

PERMIT NUMBER: B22000071

DATE ACCEPTED: 01/07/2022

 RESIDENTIAL BUILDING PERMIT APPLICATION HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 11225 Whithorn Way					Unit:
City: Ellicott City			State: MD	Zip Code: 21042	
Subdivision/Village/Complex Name: Riverwood				SDP/WP/BA #:	
Lot: 74	Tax Map: 29	Parcel: 20	Grading Permit #:		
DESCRIPTION OF WORK REQUIRED					
Existing Use: Vacant Lot		Proposed Use: Single Family Detached		Estimated Cost: \$ 973,006	
Trade Work to Be Completed (Separate Permits Required): ☒ Mechanical (HVACR) ☒ Electrical ☒ Plumbing ☐ None					
SED/Model 'KINGSPORT' 2 Story, Full Basement, Basement = Finished, Side Load 3 Car Garage					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Wasim Khan and Shella Khan					Primary Residence: ☒ Yes ☐ No
Owner's Street Address: 10223 Rutland Round Rd					
City: Columbia			State: MD	Zip Code: 21044	
Phone: (301) 261-0277			Email: wasim_khan@yahoo.com		
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Caruso Homes On Your Lot III, LLC			Contact Name: Monica Lanigan		
Street Address: 2120 Baldwin Avenue, Suite 200					
City: Crofton			State: MD	Zip Code: 21114	
Phone: 301-261-0277 (ext. 4224)			Email: mlanigan@carusohomes.com		
CONTRACTOR INFORMATION REQUIRED					
Business Name: Caruso Homes On Your Lot III, L					
Licensee's Name: Monica Lanigan			License #: 8233		
Street Address: 2120 Baldwin Avenue, Suite 200					
City: Crofton			State: MD	Zip Code: 21114	
Phone: 301-261-0277 (ext. 4224)			Email: mlanigan@carusohomes.com		
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name: Benchmark Engineering, Inc.			Name: John Carney		
Street Address: 8480 Baltimore National Pike, Suite 315					
City: Ellicott City			State: MD	Zip Code: 21043	
Phone: 410-465-6105			Email: jcarney@bei-civilengineering.com		
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*)					Condo: ☐ Yes ☒ No
Utilities: ☒ Electric ☐ Gas		Water Supply: ☐ Public ☒ Private (Well)		Sewage Disposal: ☐ Public ☒ Private (Septic)	
Heating System: ☒ Electric ☐ Natural Gas ☐ Propane ☐ Other:				Roadside Tree Project: ☒ No ☐ Yes: #	
Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☒ NFPA 13D ☐ None			Fire Alarm System: ☒ Yes ☐ No ☐ Voice Evac		
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options: Kingsport					
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms:	# Full Baths: 5	# Half Baths: 0	# Fireplaces: 1		
Garage/Carport Info: ☒ Attached Garage ☐ Detached Garage ☐ Integral Garage ☐ Carport ☐ None					
Basement/Foundation Info: ☒ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☒ Finished Basement: ☒ Full or ☐ Partial					
1 st Fl Width: 72	1 st Fl Depth: 42	2 nd Fl Width: 60	2 nd Fl Depth: 42	Bsmt Width: 72	Bsmt Depth: 42
Energy Method: ☐ Prescriptive ☐ Performance ☒ UA Alternative ☐ ERI		Gross Area: 6,544 sq ft		Occupiable Area: 3,756 sq ft	
AGREEMENT/ DISCALIMER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
Monica Lanigan APPLICANT'S ORIGINAL SIGNATURE			1/7/2022 DATE SIGNED		
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
☒ PR	☒ DPZ	☒ DED	☒ Health	☐ SHA	☒ CID
SUBMITTAL FEES: \$150.00		PAYMENT: CK# 210		ACCEPTED BY:	

LICENSES & PERMITS DIVISION

JAN 07 2022

RECEIVED

PLANS RECEIVED

E:\Operations\UpdatedForms\ResidentialBuildingPermitApp01.28.2020

CARUSO HOMES, INC.

2120 BALDWIN AVE, STE 200
CROFTON, MARYLAND 21114

TEL (301) 261-0277

FAX (301) 261-6588

Wasim & Shehila Khan

10223 Rutland Round Rd. Columbia, MD 21044

410-908-5505

11225 WITHORN WAY, ELLICOTT CITY MD 21042

"KINGSPORT"

SINGLE FAMILY

ARCHITECTURE COLLABORATIVE, INC. EXPRESSLY RESERVES ITS COPYRIGHT
AND PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND
DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER.

HEALTH DEPT

REVISED : 09-06-19

ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS
FLOOR FRAMING TO BE 11-1/8" FLOOR SYSTEM
T-3/4" RISE-10" TREAD STAIR

THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA

2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:							HOWARD COUNTY MARYLAND				
GROUND SNOW LOAD	WIND SPEED (mph)		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	Speed (mph)	Topographic Effects		Weathering	Frost Line Depth	Termites					
40 PSF	15		B	SEVERE	30"	MODERATE TO HEAVY					

Professional Certification

I hereby certify that these documents were prepared or approved that I am a duly licensed professional Architect under the laws of the State of Maryland.

License number 5921

expiration date 04-03-2025

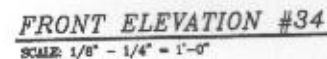
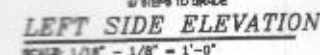
F-06-134

Lot: 74 Tax Map: 0029 Grid: 0004

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... in any form or manner without written consent.

Architecture Collaborative, Inc.
63334 Main Street Fillicatt City MD 21043
www.archcol.com
(410) 465-7500 Fax: (410) 465-0903

content	ELEVATION 34	
scale: 1"=4' (3/4"=2')	drawn: ACI	date: 08-10-21
U.N.O. 1"-8' (1/8"=1')	3.34	

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Professional Certification

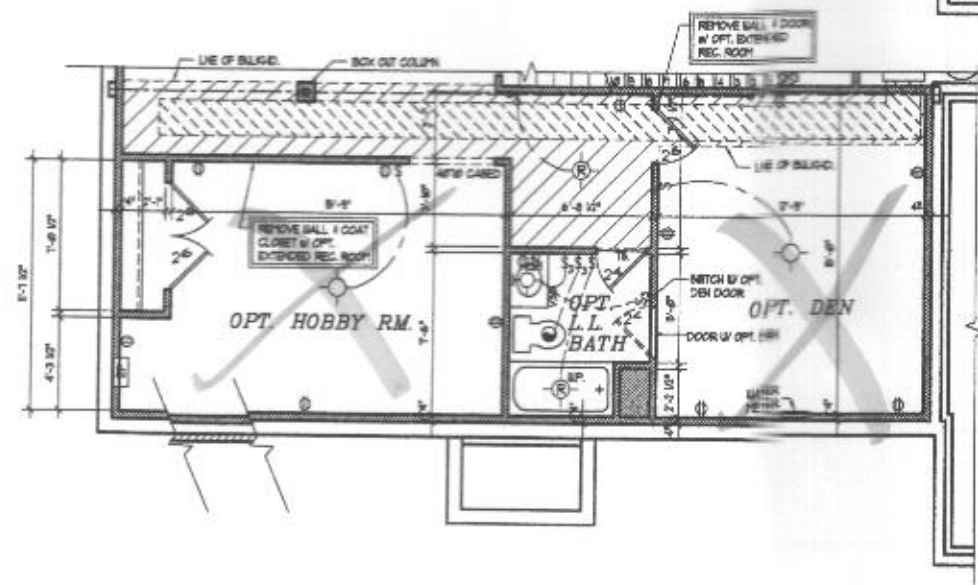
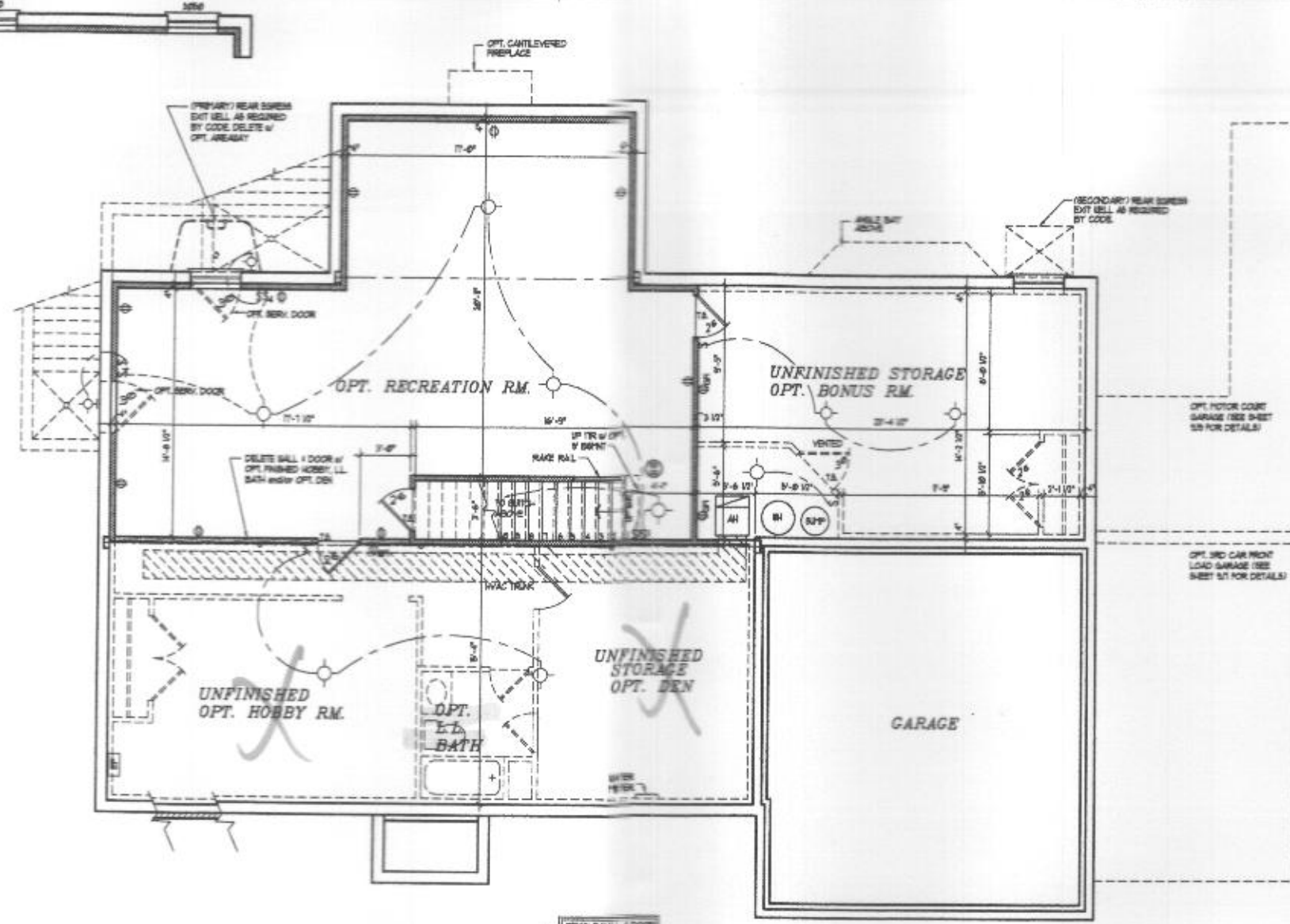
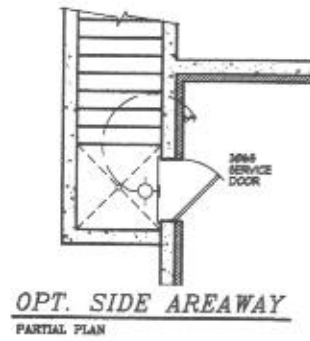
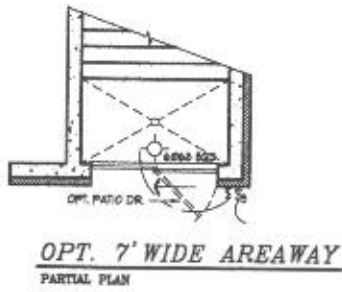
handing energy that shows decreasing
tension prepared or approved by me, and
has been a duly licensed
professional architect under
the laws of the State of Maryland.

5481

PLATEFORME DÉLÉGUÉE
VALD'UNION DÉLÉGUÉE
UNION DÉLÉGUÉE
6/10/2001

CODE CYCL16: 2018 IRC w/ Prince George's County Amendments (Subtitle 4). Architecture Collaborative, Inc. 6/15/2021 4:23 PM

6153371 60126 FM, Arlington Collaborative, Inc.



**PARTIAL PLAN w/
OPT. HOBBY, L.L. BATH & DEN**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

GENERAL NOTES:

- FLOOR AMBLES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
- CONSTRUCTED OF MINIMUM 2" W/ OR GREATER DEPENDENT LAYER
- PROVIDED WITH 1/2" STIFFEN GULLBOARD MEMBRANE, 5/8" SOOT STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR TRAVING MEMBERS (AS AN ALTERNATIVE, JOIST MAY BE PROTECTED WITH AN APPROVED FIRE-PROTECTIVE COATING)
- BASEMENTS SHALL HAVE NOT LESS THAN ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR YARD THAT LEADS TO A PUBLIC WAY.
- SLEEPING ROOMS IN BASEMENTS THAT ARE NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL ALSO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT LEADS TO A PUBLIC WAY.
- SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL ALSO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING IF THE EGRESS WINDOW AND WELL MAY BE OFFERED AS "OPTIONAL".

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel: (410) 485-7500 Fax: (410) 485-0903

OPT. FINISHED LOWER LEVEL
content: OPT. FINISHED LOWER LEVEL
scale: 1/4" = 1'-0" (34x22) 1/8" = 1'-0" (17x11)
U.N.O. 1'-0" (17x11)
date: 06-10-21
drawn: ACJ
checked: JLB
title: CARUSO HOMES
KINGSPOINT

revision	date	by

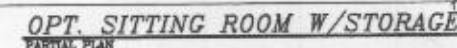
4.2

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
Signature: [Signature]
Registration No. 04-08-2002
Expiration Date: 04-08-2022





OPT. SITTING ROOM w/ ELEV. (13)



STANDARD SECOND FLOOR PLAN OPTIONS

SCALE: 1/8" = 1/4" = 1'-0"

..... shall be deemed to be introduced in any form or manner without written consent.

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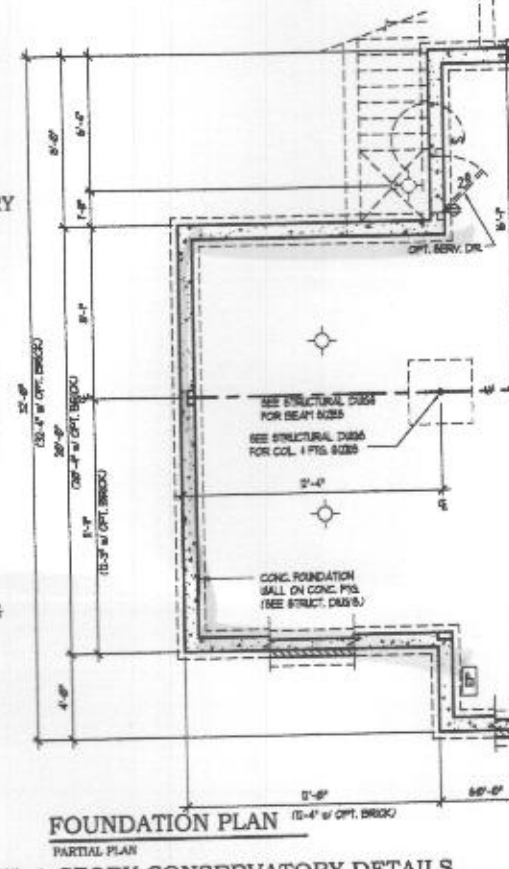
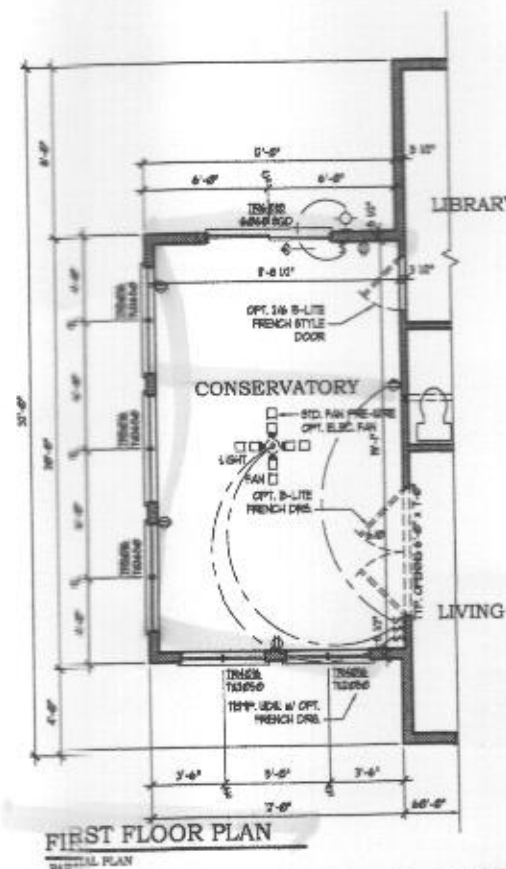
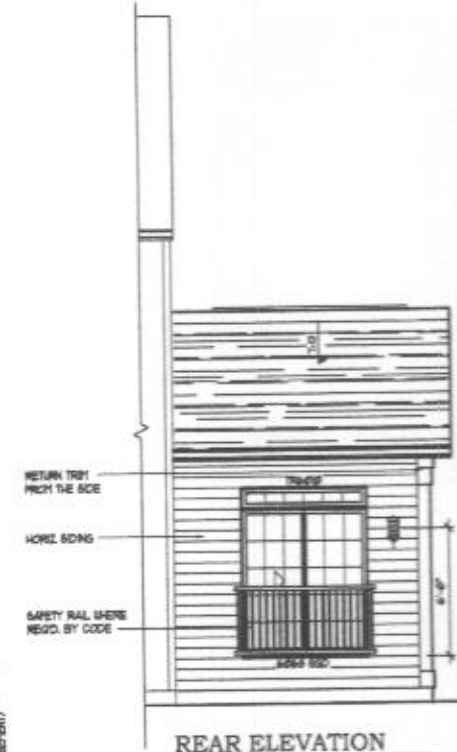
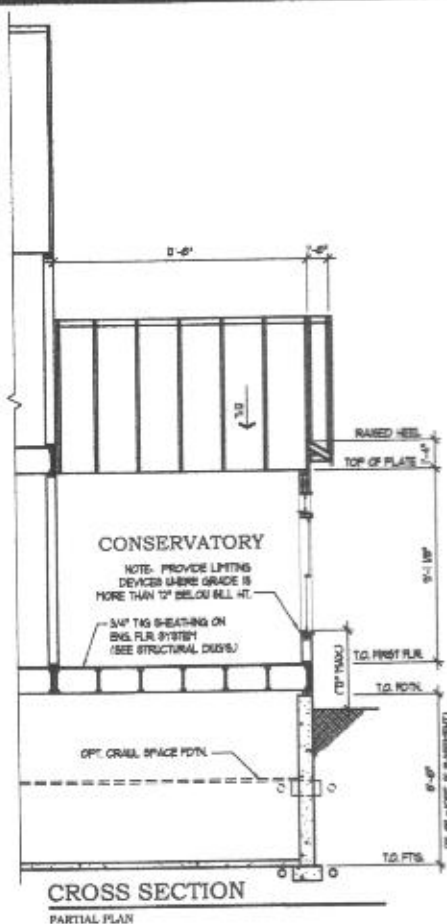
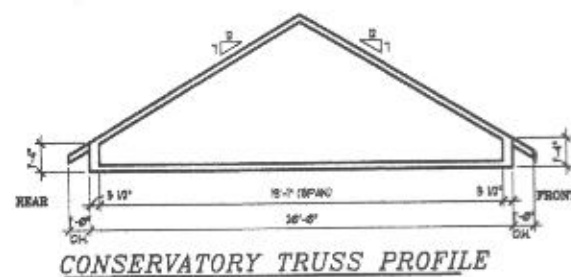
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Scale: 1" = 4'	File: 34522	
U.N.O. 1" = 8'	17117, 9,8	
SECOND FLOOR OPTIONS		
Caruso Homes		

date	revision	by

David R. Roberts
 9.8
 Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed and qualified professional architect under the laws of the State of Maryland.
 License number: 5623

6/15/2021 4:26 PM

6150021400-00 PMA, Andromeda, *Andromeda* 2



consent without written consent.

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Architecture Collaborative, Inc.
8334 Main Street Ellicott City, MD 21043
www.archcoll.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content

OPT. CONSERVATORY (1-STORY)			
model: "A" (94525)	files:	drawn: ACT	date: 06-10-20
U.M.O. "B"	(1721)	3/20	

CARUSO HOMES

KINGS DPT

[illegible]

© David R. Robbins

SHEET #

9.20

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed under the law of the State of Maryland.

License number 4461

1. Name: 9-1 CLIENTA CARRISA CA039360_KINGSPORT,SHERTS\9.30.DWG