



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: 818000549

Building Address: 3654 SHARP RD  
City: GLENWOOD State: MD Zip Code: 21738  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
Tax Map: 21 Parcel: 15 Grid: \_\_\_\_\_  
Zoning: R Map Coordinates: \_\_\_\_\_ Lot Size: 4.05

Existing Use: PRIVATE RESIDENCE

Proposed Use: \_\_\_\_\_

Estimated Construction Cost: \$ 150,000 4,058

Description of Work: WOOD FRAME ADDITION TO EX. RESIDENCE, 2 FLOORS & UNFINISHED BASEMENT

Occupant/Tenant Name: ERABECKA RESIDENCE

Was tenant space previously occupied? ☐ Yes ☐ No

Contact Name: JOHN CHALK

Address: 9738 BRIARCLIFFE LANE

City: GLENWOOD State: MD Zip Code: 21742

Phone: 410-730-4300 Fax: 410-988-2174

Email: jchalk@erabacka.com

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 <sup>st</sup> floor: _____
	2 <sup>nd</sup> floor: _____
Area of construction (sq. ft.): _____	Basement: _____
	<input type="checkbox"/> Finished Basement
Use group: _____	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type: _____	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units: _____
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: JOHN FARMER  
Address: 3654 SHARP RD  
City: GLENWOOD State: MD Zip Code: 21738  
Phone: 410-730-4300 Fax: 410-988-2174  
Email: jchalk@erabacka.com

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: JOHN CHALK  
Address: 9738 BRIARCLIFFE LANE  
City: GLENWOOD State: MD Zip Code: 21742  
Phone: 410-730-4300 Fax: 410-988-2174  
Email: jchalk@erabacka.com

Contractor Company: ERABECKA

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

License No.: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Engineer/Architect Company: JOHN CHALK

Responsible Design Prof.: \_\_\_\_\_

Address: 9738 BRIARCLIFFE LANE

City: GLENWOOD State: MD Zip Code: 21742

Phone: 410-730-4300 Fax: 410-988-2174

Email: jchalk@erabacka.com

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
_____
Building Shell Permit Number:
_____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Email Address: \_\_\_\_\_

Date: \_\_\_\_\_

Title/Company: \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health		

Is Sediment Control approval required for issuance? ☒ Yes ☐ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>1493</u>

Distribution of Copies: White: Building Officials. Green: PSZA,Zoning. Yellow: PSZA,Engineering. Pink: Health. Gold: SHA

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 4/10/18  
To: Pat Swinder  
(Person's Name and Division)  
From: JOHN CHALK (410) 738 4300  
(Your Name, Company Name and Telephone Number)  
Subject: Project name GRABOSKI RESIDENCE  
Project site address 3654 SHARP ROAD  
Permit Number B18000549 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

RECEIVED  
APR 11 2018  
PLAN REVIEW DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

- \_\_\_\_ Letter of response to Howard County plan review code letter  
☒ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**  
\_\_\_\_ Structural steel certification  
\_\_\_\_ Energy conservation calculations  
\_\_\_\_ Certification for \_\_\_\_\_ (be specific).  
☒ Copies of REVISED PLANS (be specific).  
\_\_\_\_ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_  
\_\_\_\_ Other \_\_\_\_\_

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

ANNETTE MERSON ( ) ZONING  
(Person's name) (Telephone number)

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

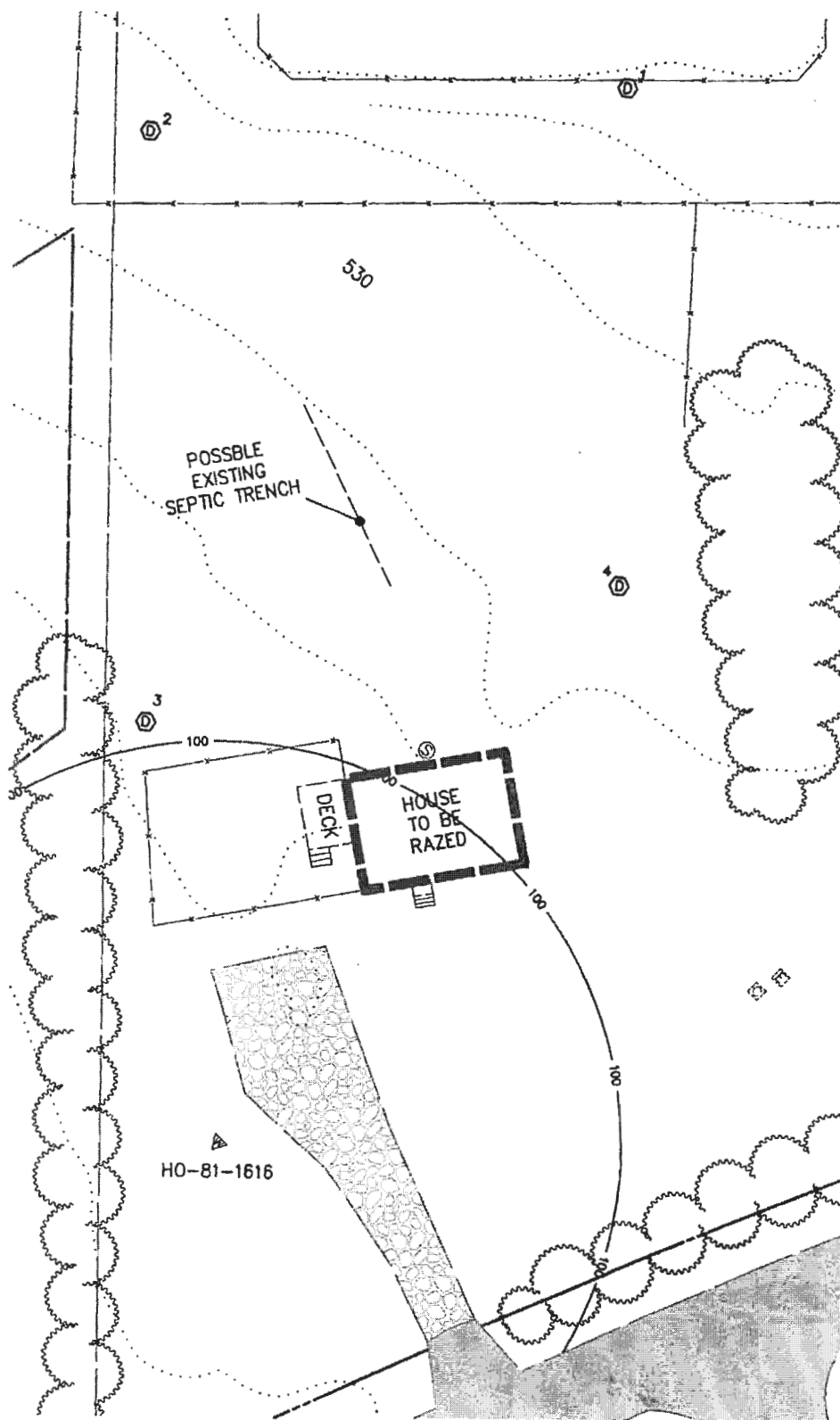
Received by MF

Revision # 1

white: Plan Review Division  
yellow: Applicant  
pink: Permit Division

t:\Updated forms\transmit.frm - Rev. 5/08

Plot plan set  
sent to Heather 1/2



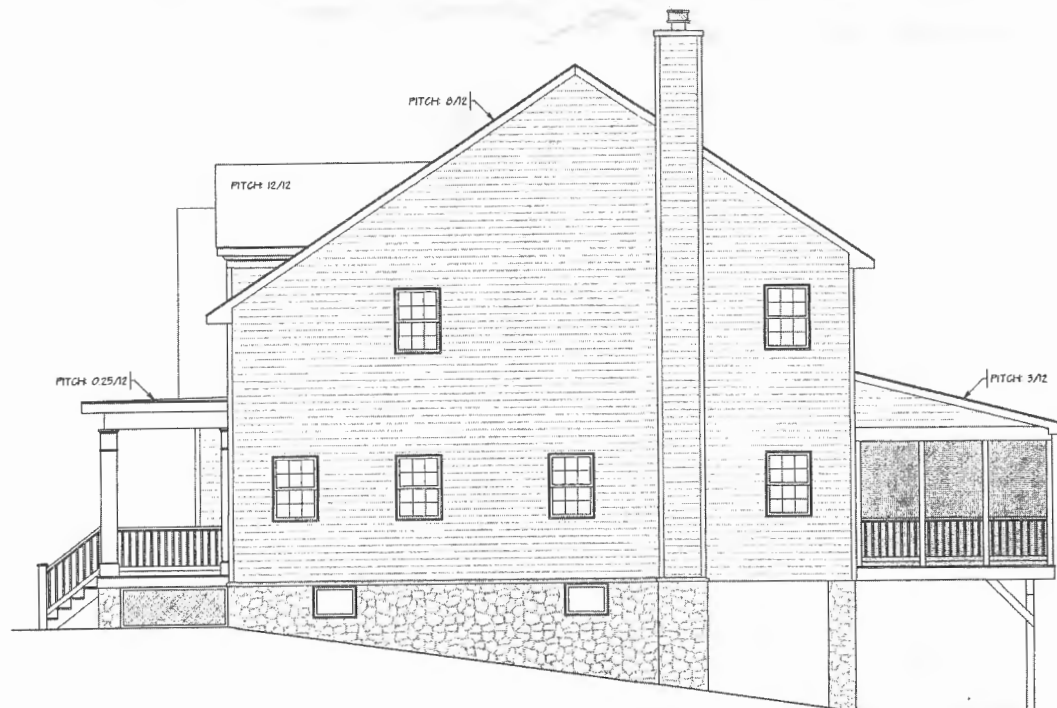
**R322 WINDOW FALL PROTECTION**  
WHERE THE TOP OF THE WINDOW SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACES BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENING WHERE IT IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R322.2.



FRONT ELEVATION

SCALE: 1/4" = 1' 0"



TRUSS BRG.  
6'-8" 3/8" WIND HGT.  
8'-1" 1/8" WALL HEIGHT  
8'-5 7/8" T.J.  
7'-0" WIND HGT.  
9'-4" 1/8" WALL HEIGHT  
2'-0" FLR. JOST.

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"

REVISED 8-10-2008 FRONT LOAD GARAGE @ 22'-0" WIDE

PROJECT FOR: GRABOSKI RESIDENCE

3654 SHARP RD.  
GLENWOOD, MARYLAND 21738

DATE: JULY 25, 2008

NAME: PHILIP F. GABLIUZZA

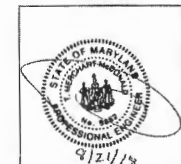
PHONE: 410-296-0842

CREATIVE OUTLOOKS, LLC  
PHILIP F. GABLIUZZA

CUSTOM HOME PLANNING & DESIGN  
HOME ADAPTATION CONSULTING DESIGN  
PHILIP F. GABLIUZZA

PHONE: 410-296-0842

Authorization/Limitations for Use of Plans  
This set of drawings, the design, and the accompanying specifications are hereby issued by Creative Outlooks, LLC. A copy of these drawings and specifications shall be provided to the contractor for the use of construction. It is understood and agreed that these drawings are not to be copied, modified, or redrawn without the written permission of Creative Outlooks, LLC.  
Copyright Creative Outlooks, LLC.  
All rights reserved 2008



REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, STEEL, BRACK, MICRO-PILES, HEADERS & WALL BRACING ONLY.  
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 3862 - Expiration Date: 3-17-20  
TMM CONSULTING SERVICES, LLC  
7946 HOLLOW RD.  
MIDDLETOWN, MD 21769  
240-439-9500

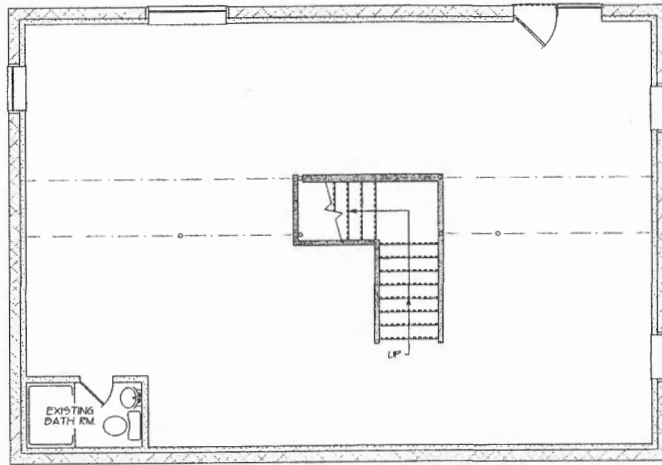
SHEET No.

1 of 11

LEFT SIDE ELEVATION

SCALE 1/4" = 1' 0"





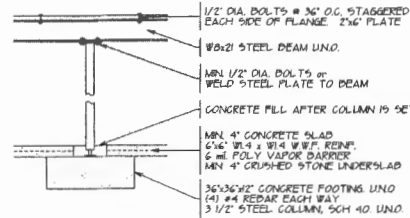
LOWER LEVEL FLOOR PLAN

8" MASONRY FOUNDATION		
MAX. WALL HGT.	MAX. UNBALANCED STACKED HGT.	MIN. VERTICAL REINFORCEMENT SIZE & SPACING
4'-0"	4'-0"	#4 @ 40" O.C.
5'-0"	5'-0"	#5 @ 40" O.C.
6'-0"	6'-0"	#6 @ 40" O.C.
7'-0"	7'-0"	#6 @ 40" O.C.
8'-0"	8'-0"	#6 @ 24" O.C.

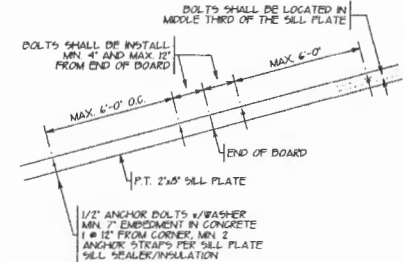
12" MASONRY FOUNDATION		
MAX. WALL HGT.	MAX. UNBALANCED STACKED HGT.	MIN. VERTICAL REINFORCEMENT SIZE & SPACING
4'-0"	4'-0"	#4 @ 72" O.C.
5'-0"	5'-0"	#5 @ 72" O.C.
6'-0"	6'-0"	#5 @ 72" O.C.
7'-0"	7'-0"	#6 @ 72" O.C.
8'-0"	8'-0"	#6 @ 40" O.C.

NOTES:  
 1. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 2. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MIN. THE DISTANCE, 1 FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5" FOR 8" BLOCK AND 6.75" FOR 12" BLOCK.

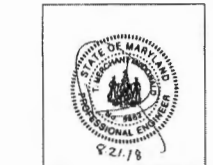
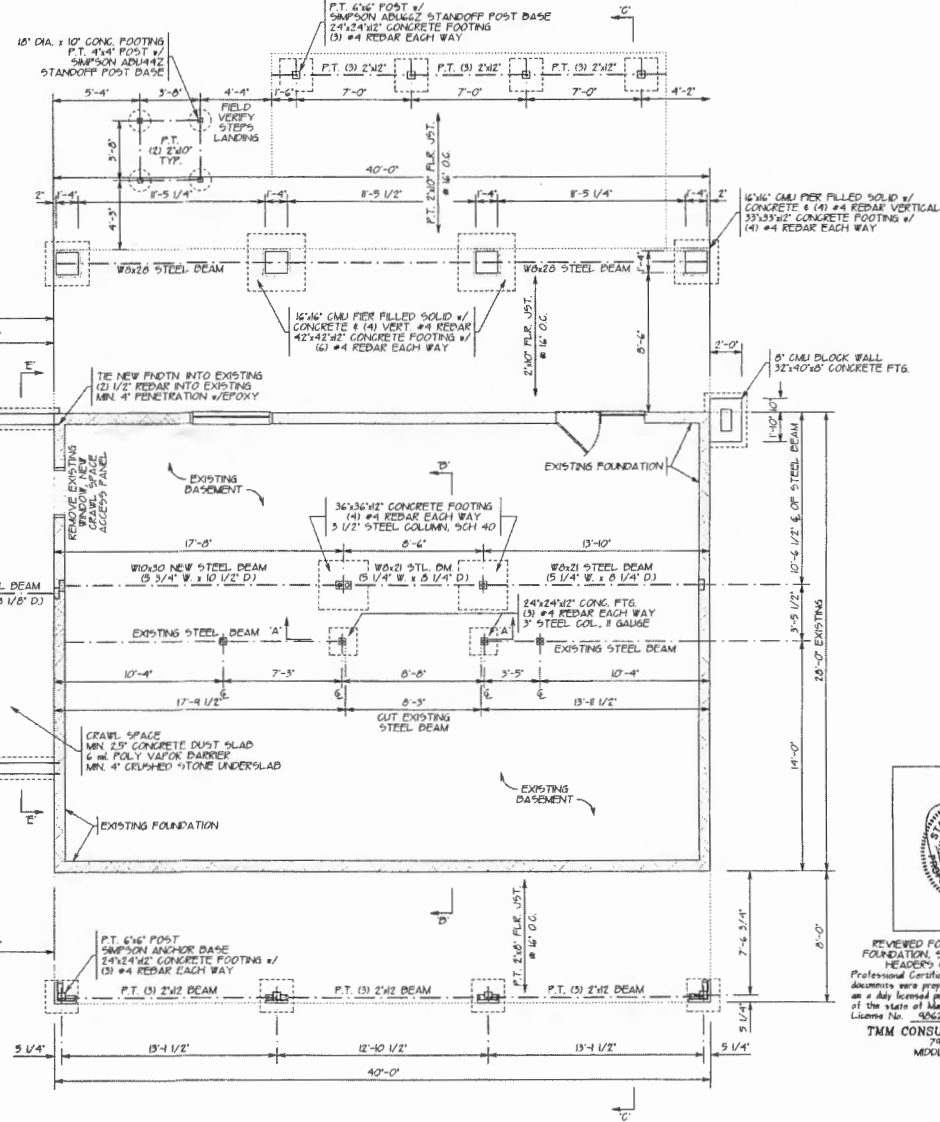
FOUNDATION PLAN



STEEL COLUMN DETAIL



SILL PLATE DETAIL



REVIEWED FOR STRUCTURAL SUPPORT:  
 FOUNDATION, STEEL BEAMS, MICRO-LAMPS,  
 HEADERS & WALL DRAGING ONLY.  
 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License No. 4562, Expiration Date: 3-17-20  
 TMM CONSULTING SERVICES, LLC  
 784 HOLLOW RD.  
 MIDDLETOWN, MD 21769  
 240-454-6506

SHEET No.

3 of 11

SCALE: 1/4" = 1'-0"

CREATIVE OUTLOOKS, LLC  
 PHILIP F. GUSARZKA

CUSTOM HOME PLANNING & DESIGN  
 COMPLETE CONSTRUCTION PLANS

PHONE: 402-546-0022

PROJECT FOR

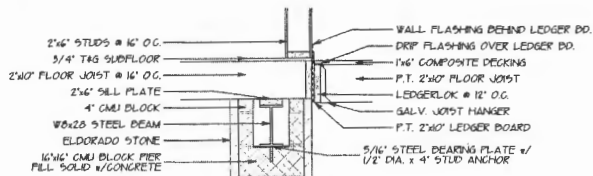
GRABOSKI RESIDENCE  
 3654 SHARP RD.  
 GLENWOOD, MARYLAND 21738

REVISED 8-20-2020 FRONT LOAD GARAGE @ 22'-0" WIDE

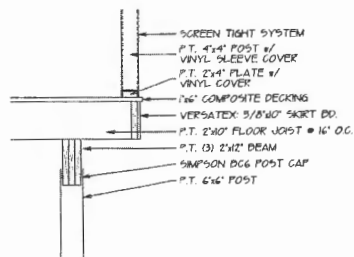
FOOTNOTES/NOTES

Copyright © Creative Outlooks, LLC. All rights reserved 2020.

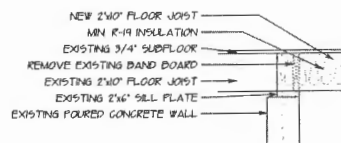
Authorization/Attestation for Use of Plans:  
 This set of drawings, the design, and any accompanying specifications are solely owned by Creative Outlooks, LLC. A copy of these drawings may be made for the use of the contractor, but the use of these drawings are not to be copied, modified, or otherwise used without the written permission of Creative Outlooks, LLC.



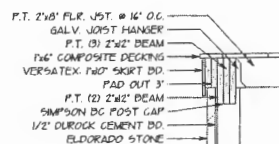
JOIST DETAIL 'A'



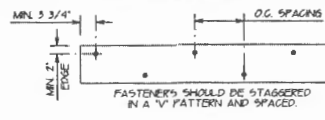
JOIST DETAIL 'B'



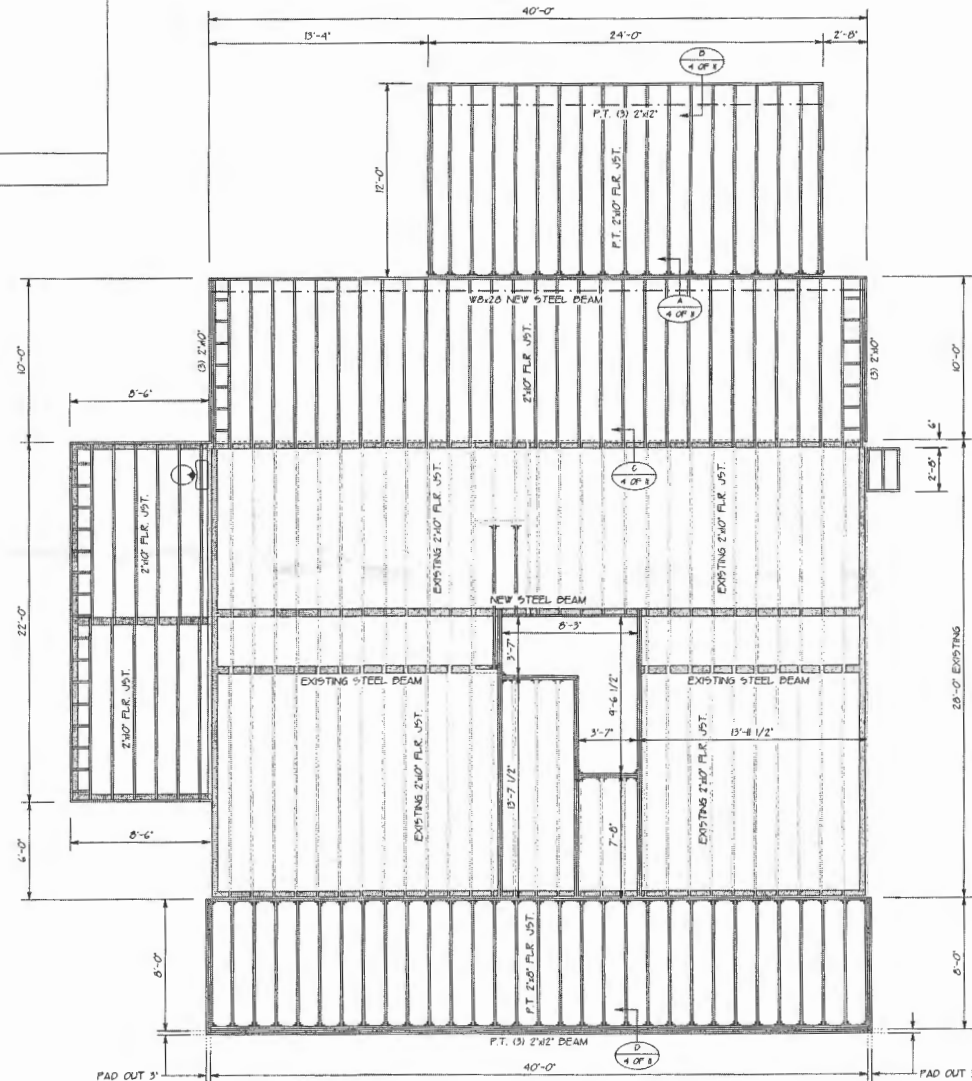
JOIST DETAIL 'C'



JOIST DETAIL 'D'



LIVE LOAD	RM. BD. MATERIAL	SPACING BETWEEN FASTENERS (INCHES) BASED ON JOIST SPANS OF:						
		6' OR LESS	UP TO 8'	UP TO 10'	UP TO 12'	UP TO 14'	UP TO 16'	UP TO 18'
40 psf	2x LUMBER	24"	18"	14"	12"	10"	8"	8"
	LVL	25"	18"	15"	12"	10"	8"	8"



NOTE:  
1. OPENINGS GREATER THAN 4'-0\"/>

FIRST FLOOR FRAMING LAYOUT

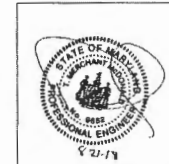
PROJECT FOR: GRABOSKI RESIDENCE  
3654 SHARP RD  
GLENWOOD, MARYLAND 21738

CREATIVE OUTLOOKS, LLC  
PHELIP F. GABLOZZA

CUSTOM HOME PLANNING & DESIGN  
HOME ADDITION/REMODELING DESIGN  
COMPLETE CONSTRUCTION PLANS

PHONE 410-546-1061

Authorization/Limitations for Use of Plans  
This set of drawings, the design, and any other documents or specifications are to be used only for the project and site conditions specified herein. It is understood and agreed that these drawings are not to be used for any other project without the written permission of Creative Outlooks, LLC.  
Copyright Creative Outlooks, LLC.  
All rights reserved 2016

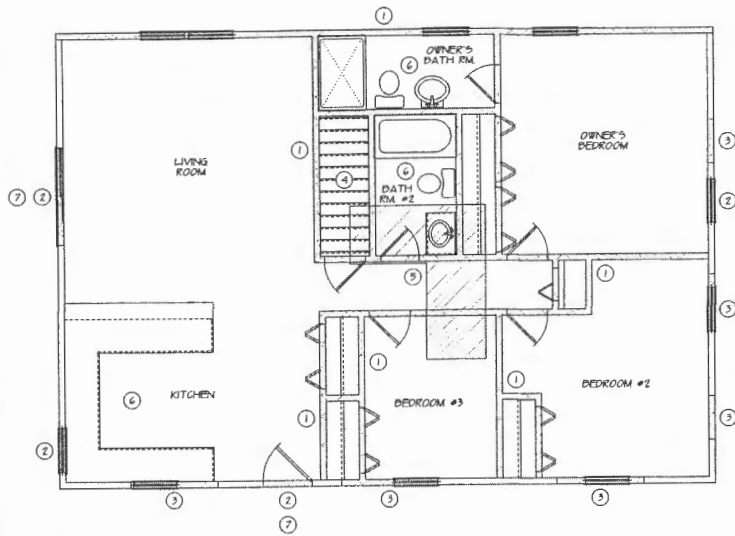


REVIEWED FOR STRUCTURAL SUPPORT,  
FOUNDATION, STEEL BEAMS, MICRO-PILES,  
HEADERS & WALL DRAGS ONLY.  
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 9362, Expiration Date: 5-17-20  
TMM CONSULTING SERVICES, LLC  
7411 HOLLOW RD.  
MIDDLETOWN, MD 21764  
240-439-4510

SHEET No.

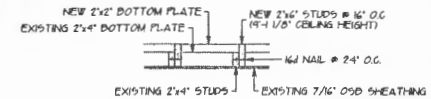
4 of 11

SCALE: 1/4" = 1'-0"



EXISTING FIRST LEVEL FLOOR PLAN

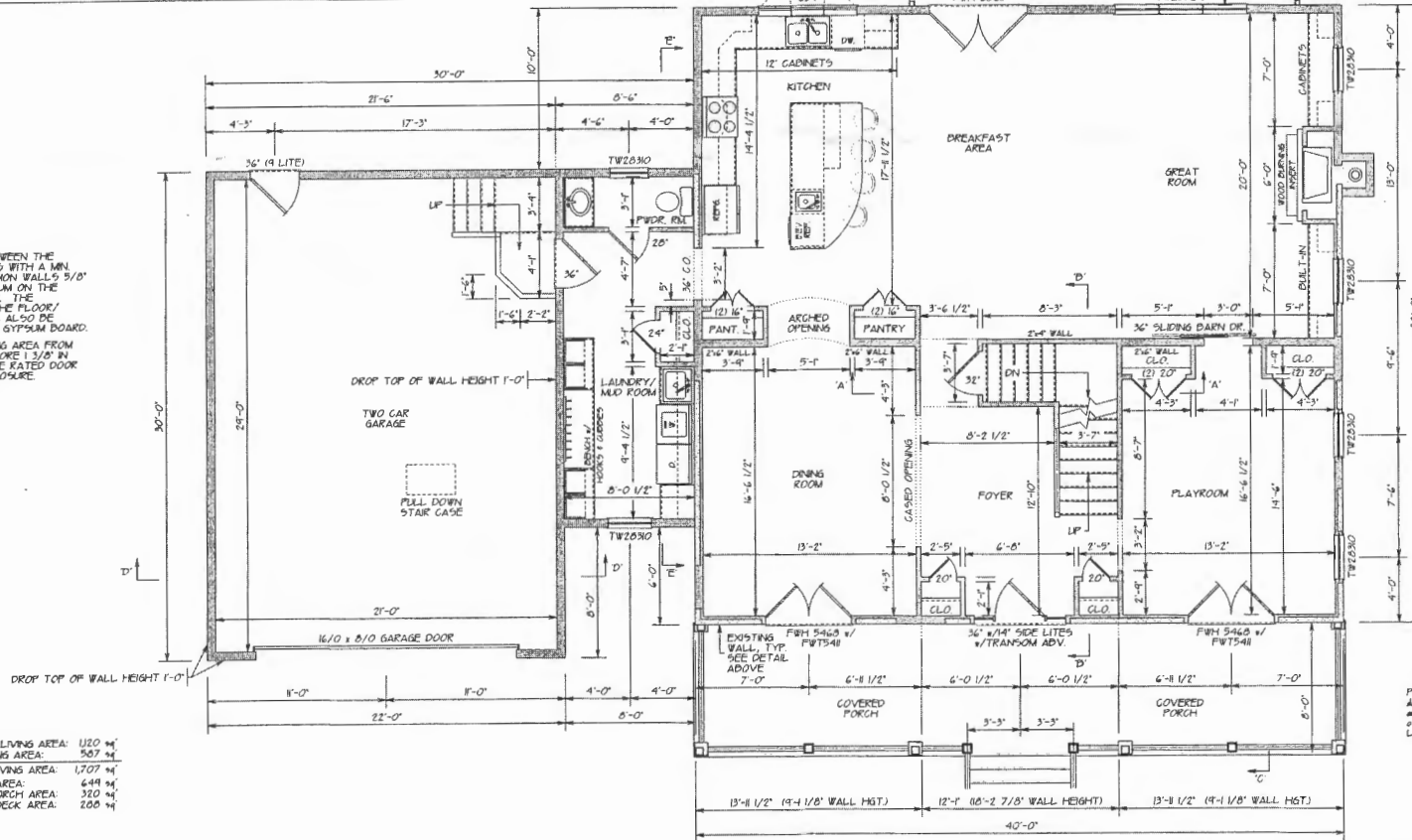
- 1 REMOVE WALL, DOORS & WINDOWS
- 2 REMOVE WINDOW/DOOR, FRAME-IN
- 3 REMOVE WALL, NEW DOOR/WINDOW OPENING
- 4 REMOVE STAIRCASE, FRAME-IN OPENING
- 5 REMOVE FLOOR FRAMING, NEW STAIRCASE OPENING
- 6 REMOVE ALL PLUMBING, CABINETS & APPLIANCES
- 7 REMOVE PRESSURE TREATED DECK



EXISTING WALL DETAIL

- NOTE:
1. CARBON MONOXIDE ALARMS REQUIRED FOR DWELLINGS THAT USE FOSSIL FUELS
  2. EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL SHEATHING (4\"/>

- NOTE:
1. PROVIDE SEPARATION BETWEEN THE GARAGE AND LIVING AREAS WITH A MIN. 1/2\"/>



EXISTING LIVING AREA: 1,020 sq ft  
 NEW LIVING AREA: 957 sq ft  
 TOTAL LIVING AREA: 1,707 sq ft  
 GARAGE AREA: 649 sq ft  
 FRONT PORCH AREA: 320 sq ft  
 SCREEN DECK AREA: 200 sq ft

FIRST LEVEL FLOOR PLAN

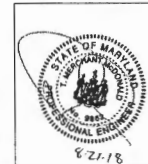
REVISED 0-20-2006 FRONT LOAD GARAGE @ 22'-0\"/>

PROJECT FOR:

GRABOSKI RESIDENCE  
 3654 SHARP RD.  
 GLENWOOD, MARYLAND 21730

CREATIVE OUTLOOKS, LLC  
 PHILIP F. GRABOSKI

Authorization/Limitations for Use of Plans  
 These plans are prepared by Creative Outlooks, LLC, a professional engineering firm, for the use of the Client. The Client is responsible for obtaining all necessary permits and for providing all necessary information to the Client. The Client is responsible for the accuracy and completeness of the information provided. The Client is responsible for the accuracy and completeness of the information provided. The Client is responsible for the accuracy and completeness of the information provided.



REVIEWED FOR STRUCTURAL SUPPORT:  
 FOUNDATION, STEEL BEAMS, MICRO-PILES,  
 HEADERS & WALL DRAGS ONLY.  
 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
 License No. 90662, Expiration Date: 5-17-20  
 TMM CONSULTING SERVICES, LLC  
 7941 HOLLOW RD  
 MIDDLEBURY, MD 21769  
 240-439-7500

SHEET No.

5 of 11

SCALE: 1/4\"/>







R401 CLIMATE ZONE 4A  
R402 COMPLIANCE METHOD: MANDATORY AND PRESCRIPTIVE PROVISIONS  
R402.1 VAPOR RETARDER: WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE BOOK EDITION  
R402.2 ATTIC INSULATION: R-49 w/ STANDARD TRUSS HEEL  
R402.2 ATTIC INSULATION: R-30 w/ RAISED HEEL OVER EXTERIOR WALL  
R402.2 WOOD FRAME WALL: R-10 OR R-5 + R5 CONTINUOUS INSULATION  
R402.2 DAMAGED WALL INSULATION: R-10 OR R-5 FOL PAGED CONTINUOUS, UNINTERRUPTED DATTS FULL HEIGHT  
R402.2 CRAWL SPACE WALL INSULATION: R-5/R-10 FOL PAGED CONTINUOUS DATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL, AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0"  
R402.2 FLOOR INSULATION OVER UNCONDITIONED SPACE: R-49 DATTS INSULATION  
R402.2 WINDOW U-VALUE/SHGC: 35 U-VALUE/40 SHGC  
R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE: R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY  
R402.2.4 ATTIC ACCESS: SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-49

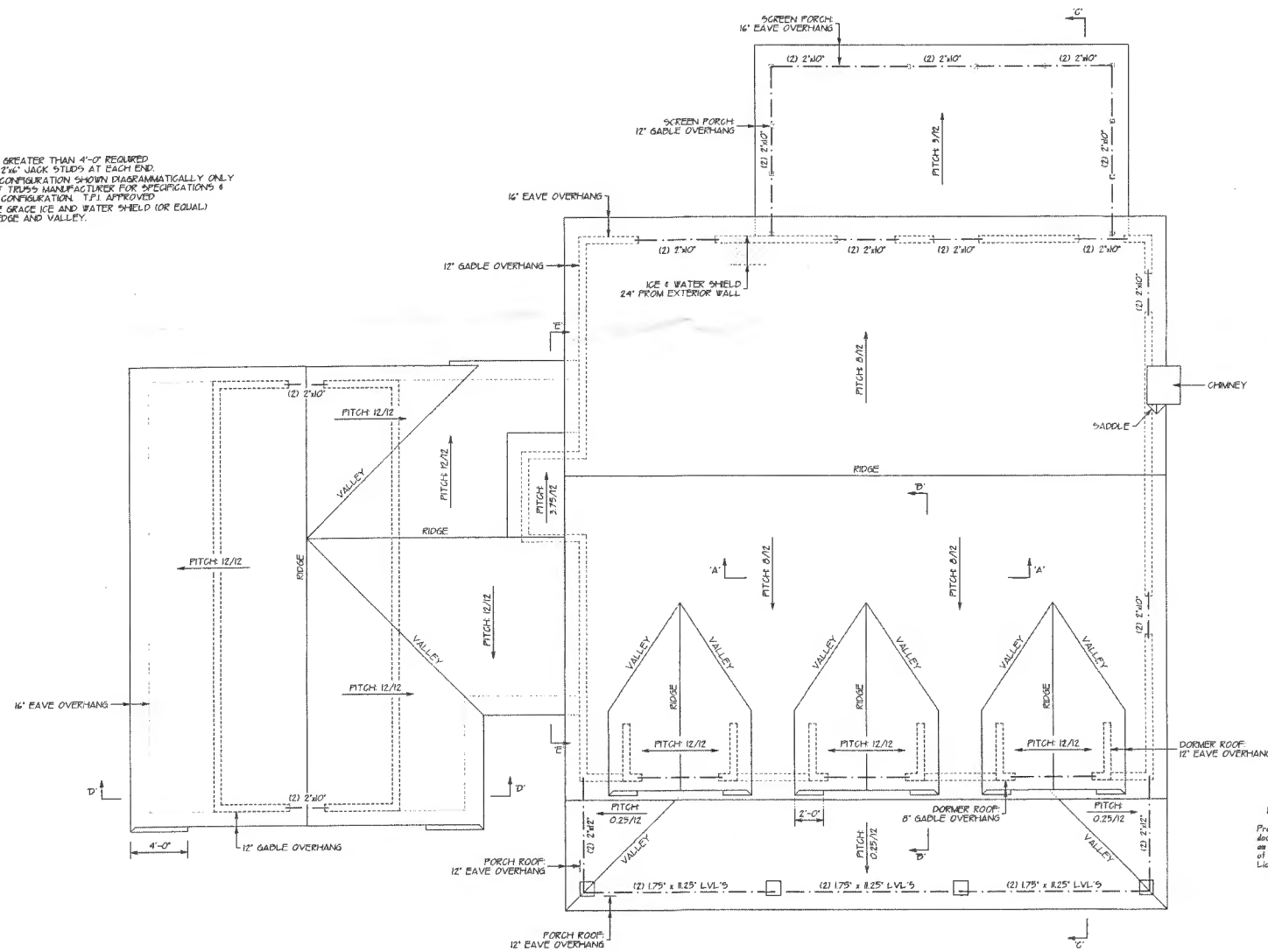
R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE): EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2015 IECC WITH GASKETS, WEATHERSTRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISPARATE MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION  
R402.4.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST: BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 WITH (CLOSER DOORS AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCAL)) TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR  
R402.4.2 PREPLACES: PER WOOD BURNING PREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR: FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 FACTORY BUILT FIREPLACE AND UL 107 MASONRY FIREPLACE  
R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE ALLIANCE AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM THE THERMAL ENVELOPE. EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST VENTS INSTALLED CONTINUOUSLY TO THE OUTSIDE. 2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R602 OF THE IRC.  
R402.4.5 RECESSED LIGHTING: RECESSED LIGHTING IS INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE

R403.1 THERMOSTAT: ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2015 IECC SECTION 403.1  
R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD  
R403.3.1 MECHANICAL DUCT INSULATION: SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-6 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-4 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-6 MINIMUM  
R403.3.2 DUCT SEALING: ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED JOINTS AND SEAMS WILL COMPLY WITH SECTION M604.1 OF THE IRC. A DUCT TIGHTNESS TEST (DUCT BLASTED DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE  
R403.6 MECHANICAL VENTILATION: OUTDOOR MAKE-UP AND EXHAUST AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING  
R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1  
R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7

R404.1 LIGHTING EQUIPMENT: A MINIMUM OF 75% OF ALL LAMP(S) MUST BE HIGH EFFICACY LAMPS  
THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND BE READILY VISIBLE

## 2015 IECC CODE COMPLIANCE

- NOTE:  
1. OPENINGS GREATER THAN 4'-0" REQUIRED DOUBLE 2"x6" JACK STUDS AT EACH END.  
2. TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY. CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS & ACTUAL CONFIGURATION. I-71 APPROVED  
3. PROVIDE GRADE ICE AND WATER SHIELD (OR EQUAL) ALONG EDGE AND VALLEY.



CREATIVE OUTLOOKS, LLC  
PHILIP F. GABRIELLA  
CUSTOM HOME PLANNING & DESIGN  
LICENSED PROFESSIONAL ARCHITECT  
COMPLETE CONSTRUCTION PLANS  
PHONE 410-546-1031  
P606210001NET

Authorization/Conditions for Use of Plans  
The use of these plans, the design itself, and any accompanying specifications are solely owned by Creative Outlooks, LLC. A copy of these plans, specifications, and any accompanying documents may be made for the use of construction, but it is understood and agreed that these drawings are not to be copied, modified, or reproduced without the written permission of Creative Outlooks, LLC.  
Copyright © Creative Outlooks, LLC.  
All rights reserved 2016



REVIEWED FOR STRUCTURAL SUPPORT:  
FOUNDATION, STEEL BEAMS, MICRO-LAMPS,  
HEADERS & WALL DRAGS ONLY.  
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 4062, Expiration Date: 5-17-20  
TMM CONSULTING SERVICES, LLC  
2941 HOLLOW RD.  
MIDDLETOWN, MD 21769  
240-434-9546

SHEET No.  
8 of 11

SCALE: 1/4" = 1'-0"

PROJECT FOR:  
GRABOSKI RESIDENCE  
3654 SHARP RD.  
GLENWOOD, MARYLAND 21738  
DATE: JULY 15, 2016  
SCALE: 1/4" = 1'-0"  
SHEET NO.: P-60621001  
REVISED 8-10-2016 FRONT LOAD GARAGE @ 22'-0" WIDE

# DECK NOTES:

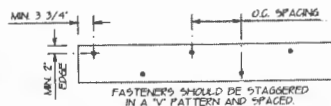
1. ALL LUMBER SHALL BE PRESSURE-TREATED SOUTHERN PINE GRADE #2 OR BETTER
2. ALL SCREWS AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL
3. ALL HARDWARE (JOIST HANGERS, POST ANCHORS & BEAM ETC.) SHALL BE GALVANIZED WITH 100% ZINC OR ZINC (G-95 COATING) OR SHALL BE STAINLESS STEEL
4. 2"x4" STRINGERS ATTACHED TO BOND BOARD w/ SIMPSON LUG ADJUSTABLE STRINGER CONNECTOR
5. OPENINGS FOR REQUIRED GUARDS ON THE SIDE OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4" TO PASS THROUGH OF A 6" DIAMETER SPHERE
6. TRIANGULAR OPENING SHALL NOT PERMIT THE PASSAGE OF A 6" DIAMETER SPHERE
7. MAX 7 3/4" DECK, MIN 10" TREAD EDGE OF NOSE TO EDGE OF NOSE
8. LATERAL LOAD CONNECTION OPT.
  1. INSTALL (2) 1500# CONNECTORS WITH 24" OF EACH END OF DECK
  2. INSTALL (4) 750# CONNECTORS WITH (2) AT EACH END OF DECK
  3. PROVIDE DIAGONAL BRACING WITH 1X MEMBERS AT ALL POST

3/4" T&G ROOF SHEATHING  
2"x6" RAFTER JOIST @ 16" O.C.  
10'x10' PERMACAST COLUMN  
INSTALL w/ HDG COLUMN KIT

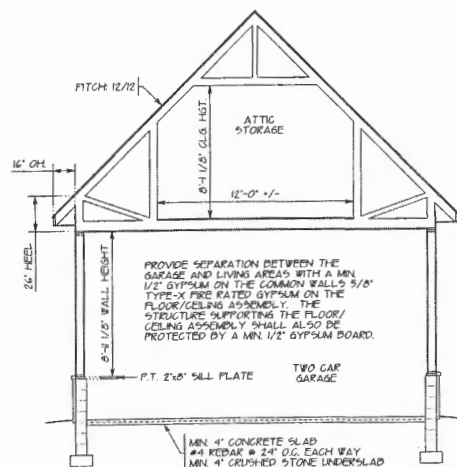
2"x6" TOP & BOTTOM PLATE  
(2) 2"x12" BEAM  
WRAP VERSATEX: 1X TRIM DO  
10'x10' PERMACAST COLUMN  
INSTALL w/ HDG COLUMN KIT

VERSATEX: DEADEND SOFFIT

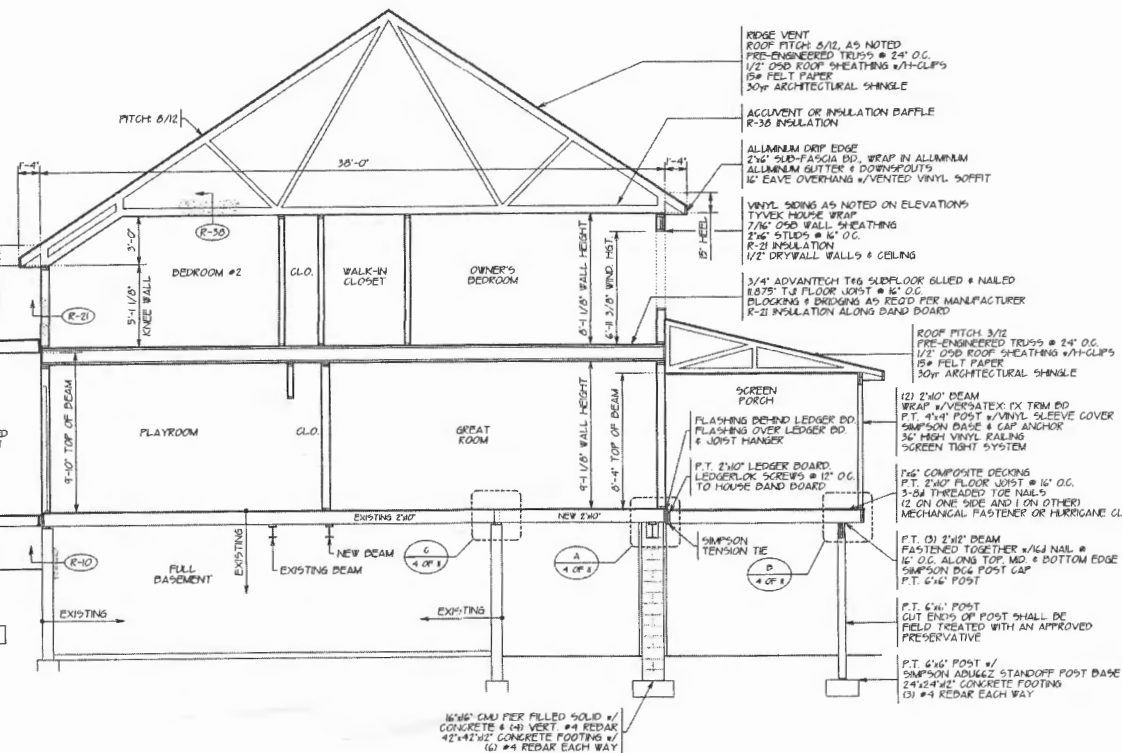
SPACING BETWEEN FASTENERS BASED ON JOIST SPANS OF:		LIVE LOAD			
JOIST DO.	SPACING	40 psf	2x LUMBER	24"	LVL
6" OR LESS	UP TO 8"	25"	14"	15"	12"
8" UP TO 10"	10"				
10" UP TO 12"	14"				
12" UP TO 14"	18"				
14" UP TO 16"	22"				



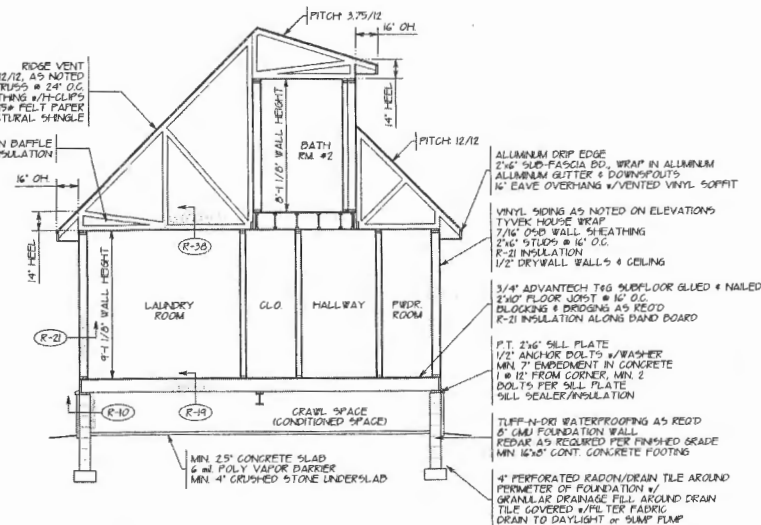
BUILDING SECTION 'C-C'



BUILDING SECTION 'D-D'



BUILDING SECTION 'E-E'



SCALE 1/4" = 1'-0"

REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, STEEL BEAMS, MICRO-LAM, HEADERS & WALL BRACING ONLY.

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.

Authorization/Limitations for Use of Plans: These plans are not to be used for any other project without the written permission of Creative Outlooks, LLC. All rights reserved 2016.

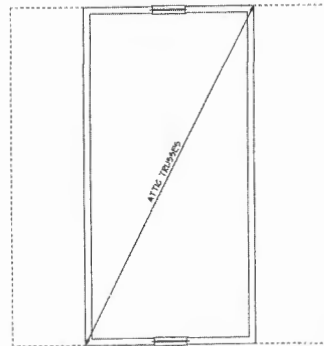


TMM CONSULTING SERVICES, LLC  
794 HOLLOW RD.  
MIDDLETOWN, MD 21769  
240-494-9516

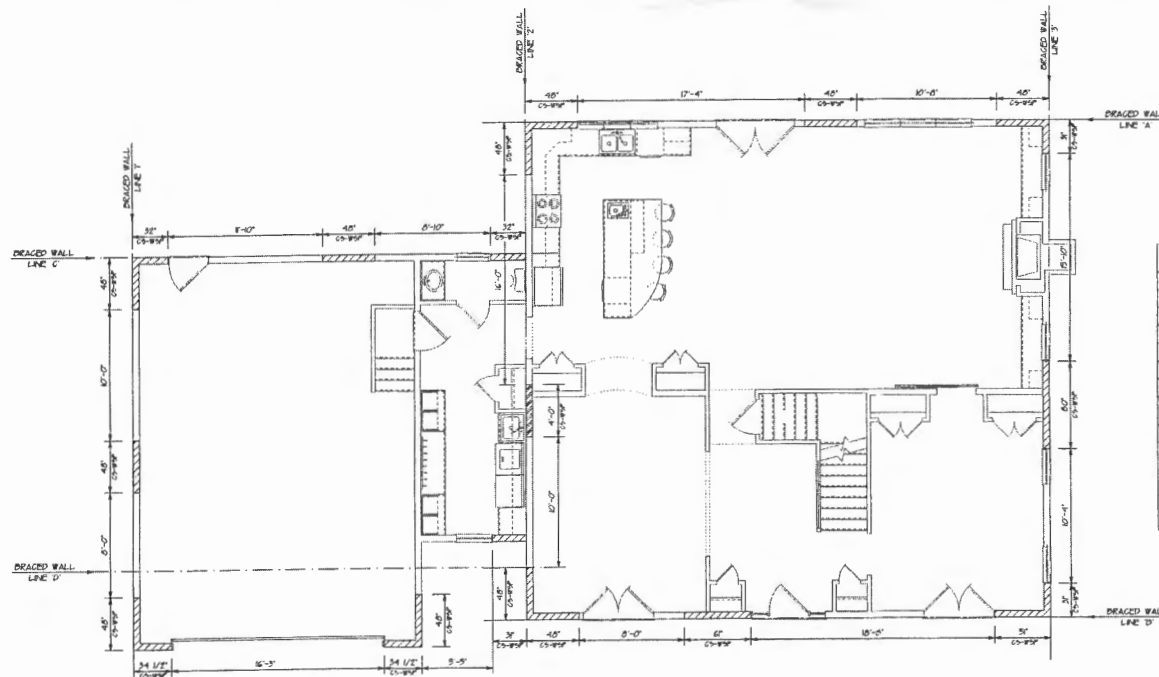
SHEET No.  
9 of 11

CREATIVE OUTLOOKS, LLC  
PHILIP F. GALLUZZA  
CUSTOM HOME PLANNING & DESIGN  
HOUSE ADDITION/REMODELING DESIGN  
CONCRETE CONSTRUCTION PLANS  
PHONE: 410-594-6062  
FOUNDER/ARCHITECT

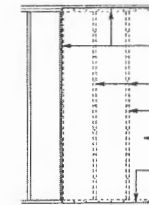
BUILDING SECTIONS 'C-C', 'D-D' & 'E-E'  
PROJECT FOR:  
GRABOSKI RESIDENCE  
3654 SHARP RD.  
GLENWOOD, MARYLAND 21738  
DATE: JULY 23, 2016  
SCALE: 1/4" = 1'-0"  
SHEET: 9 of 11



SECOND LEVEL WIND BRACING DIAGRAM



FIRST LEVEL WIND BRACING DIAGRAM



EXTERIOR WALL SHEATHING TO WALL FRAMING ASSEMBLY

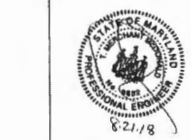
(H) HOLD-DOWN (200% MIN)

- GD - INTERIOR BRACED WALL  
INTERIOR BRACED WALLS SHALL BE MIN 1/2" GYP-SUM BOARD APPLIED TO EACH SIDE OF FRAMING WITH ADHESIVE AND 3 OR 4 SCREWS @ 7" O.C.
- CS-WSP CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL  
CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL - MINIMUM 24" PANEL SHALL BE LOCATED AT EACH END OF BRACED WALL LINE. MINIMUM THICKNESS PANEL 3/8" ATTACHED WITH 1/2" COMMON NAILS @ 6" O.C. SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16" @ 1 3/4" STAPLES AT 3" O.C. (PANEL EDGES) AND 6" O.C. SPACING (INTERMEDIATE SUPPORTS). SOLE PLATE TO JOIST AT DRACED WALL PANELS 3'-6" @ 16" O.C.
- CS-PF CONTINUOUS SHEATHING PORTAL FRAME  
DESIGNATED PORTAL FRAMING DRACED SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS R60210.4 OF THE RC 205 CONTINUOUS PORTAL FRAME PANEL.
- CS-G CONTINUOUS SHEATHING GARAGE  
CONTINUOUS SHEATHING-GARAGE PANEL - MINIMUM 24" PANEL SHALL BE LOCATED AT EACH END OF DRACED WALL LINE. MINIMUM THICKNESS PANEL 3/8" ATTACHED WITH 1/2" COMMON NAILS @ 6" O.C. SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16" @ 1 3/4" STAPLES AT 3" O.C. (PANEL EDGES) AND 6" O.C. SPACING (INTERMEDIATE SUPPORTS). SOLE PLATE TO JOIST AT DRACED WALL PANELS 3'-6" @ 16" O.C.

THIS DRAWING SHOWS DRACED WALL LINES WITH CONTINUOUS STRUCTURAL PANEL SHEATHING MEETING THE MINIMUM REQUIREMENTS OF SECTION R60210.3 OF THE RC. DRACED WALLS ARE OF THE MINIMUM LENGTHS SPECIFIED IN RC 205 R60210.3.

BASED WIND SPEED (15 FLOOR DRACED WALL SYSTEM)				
FLOOR WALL LINE	STORY LOCATION	PANEL TYPE	REQUIRED LENGTH	PROVIDED LENGTH
A	2	CS-WSP	130'	144'
B	2	CS-WSP	130'	160'
C	1	CS-WSP	63'	8"
D	1	CS-WSP	63'	69'
E	1	CS-WSP	72'	160'
F	1	CS-WSP	72'	147'
FLOOR WALL LINE	STORY LOCATION	PANEL TYPE	REQUIRED LENGTH	PROVIDED LENGTH
1	1	CS-WSP	54'	144'
2	2	CS-WSP	130'	144'
3	2	CS-WSP	130'	142'
4	1	CS-WSP	72'	144'
5	1	CS-WSP	72'	127'

STORY LOCATION  
1 - ROOF ONLY  
2 - ONE STORY FLOOR & ROOF  
3 - TWO STORY FLOOR & ROOF



REVIEWED FOR STRUCTURAL SUPPORT:  
FOUNDATION, STEEL BEAMS, MICRO-PILES,  
HEADERS & WALL BRACING ONLY.  
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 3862 - Expiration Date: 5-17-20  
TMM CONSULTING SERVICES, LLC  
7944 HOLLOW RD  
MIDDLETOWN, MD 21761  
240-434-1650

SCALE: 1/4" = 1'-0"

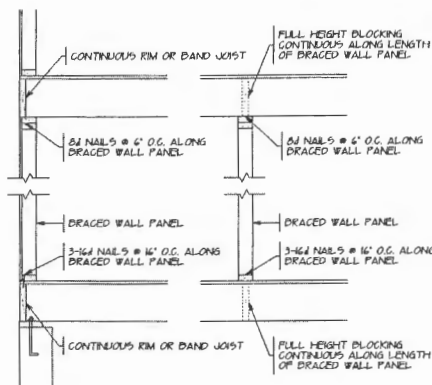
SHEET No.  
10 of 11

REVISED 8-10-2008 FRONT LOAD GARAGE @ 22'-0" WIDE  
PROJECT FOR  
GRADOSKI RESIDENCE  
3654 SHARP RD  
GLENWOOD, MARYLAND 21738  
DATE JULY 23, 2008  
DRAWN BY: AUBREY  
CHECKED BY: GABRIELLA

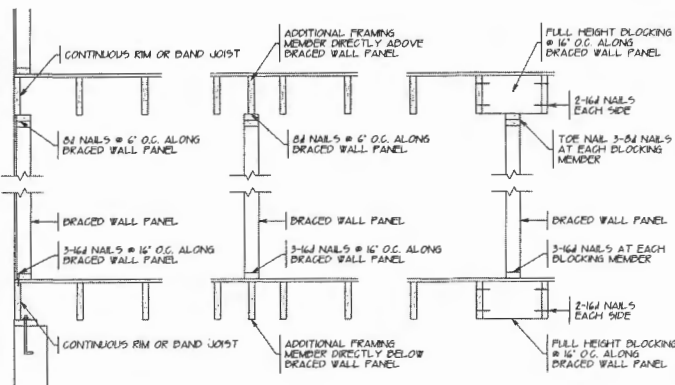
CREATIVE OUTLOOKS, LLC  
PHILIP F. GABRIELLA  
CREATIVE OUTLOOKS, LLC  
10000 LANTANA BLVD, SUITE 100  
GLENWOOD, MARYLAND 21738  
PHONE: 410-546-1042  
FPGABRIELLA@GMAIL.COM

Authorization/Limitations for Use of Plans  
This set of drawings, the design, and any accompanying specifications are the property of Creative Outlooks, LLC. These drawings and specifications are provided to the Client for the use of construction. It is understood and agreed that these drawings are not to be used for any other project without the written permission of Creative Outlooks, LLC.  
Copyright Creative Outlooks, LLC.  
All rights reserved 2008



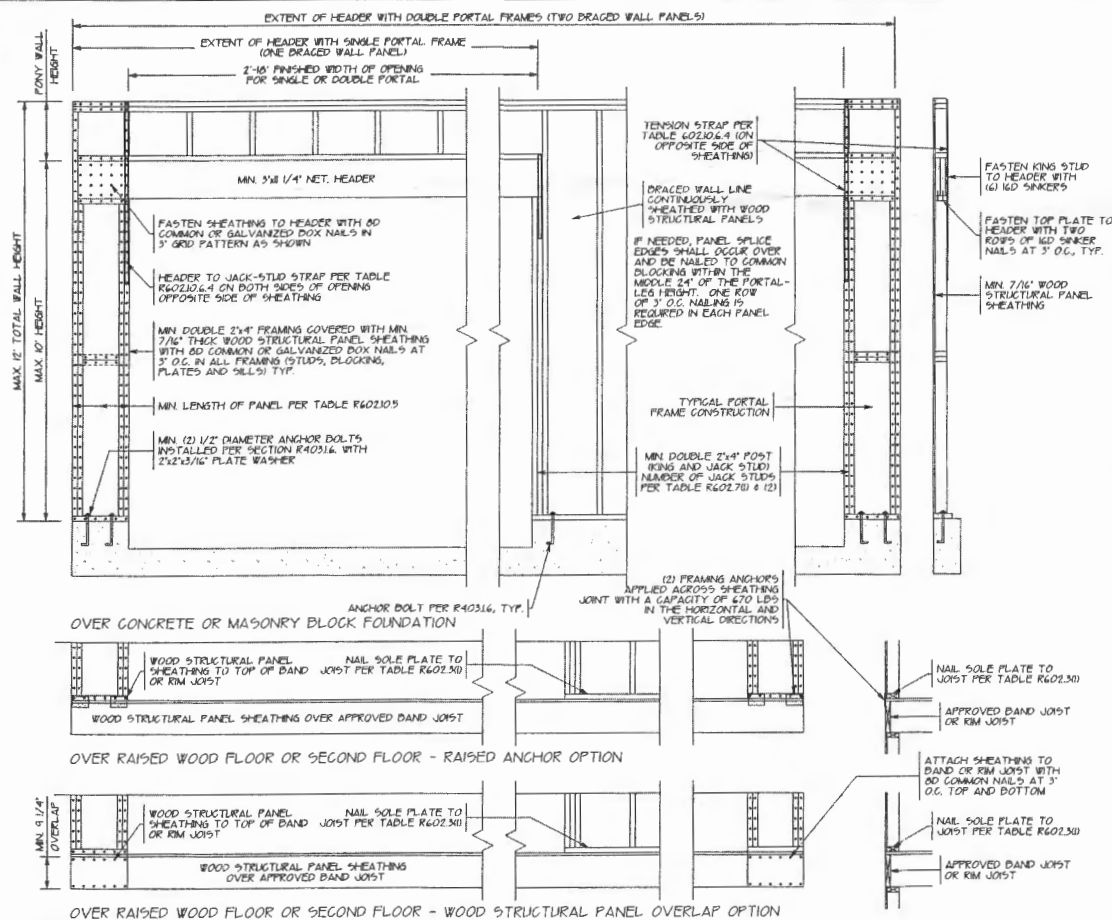


BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

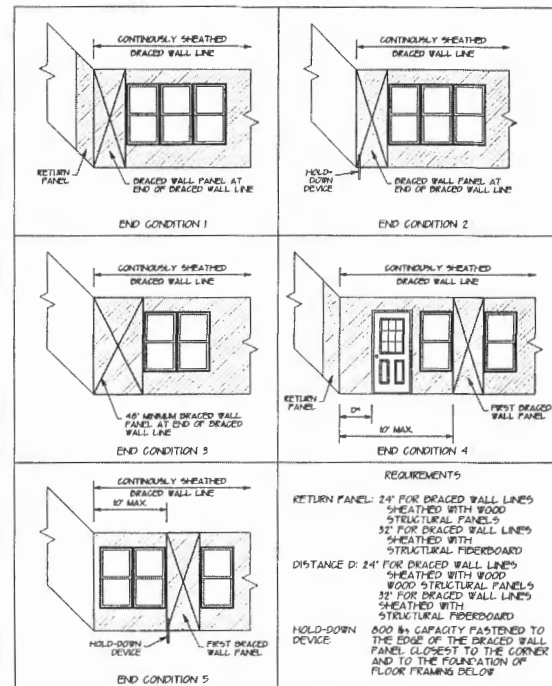


BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

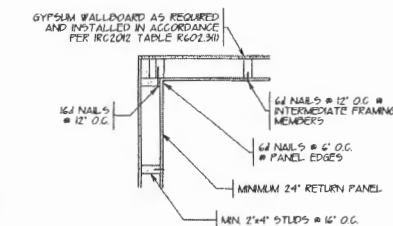
### BRACED WALL CONNECTION TO FLOOR/CEILING



PORTAL WALL DETAIL PER TABLE R60210.6.4 IRC 2015

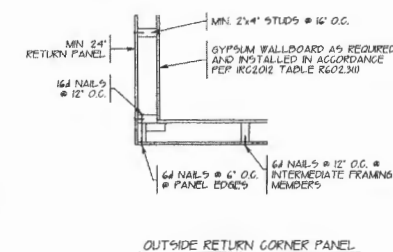


END CONDITIONS FOR BRACED WALL LINES FIGURE R60210.7 IRC 2015



INSIDE RETURN PANEL CORNER

CONNECT THE TWO WALLS TOGETHER AS OUTLINED IN THIS DETAIL BELOW TO PROVIDE OVERTURNING RESISTANCE. THE FULLY SHEATHED WALL LINE PERPENDICULAR TO THE NARROW DIMENSION HELPS REDUCE THE OVERTURNING FORCE BECAUSE THE OVERTURNING MOMENT ACTS OVER A LONGER DISTANCE.



OUTSIDE RETURN CORNER PANEL

CORNER WALL DETAILS

WIND BRACING NOTES & DETAILS  
GRABOSKI RESIDENCE  
3654 SHARP RD.  
GLENWOOD, MARYLAND 21738

CREATIVE OUTLOOKS, LLC  
PHILIP F. GUSLEZZA  
CUSTOM HOME PLANNING & DESIGN  
HOME DESIGN CONSULTING GROUP  
PHOTOGRAPHY: JEFFREY W. HARRIS  
PHONE: 410-944-0432  
FACEDIRECT@GMAIL.COM

Authorization/Restrictions for Use of Plans  
The use of these plans is restricted to the specific project and location shown on the title block. Any other use, including but not limited to, reproduction, distribution, or alteration, without the written permission of Creative Outlooks, LLC, is prohibited. All rights reserved 2006.



REVIEWED FOR STRUCTURAL SUPPORT, FOUNDATION, STEEL DECKS, MICRO-PILLS, HEADERS & WALL BRACINGS ONLY.  
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License No. 3562, Expiration Date: 5-17-20  
TMM CONSULTING SERVICES, LLC  
7941 HOLLOW RD.  
MEDFORD, MD 21554  
240-454-2545

28

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/23/18

To: DAN SWINDER  
(Person's Name and Division)

From: KELLI SHOCKEY (443) 955 2465  
(Your Name, Company Name and Telephone Number)

Subject: Project name FARNELLA RESIDENCE **RECEIVED**  
Project site address 3654 SHARP RD  
Permit # B18000549 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_ **SEP 04 2018**  
PLAN REVIEW DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

- ☐ Letter of response to address plan review comment letter
- ☒ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- ☐ Letter Summarizing Changes
- ☐ Energy conservation calculations
- ☒ Copies of PLOT PLAN (be specific). House type Revision
- ☐ Health Department Request ☐ DPZ/DED Request ☒ Applicant's Request
- ☐ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- ☒ Other CHANGE OF APPLICANT + CONTRACTOR

Contact Person Information: (Required) PER REVISED PERMIT APP

Please Print Name \_\_\_\_\_

Telephone No: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by LH

White-Plan Review / Yellow-Applicant / Pink-Permit Division  
\*:\Operations\Updated forms\transmit.frm - Rev. 04/2014

INV # 546250

CK # 5713

PER APPLICANT REQUEST

## Bernard, Dana

---

**From:** John Patrick Chalk <jpcarchitects@verizon.net>  
**Sent:** Friday, May 04, 2018 12:44 PM  
**To:** Bernard, Dana  
**Subject:** RE: 3654 Sharp Road

Hi,  
The client is reconsidering the scope of the project due to budget considerations. Once we settle on the size of the project (reduce size), then we will most likely be resubmitting a completely new set of plans.

Thanks,  
John

**From:** Bernard, Dana <dbernard@howardcountymd.gov>  
**Sent:** Friday, May 04, 2018 10:27 AM  
**To:** JPCARCHITECTS@VERIZON.NET  
**Subject:** FW: 3654 Sharp Road

**From:** Bernard, Dana  
**Sent:** Friday, May 04, 2018 10:27 AM  
**To:** Bernard, Dana  
**Subject:** RE: 3654 Sharp Road

Good Morning Mr. Chalk,

I have received a revised plot plan for your project. However, Your plan is still under review until the previous requests are addressed. If you have any questions don't hesitate to give me a call.

Dana Bernard

**From:** Bernard, Dana  
**Sent:** Tuesday, April 03, 2018 11:54 AM  
**To:** 'JPCARCHITECTS@VERIZON.NET'  
**Subject:** 3654 Sharp Road

Mr. Chalk,

I am contacting you in regards to Building Permit # B18000549. In order to move forward with your building permit we will need an upgrade for your system. You currently have 3 bedrooms and a 1000 gallon tank which is currently sufficient. However, the addition would increase the number of bedrooms and your current system cannot accommodate this addition. A 1500 gallon tank will be needed to accommodate the 4<sup>th</sup> bedroom along with an increase in the length of your trenches. If you have any additional questions don't hesitate to e-mail me or give me a call.

Thank you & Have a\*""  
,,,'\*""),,,'\*""  
(,,,'(,,,'\*,,,' Day !

Dana Bernard, R.E.H.S./L.E.H.S.  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Tel: (410) 312-2775

## Bernard, Dana

---

**From:** Bernard, Dana  
**Sent:** Tuesday, April 03, 2018 11:54 AM  
**To:** 'JPCARCHITECTS@VERIZON.NET'  
**Subject:** 3654 Sharp Road

Mr. Chalk,

I am contacting you in regards to Building Permit # B18000549. In order to move forward with your building permit we will need an upgrade for your system. You currently have 3 bedrooms and a 1000 gallon tank which is currently sufficient. However, the addition would increase the number of bedrooms and your current system cannot accommodate this addition. A 1500 gallon tank will be needed to accommodate the 4<sup>th</sup> bedroom along with an increase in the length of your trenches. If you have any additional questions don't hesitate to e-mail me or give me a call.

Thank you & Have a\*~)  
,,,',,,\*~),,,,\*~)  
(,,,'(,,,'\* W H A P E Day !

Dana Bernard, R.E.H.S./L.E.H.S.  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)