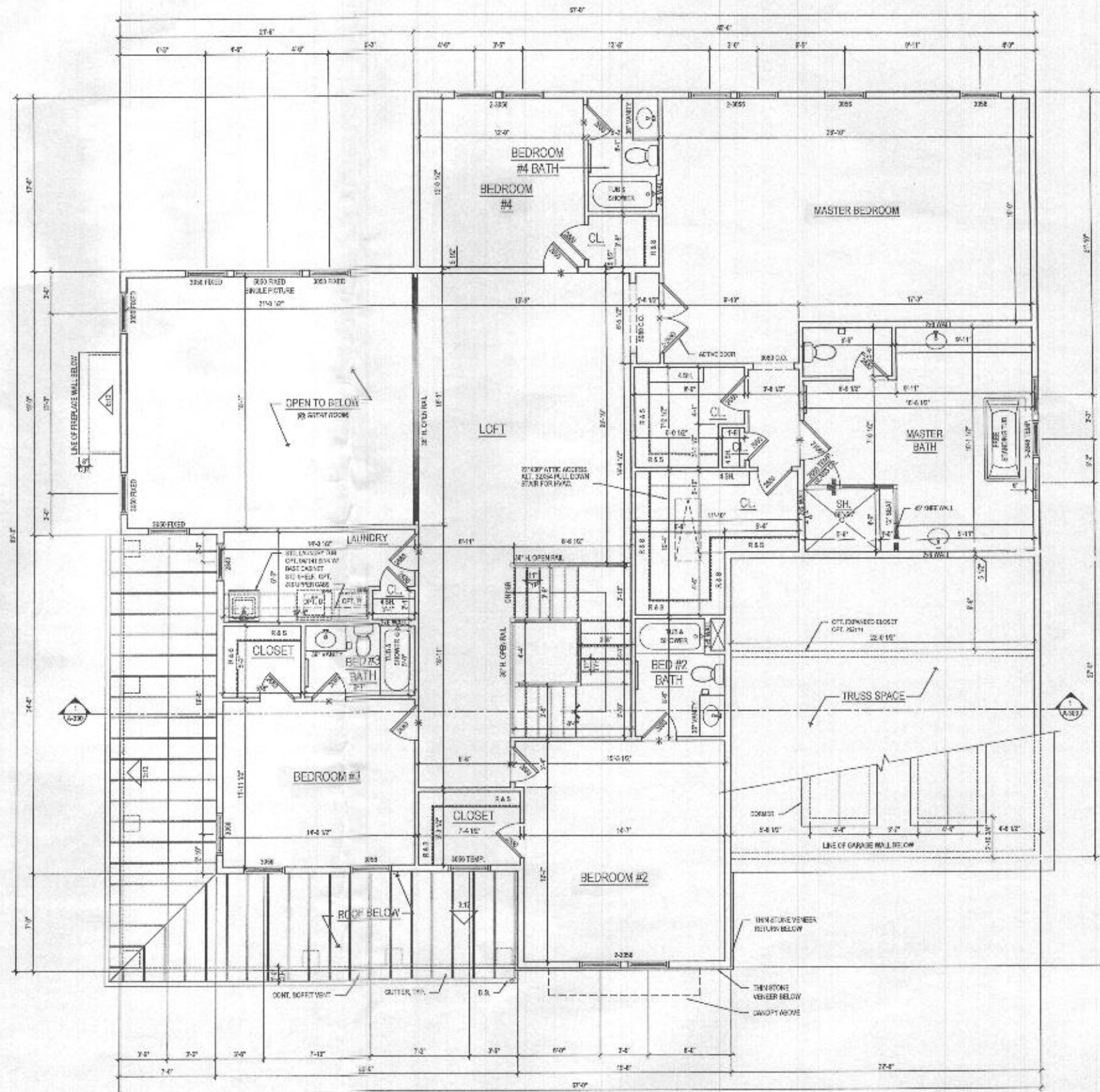
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 16" ON CENTER AND 1/2" FOR INTERIOR AND 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GIVEN IN SCALE.
- ALL BATH DETECTORS ARE TO BE DETECTED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE OTHER.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL BE 10' X 10' AND SHALL BE PROTECTED BY ENCLOSED DOOR WITH 1/2" OF PLYWOOD.
- ALL WINDOWS ARE TO BE 1/2" INCHES FROM MEASUREMENT FROM EACH SIDE TO SILL.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 7' 0" HIGH UNLESS OTHERWISE NOTED.
- WALLS ARE ALWAYS TO BE ON LEFT SIDE OF DOOR.
- DOOR SWING ALWAYS TO BE ON RIGHT SIDE OF DOOR.



3 PART. 2ND FLOOR PLAN w/ OPT. ADDITIONAL BEDROOM #029
A-120 SCALE: 1/4"=1'-0"



2 PART. SECOND FLOOR PLAN w/ OPT. 055 - LUXURY MASTER BATH
A-120 SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN
A-120 SCALE: 1/4"=1'-0"

@ ELEV. 1 - CRAFTSMAN

See additional pages for "Fairview" elev.

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Suite 700 | Vienna, VA 22182
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www.lessarddesign.com

SEAL & SIGNATURE

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F: 571.251.4700
CONTACT: CHRIS LARA LEMLEY
CLEMLEY@tollbrothers.com

KALORAMA

FLOOR PLANS

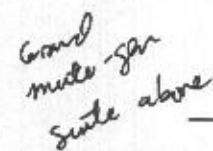
PROJECT NAME: 205 E / REVISION
DATE: 03.23.20

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	PERMITS	06.23.20
3	WELDON CIRCUMFERENCE SET	12.22.20
4	WELDON YIELD PERMIT SET	12.22.20

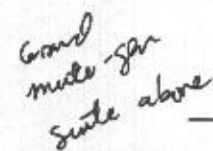
PROJECT NO: 205 E / REVISION
DRAWN BY: AC & JG
CHECKED BY: RM & JG
PLOT DATE: Dec. 16, 2020
FILE NAME: 205 E / KALORAMA

A-120

- 1. ALL WALL, FLOOR PARTITIONS NOT DEMONSTRATED ARE TO BE 3/4" FOR INTERIOR AND 0.6 1/8" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- 2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDIES.
- 3. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDIES.
- 4. ALL DIMENSIONS GOVERN OVER SCALE.
- 5. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- 6. ENCLOSED ACCESSIBLE CLOSETS UNDER STUDIES SHALL HAVE WALLS AND DOOR/TS PROTECTED ON ENCLOSED SIDE WITH 1/2" IMPREG. BOARD.
- 7. ALL WINDOWS ARE TO BE NOTED IN FEET & INCHES AS MEASURED FROM SHIRT TO SHIRT.
- 8. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- 9. ALL DOORS ARE TO BE 6' HIGH UNLESS OTHERWISE NOTED.
- 10. HALLWAY ALWAYS TO BE ON LEFT SIDE OF ENTRY.
- 11. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



@ ELEV. 5 - FAIRVIEW

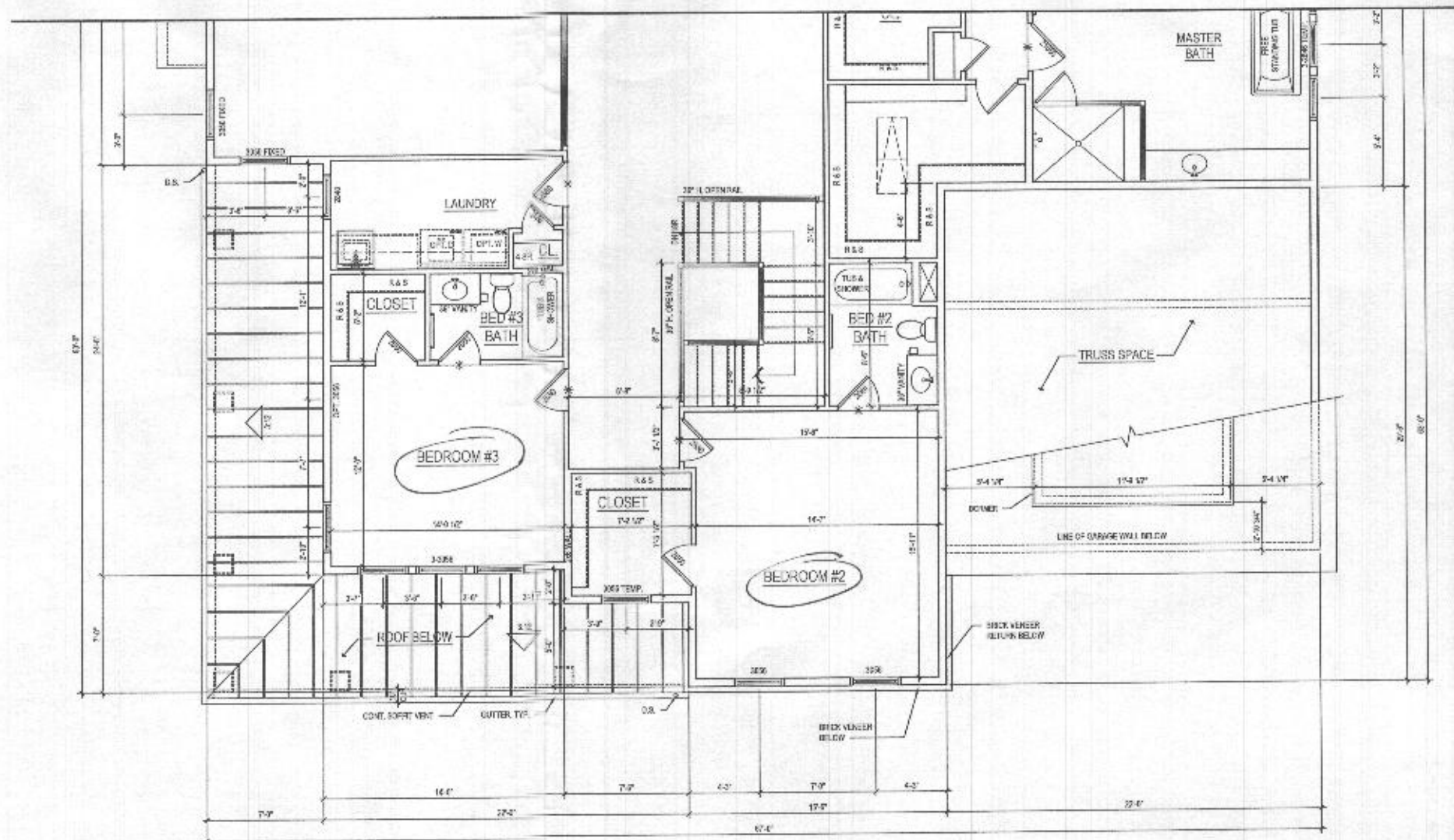


@ ELEV. 5 - FAIRVIEW

A-170

GENERAL PLAN NOTES

- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS COVERED OVER SCALE.
- ALL WINDOW DETECTIONS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSORY SPACE UNDER STAIRS SHALL HAVE MAINTENANCE ACCESS PROVIDED ON ENCLOSED SIDE WITH 1" X 6" GYP/SUM BOARD.
- ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AND VEASURED FROM FINISH TO FINISH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- WASHERS ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



1 PART. SECOND FLOOR PLAN
A-171 SCALE 1/8"=1'-0"

@ ELEV. 5 - FAIRVIEW
2,428.8 SQ. FT.

AND ARCHITECT:

lessard DESIGN

8521 Leesburg Pike
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P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

REV. & SIGNATURE:

TOLL BROTHERS

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P: 571.290.2000
F: 703.527.1170
CONTACT: CHRISTINA LEMLEY
CLEMLEY@tollbrothers.com

KALORAMA

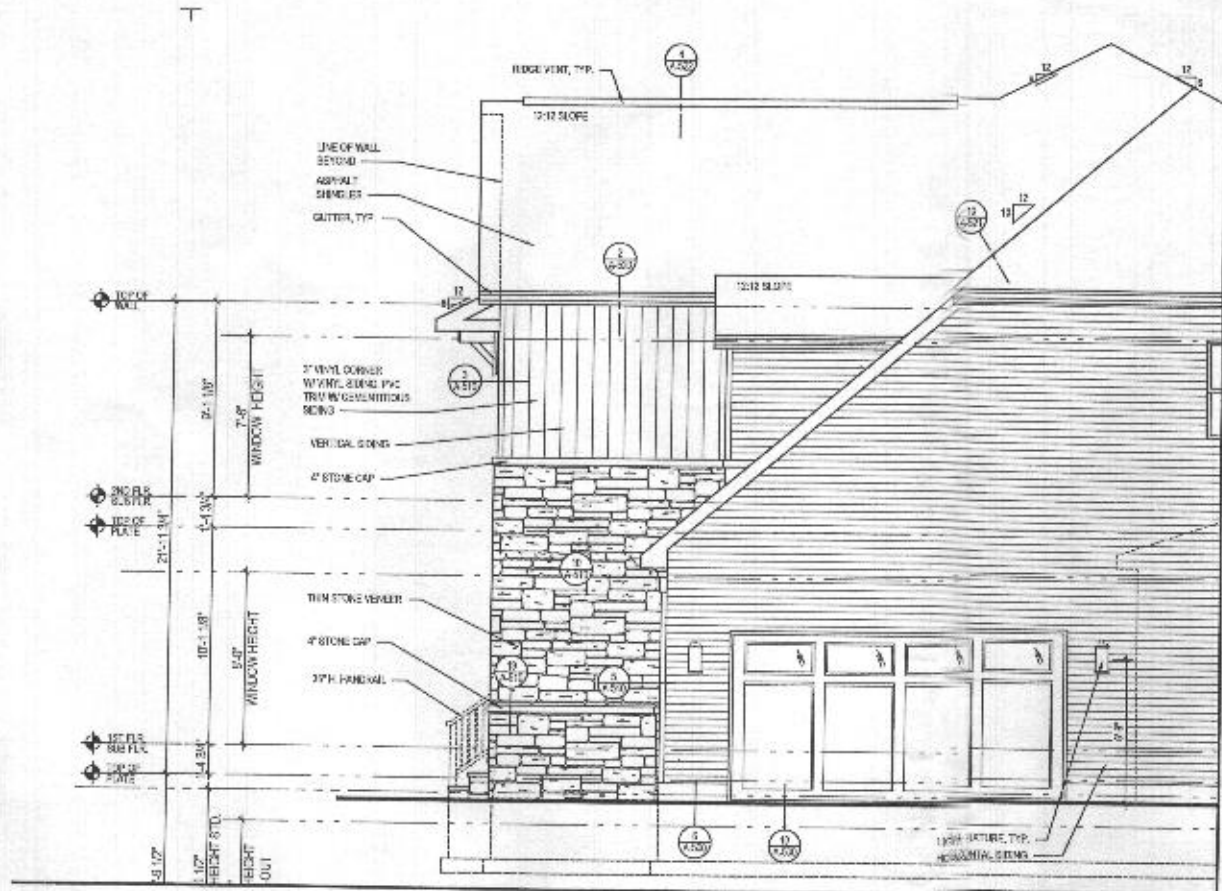
FLOOR PLANS

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.22.20
2	SCHEMATIC	04.15.20
3	WALL/CURB PERMIT SET	05.22.20
4	FINAL PERMIT SET	06.22.20

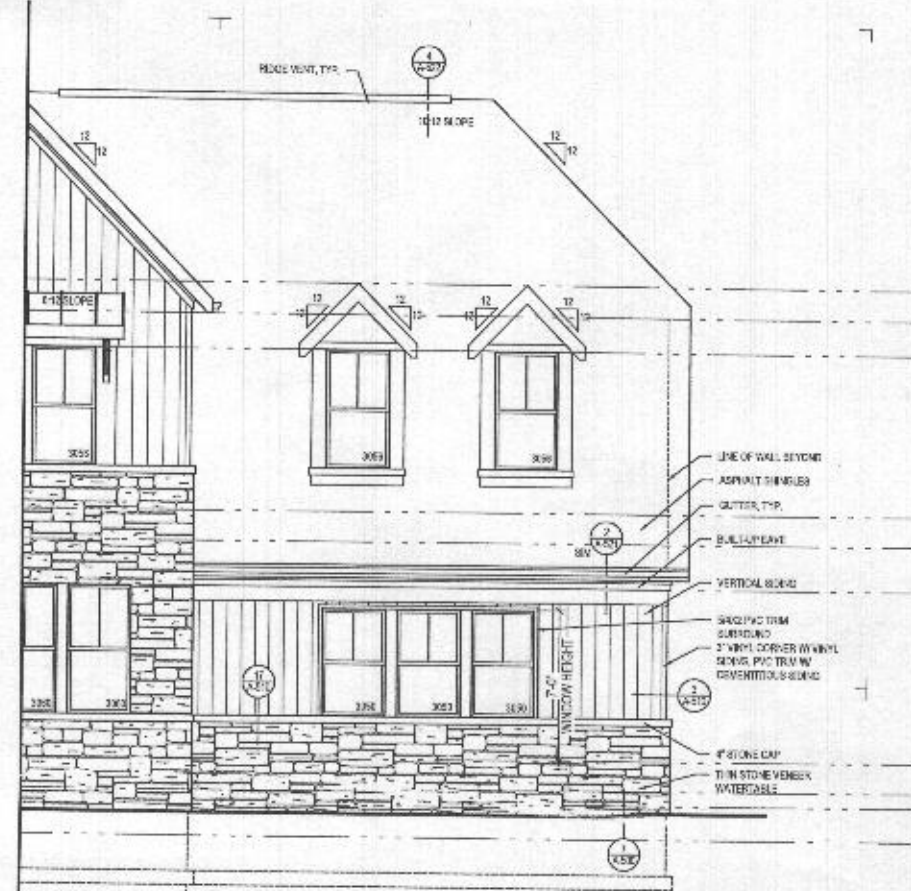
PROJECT No: TOLSON
DRAWN BY: AC & AN
CHECKED BY: RB & AF
PLOT DATE: DEC. 16, 2020
FILE NAME: TOLSON_A171.dwg

A-171

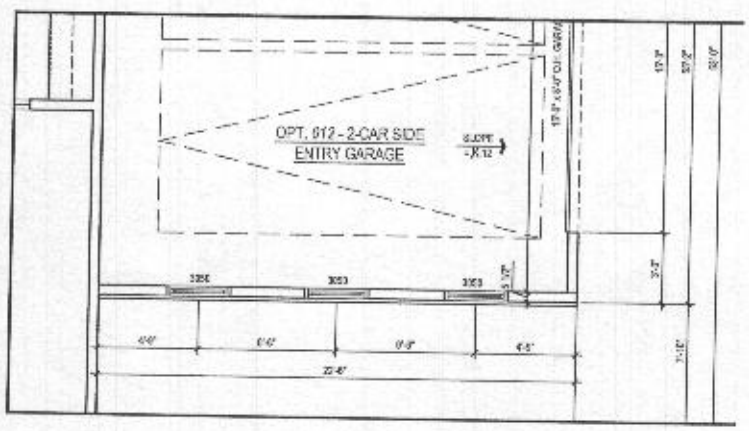
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 10" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GIVEN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND ROOFING PROTECTED ON UNDERSIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 3'-4" HIGH UNLESS OTHERWISE NOTED.
 - HATCHES ALWAYS TO BE ON LEFT SIDE OF DOOR.
 - DOOR HATCH ALWAYS TO BE ON RIGHT SIDE OF DOOR.



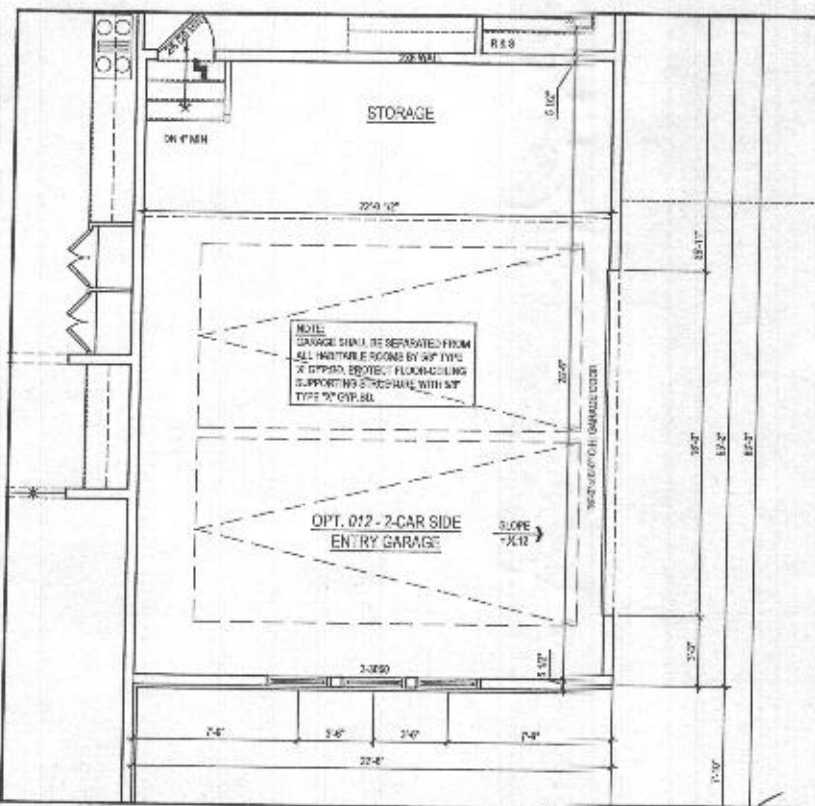
4 PART. RIGHT SIDE ELEVATION w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
A-400 SCALE: 1/4"=1'-0"
DATE: 10/15/2019



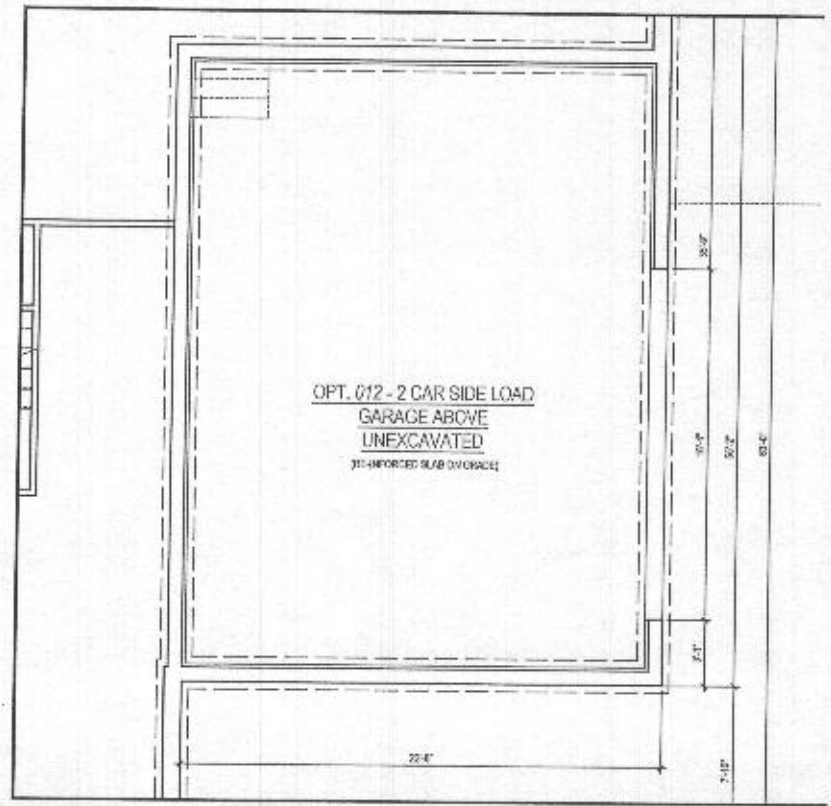
3 PART. FRONT ELEVATION w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
A-400 SCALE: 1/4"=1'-0"
DATE: 10/15/2019



2a PART. FIRST FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
A-400 SCALE: 1/4"=1'-0"
DATE: 10/15/2019



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
A-400 SCALE: 1/4"=1'-0"
DATE: 10/15/2019



1 PART. BASEMENT FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
A-400 SCALE: 1/4"=1'-0"
DATE: 10/15/2019

lessard DESIGN
5321 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

OWNER: **TOLL BROTHERS**
10000 BELL MOUNT ROAD
SUITE 200
ASHBURN, VA 22647
P: 703.251.5068
F: 703.251.5708
CONTACT: CHRISTINA JENNEY
CJENNEY@tollbrothers.com

KALORAMA

#012 - TWO CAR SIDE ENTRY GARAGE
ILO STANDARD GARAGE

DESIGN / REVISION	
NO.	DESCRIPTION
001	DESIGN DEVELOPMENT
002	DESIGN DEVELOPMENT
003	DESIGN DEVELOPMENT
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100	DESIGN DEVELOPMENT

PROJECT NO: 101-2019
DRAWN BY: JC & JF
CHECKED BY: JC & JF
DATE: 10/15/2019
FILE NAME: 101-2019

A-400

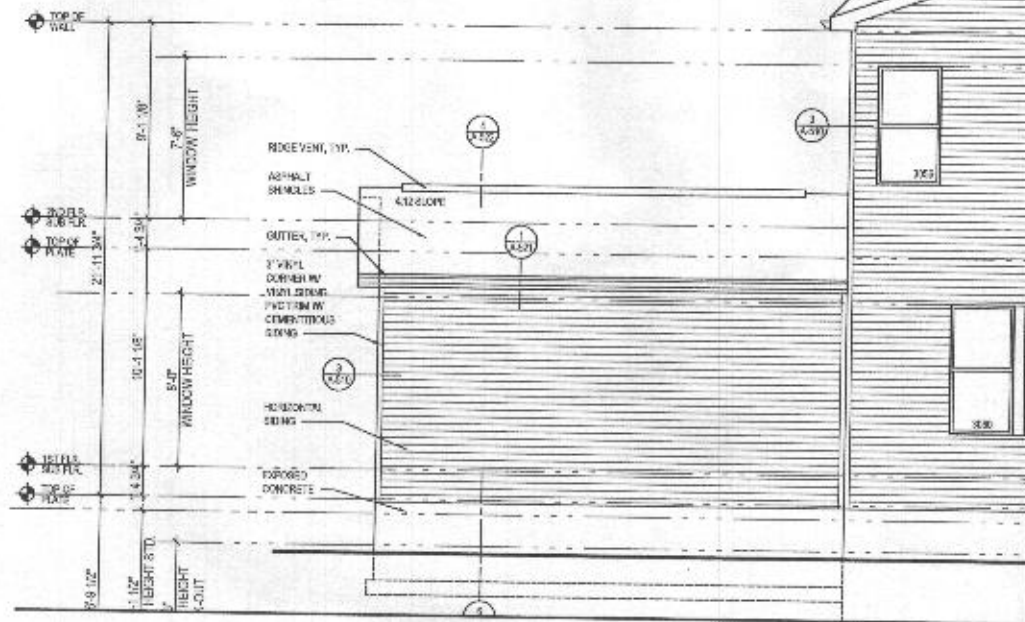
GENERAL PLAN NOTES

- ALL WOOD STUD PARTITION NOT OTHERWISE NOTED ARE TO BE 2" X 12" FOR INTERIOR AND 4" X 12" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GIVEN OVER DOOR.
- ALL SMOKE DETECTORS ARE TO BE WIRELESS IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE OTHER.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS ARE TO BE 1/2" X 12" UNLESS OTHERWISE NOTED.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'0" HIGH UNLESS OTHERWISE NOTED.
- WATER ALWAYS TO BE ON LEFT SIDE OF DOOR.
- DISHABLER ALWAYS TO BE ON RIGHT SIDE OF DOOR.

ROOF VENTILATION CALCULATIONS - ADDITIONAL TWO CAR GARAGE

ROOF AREA	=	484.30 SQ. FT.
VOLUME	=	1,011.20 CU. FT.
2" X 12" VENT	=	222.32 SQ. IN.
SOFFIT VENT REQUIRED (BASED ON 1/2" X 12" VENT)	=	25.91 FT.
SOFFIT VENT PROVIDED	=	40.00 FT.

REFER TO A-401 FOR SIDE ELEVATION. SAME AS ONE CAR GARAGE



5 PART. REAR ELEVATION

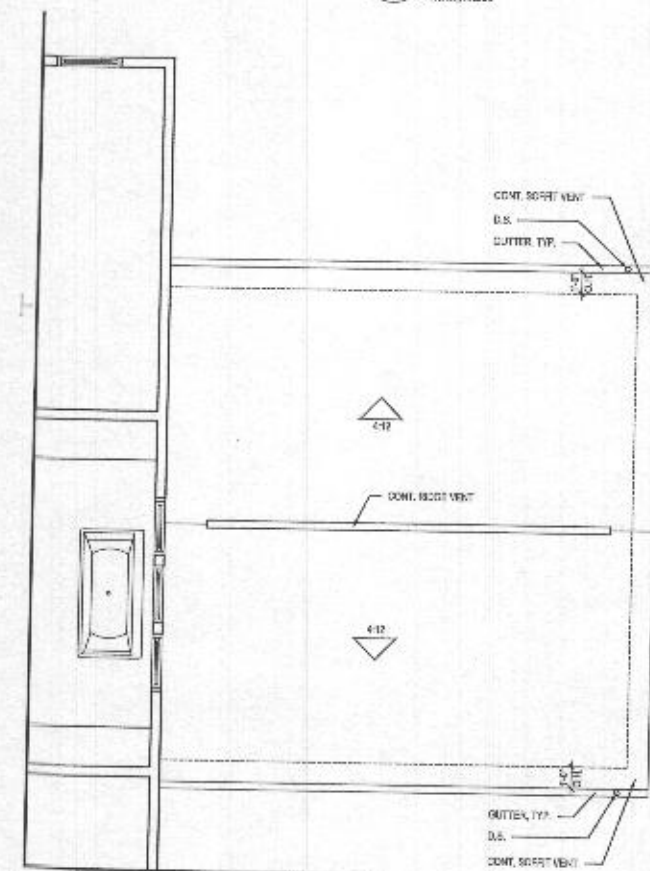
w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
CRAFTSMAN

4 PART. FRONT ELEVATION

w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
CRAFTSMAN

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



3 P. SECOND FLOOR

2 PART. FIRST FLOOR PLAN

w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE

1 PART. BASEMENT FLOOR PLAN

w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

Plot by: msk

lessard
DESIGN

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SEAL & SIGNATURE

OWNER:

TOLL BROTHERS

19775 BELMONT EXECUTIVE PLAZA
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ARLINGTON, VA 22207
P: 571.226.8000
H: 703.327.1716
CONTACT: CHRISTINA LEMLEY
christina@tollbrothers.com

KALORAMA

#263019 - ADDITIONAL TWO CAR
FRONT ENTRY GARAGE

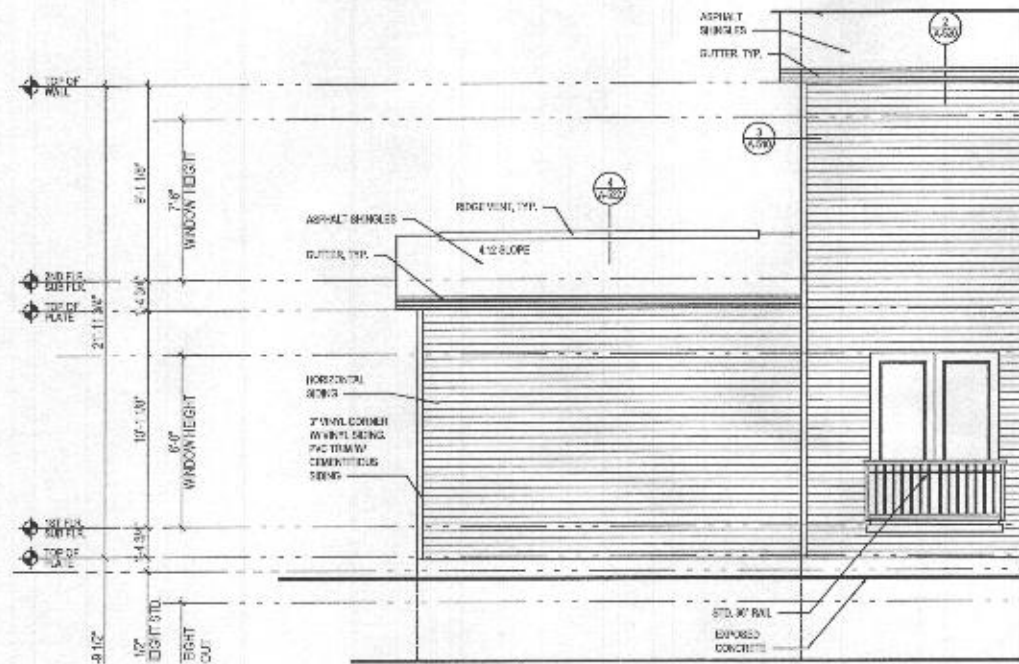
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.25.20
2	REV SET	08.26.20
3	WALLS & CEILING PERMIT SET	12.23.20
4	FINAL PERMIT SET	12.23.20

A-404

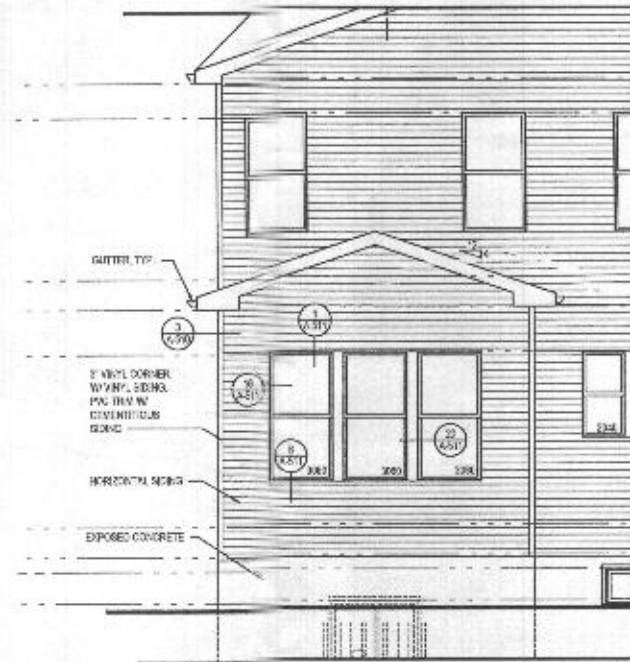
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2"X4" FOR INTERIOR AND 2"X6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GIVEN OVER ROOF.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND DOORS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS SET AS NOTED IN REST + RICHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 34" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - MULTI GEN SUITE

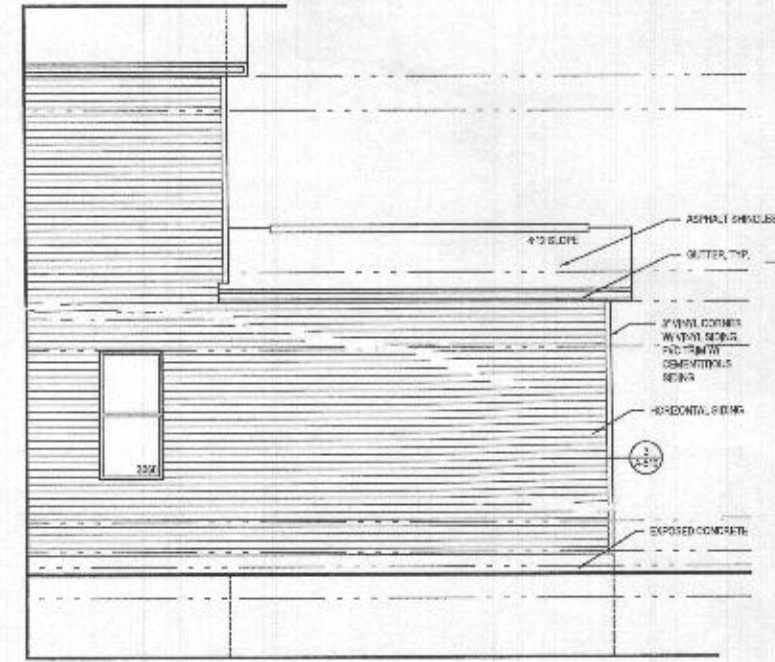
ROOF AREA	=	210.83 SQ. FT.
1.00	=	0.06 SQ. FT.
12 x 12	=	129.96 SQ. FT.
54% INCREASE	=	64.80 SQ. FT.
SQ. FT. VENT - REQUIRED (INTAKE @ 5.90 IN. I.P.T.)	=	7.28 FT.
SQ. FT. VENT - PROVIDED	=	33.00 FT.
50% (OUTLINE)	=	64.80 SQ. FT.
EXHAUST - REQUIRED (OUTLINE @ 14.150 IN. I.P.T.)	=	1.00 FT.
EXHAUST - PROVIDED	=	15.00 FT.



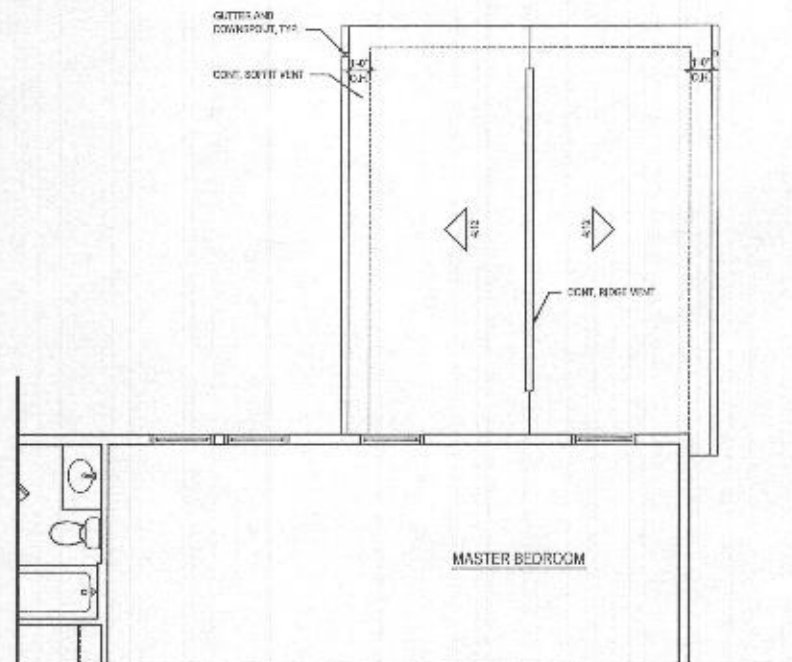
6 PART. LEFT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS



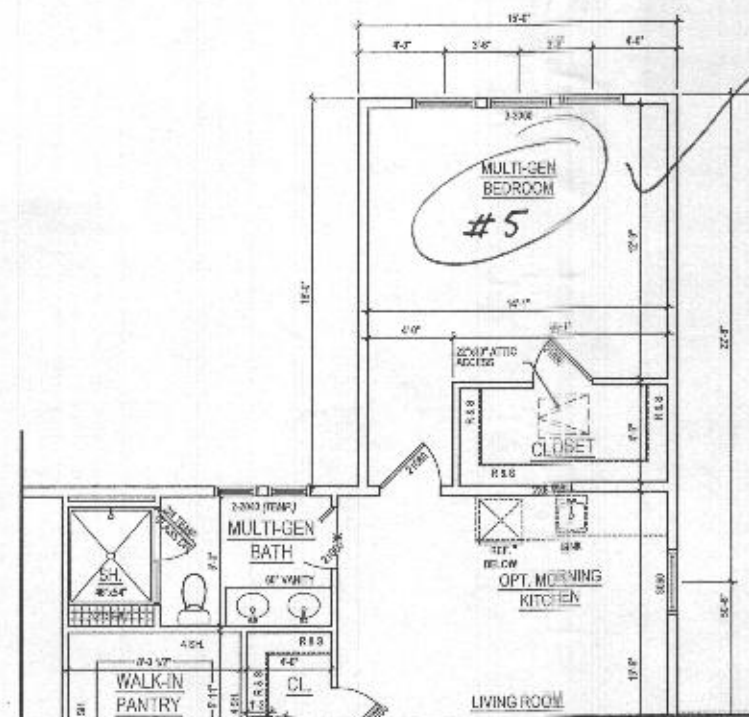
5 PART. REAR ELEVATION w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS



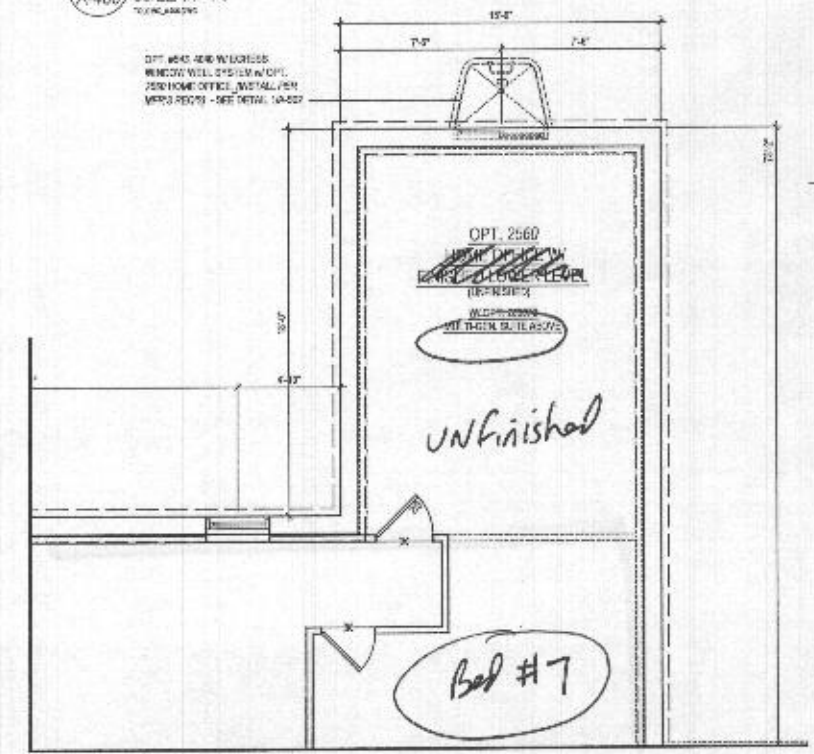
4 PART. RIGHT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS



3 PART. 2ND FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS



2 PART. 1ST FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS



1 PART. BASEMENT FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL
SCALE: 1/4"=1'-0"
TYPICAL WALLS

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KALORAMA

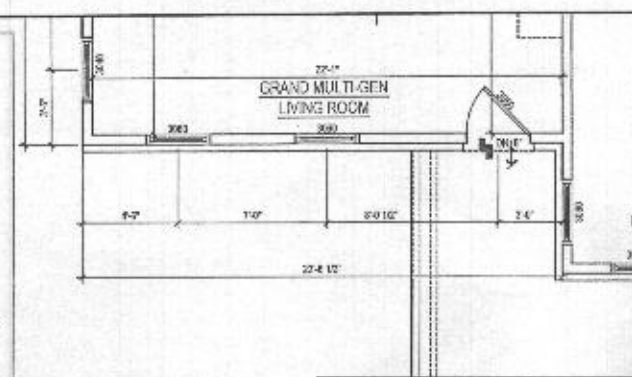
#263073 - MULTI-GEN SUITE ADDITIONAL

A-406

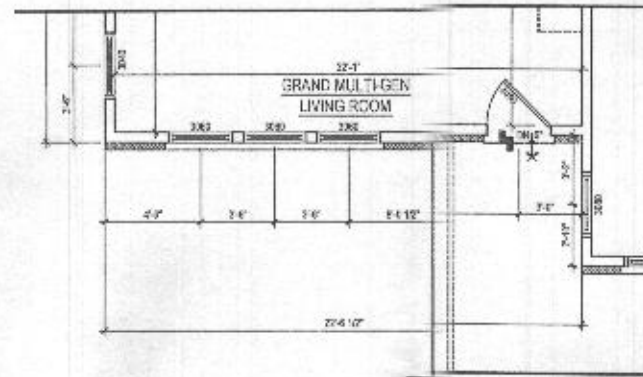
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	REV. SET	06.30.20
3	W/ LOW GREEN POINT SET	12.02.20
4	W/ HILL POINT SET	12.02.20

PROJECT NO: 104.300
DRAWN BY: J.C. & J.P.
CHECKED BY: J.C. & J.P.
PLOT DATE: Dec. 16, 2020
PLT NAME: J.C. & J.P.

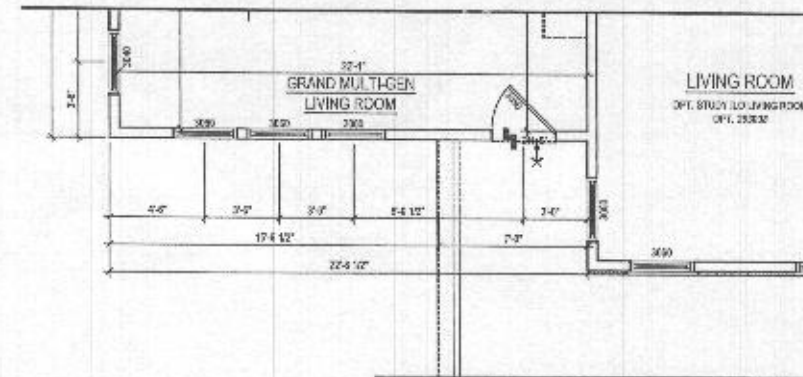
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIORS AND 4 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIORS PARTITIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D. ALL DIMENSIONS MEASURED OVER SILL.
- E. ALL DOUBLE GLAZED DOORS ARE TO BE OPERED IN SUCH MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. EXPOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILINGS PROTECTED ON EXPOSED SIDE WITH 1/2" THICK BOARD.
- G. ALL WINDOWS ARE AS NOTED IN FEET - INCHES AS MEASURED FROM SILL TO SILL.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 3'-0" HIGH UNLESS OTHERWISE NOTED.
- J. SHOW 4-WAYS TO BE FLUSH WITH TOP OF DOOR.
- K. WASH BASIN ALWAYS TO BE ON RIGHT SIDE OF SINK.



2c PART. FIRST FLOOR PLAN w/ CPT. 263075 - GRAND MULTI-GEN SUITE ADD.
A-107 SCALE: 1/4" = 1'-0" FAIRVIEW
265 80 07

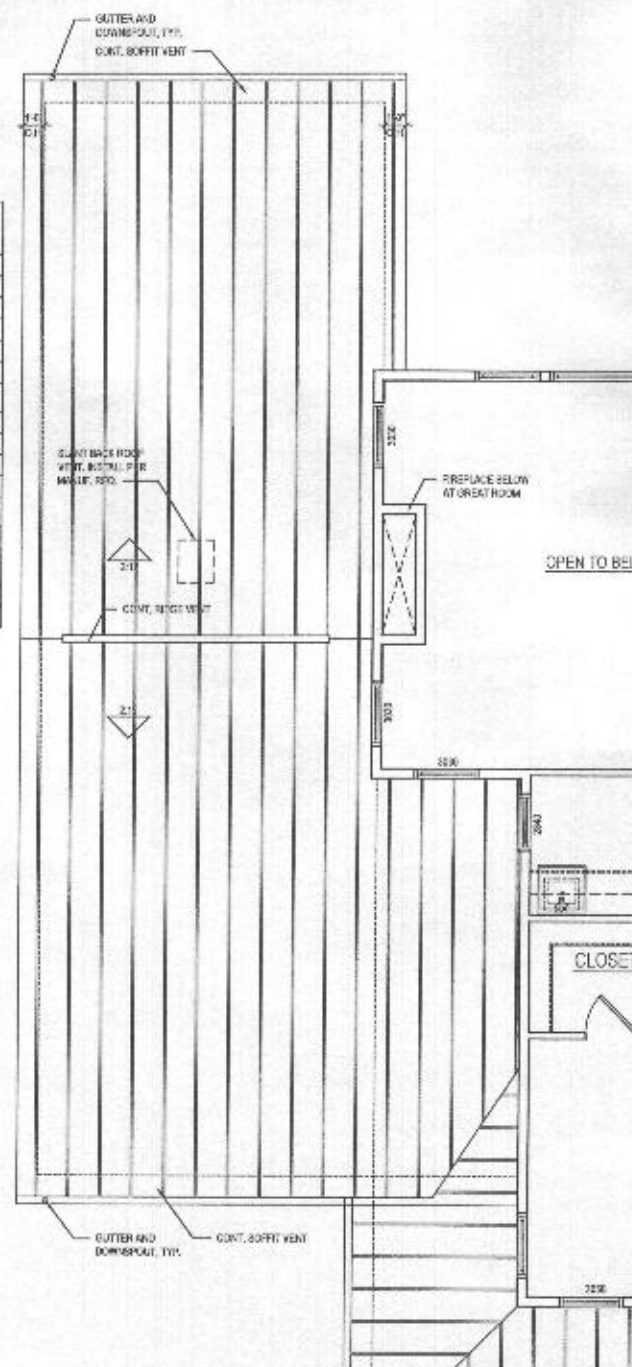


2b PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE 1/8"=1'-0" TRADITIONAL
BIG D.D. 1/16"

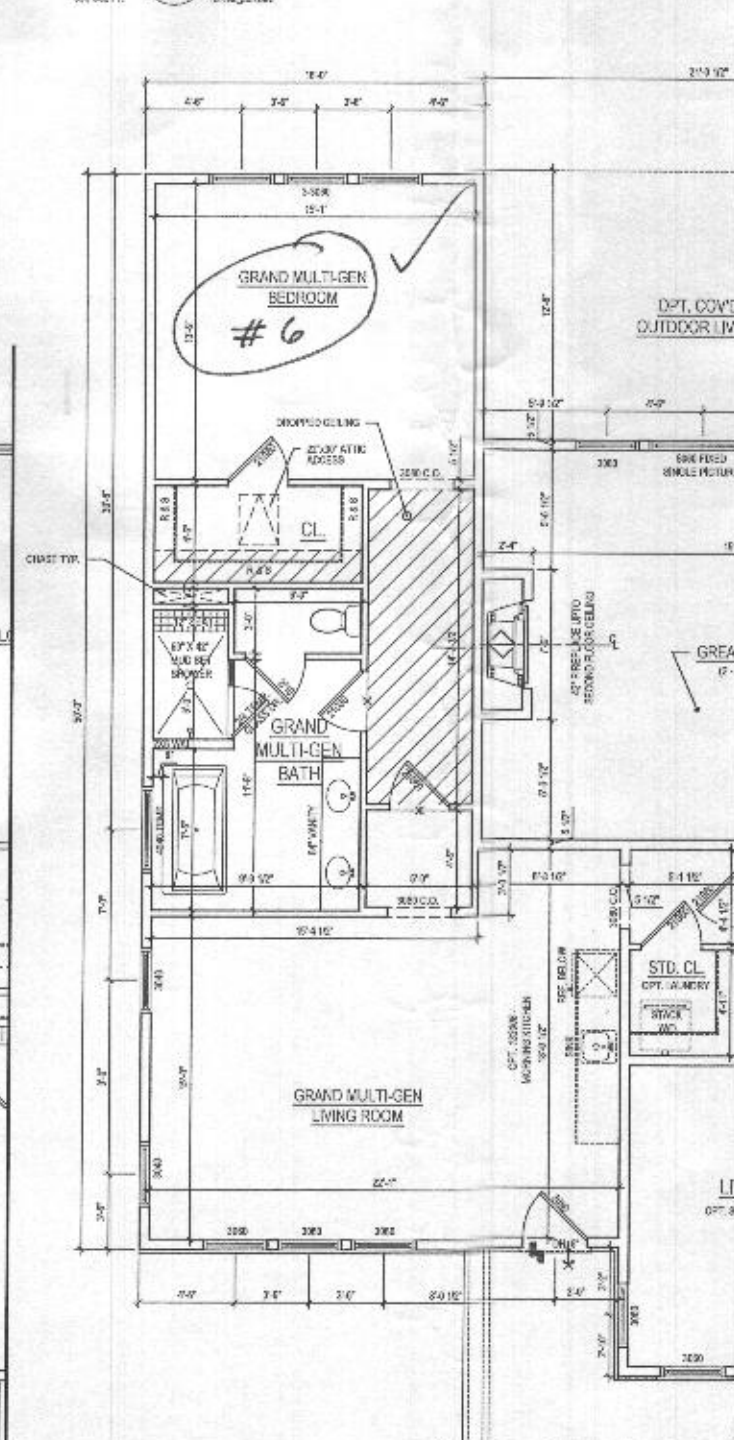


2a PART. FIRST FLOOR PLAN w/ OPT. 253075 - GRAND MULTI-GEN SUITE ADD.
A-107 SCALE: 1/4" = 1'-0" MODERN FARMHOUSE

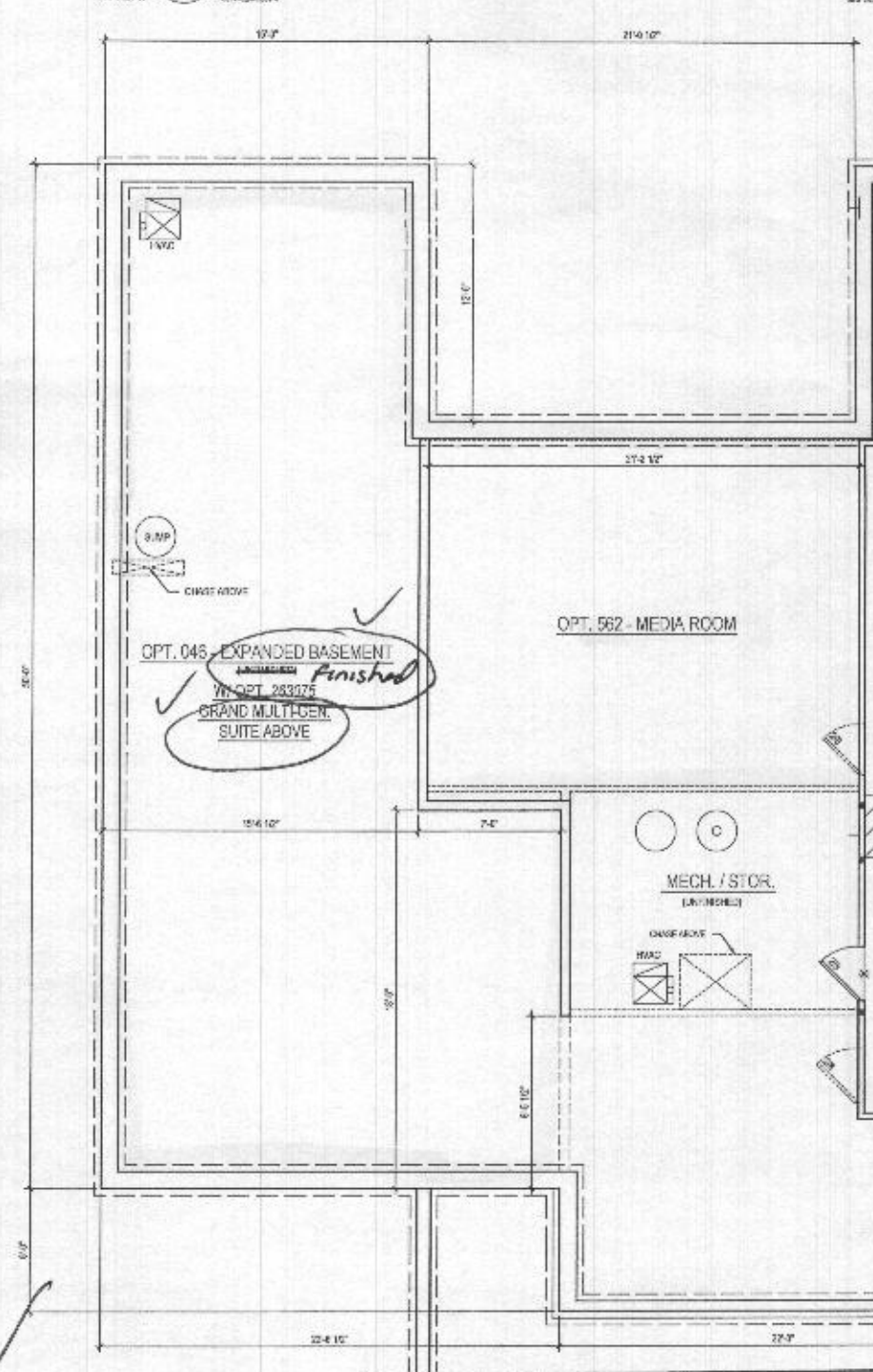
ROOF VENTILATION CALCULATIONS - MAIN ROOF		
ROOF AREA	=	332.38 SQ. FT.
FIBER	=	3.34 SQ. FT.
x 12 x 12	=	427.67 SQ. FT.
50% (OUTSIDE)	=	213.83 SQ. FT.
ROOF VENT - REQUIRED ENTRANCE @ 8 SQ. IN. PER FT.	=	26.23 FT.
ROOF VENT - PROVIDED	=	41.22 FT.
50% (OUTSIDE)	=	20.61 SQ. IN.
ROOF VENT - PROVIDED	=	12.54 FT.
80% SQ. IN. FT.	=	17.22 FT.
ROOF VENT PROVIDED	=	1
80% SQ. IN. FT.	=	50.65 FT.
TOTAL OUTSIDE PROVIDED	=	53.26 FT.



3 PART, SECOND FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE 1/8" = 1'-0"
TJW:KAB/1/10

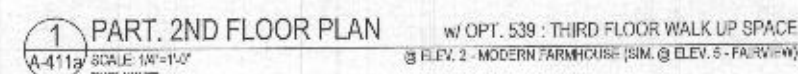
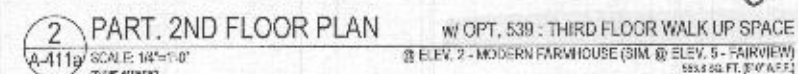
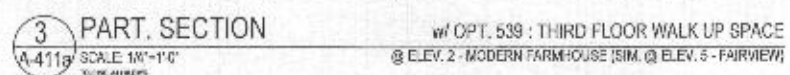


2 PART. FIRST FLOOR PLAN w/ OPT. 203075 - GRAND MULTI-GEN SUITE ADD.
A-407 SCALE: 1/4" = 1'-0" CRAFTSMAN



1 PART. BASEMENT FLOOR PLAN w/ OPT. 253075 - GRAND MULTI-GEN SUITE ADD.
A-107 SCALE: 1/4"=1'-0"

4. ALL WINDOW STUD PRACTICES NOT DIMENSIONED ARE TO BE 1" AFFECTION MINIMUM AND 5" MAX FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
5. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
6. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
7. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED.
8. ALL WINDOW DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
9. FINISHED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND BOARDS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
10. ALL WINDOWS SHALL BE NOTED IN FEET - INCHES AS MEASURED FROM FINISH TO FINISH.
11. REFER TO ELEVATIONS FOR WINDOW HEAD/HEIGHTS.
12. ALL DOORS ARE TO BE 4'-0" HIGH UNLESS OTHERWISE NOTED.
13. FINISH HANDRAILS TO BE ON 1" STUB OF DOOR.
14. DOWNWARD SLOPE TO BE ON THE INSIDE OF DOOR.



A-411a