

PERMIT NUMBER: B 22004552

DATE ACCEPTED: 12/16/2022



## RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
[www.howardcountymd.gov](http://www.howardcountymd.gov)

## BUILDING SITE ADDRESS REQUIRED

Street Address: 10601 Reynolds Court		Unit:
City: Ellicott City	State: MD	Zip Code: 21042
Subdivision/Village/Complex Name: Kings Forest		SDP/WP/BA #:
Lot: 14	Tax Map:	Parcel:
Grading Permit #:		

## DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
New 2 story "Kalorama" Fairview elev, with 2 car garage and 2 car side attached garage, multi-gen suite, Grand multi-gen suite, Expanded closet option and unfinished lower level		

## PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Toll Mid Atlantic Lp. Co. Inc. Contact: Summer Riley		Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 250 Gibraltar Road		
City: Horsham	State: PA	Zip Code: 19044
Phone: (410) 872-9105	Email: sriley1@tollbrothers.com	

## APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services		Contact Name: Jim Kerwin
Street Address: PO Box 552		
City: Woodbine	State: MD	Zip Code: 21797
Phone: (410) 309-7792	Email: jim@decaturbuildingservices.com	

## CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers		Contact Name: Summer Riley
Licensee's Name: Toll Mid Atlantic Lp. Co. Inc.		License #: 8220
Street Address: 6731 Columbia Gateway Drive, Suite 120		
City: Columbia	State: MD	Zip Code: 21046
Phone: (410) 872-9105	Email: sriley1@tollbrothers.com	

## ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	RECEIVED	Name:	RECEIVED
Street Address:			
City:	DEC 16 2022	State:	Zip Code:
Phone:	Email:		DEC 16 2022

## BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	DIVISION Yes <input type="checkbox"/> No <input type="checkbox"/>	
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

## ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Kalorama" Fairview elev (2) 2 car garages, multi-gen + Grand multi-gen suite, Exp closet, U/L				
# of Bedrooms (SF): 6	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 14	# Full Baths: 6	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				

Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial					
Width: 104	1 <sup>st</sup> Fl Depth: 81	2 <sup>nd</sup> Fl Width: 67	2 <sup>nd</sup> Fl Depth: 63	Bsmt Width: 82	Bsmt Depth: 81
Method: <input type="checkbox"/> Prescriptive <input checked="" type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 11,229 sq ft	Occupiable Area: 10,885 sq ft		

## STATEMENT/DISCLAIMER REQUIRED

I HEREBY CERTIFY AND AGREE AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

## FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

## AGENCIES REQUIRED/APPROVALS:

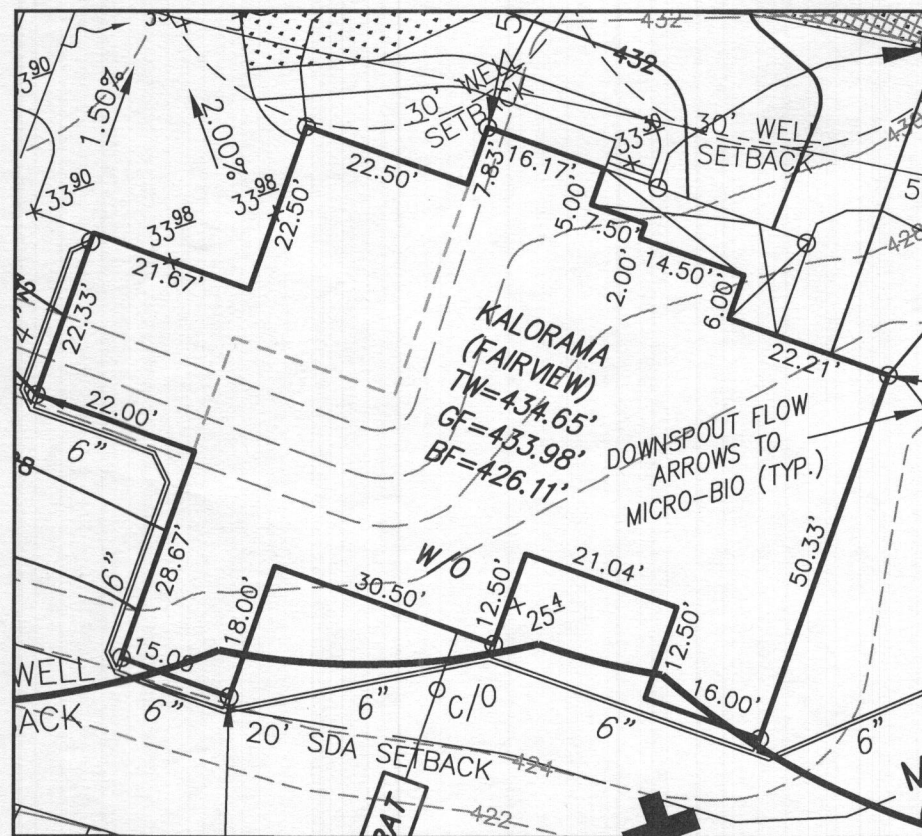
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> SHA	<input checked="" type="checkbox"/> CID
SUBMITTAL FEES: \$150.00		PAYMENT: Toll # 00206215		ACCEPTED BY: ?	



LEGEND:

- BRL BUILDING RESTRICTION LINE  
W WELL LOCATION  
T.W. TOP OF WALL  
G.F. GARAGE FLOOR  
B.F. BASEMENT FLOOR  
P.P. PASSED PERC LOCATION  
F.P. FAILED PERC LOCATION  
SDA SEWAGE DISPOSAL AREA  
WBA WELL BOX AREA  
SILT FENCE  
SUPER SILT FENCE  
L.D. LIMITS OF DISTURBANCE  
P.T. PROPOSED TREE  
SCE STONE CONSTRUCTION ENTRANCE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 32,379 SQ. FT.



HOUSE ENLARGEMENT  
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN  
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

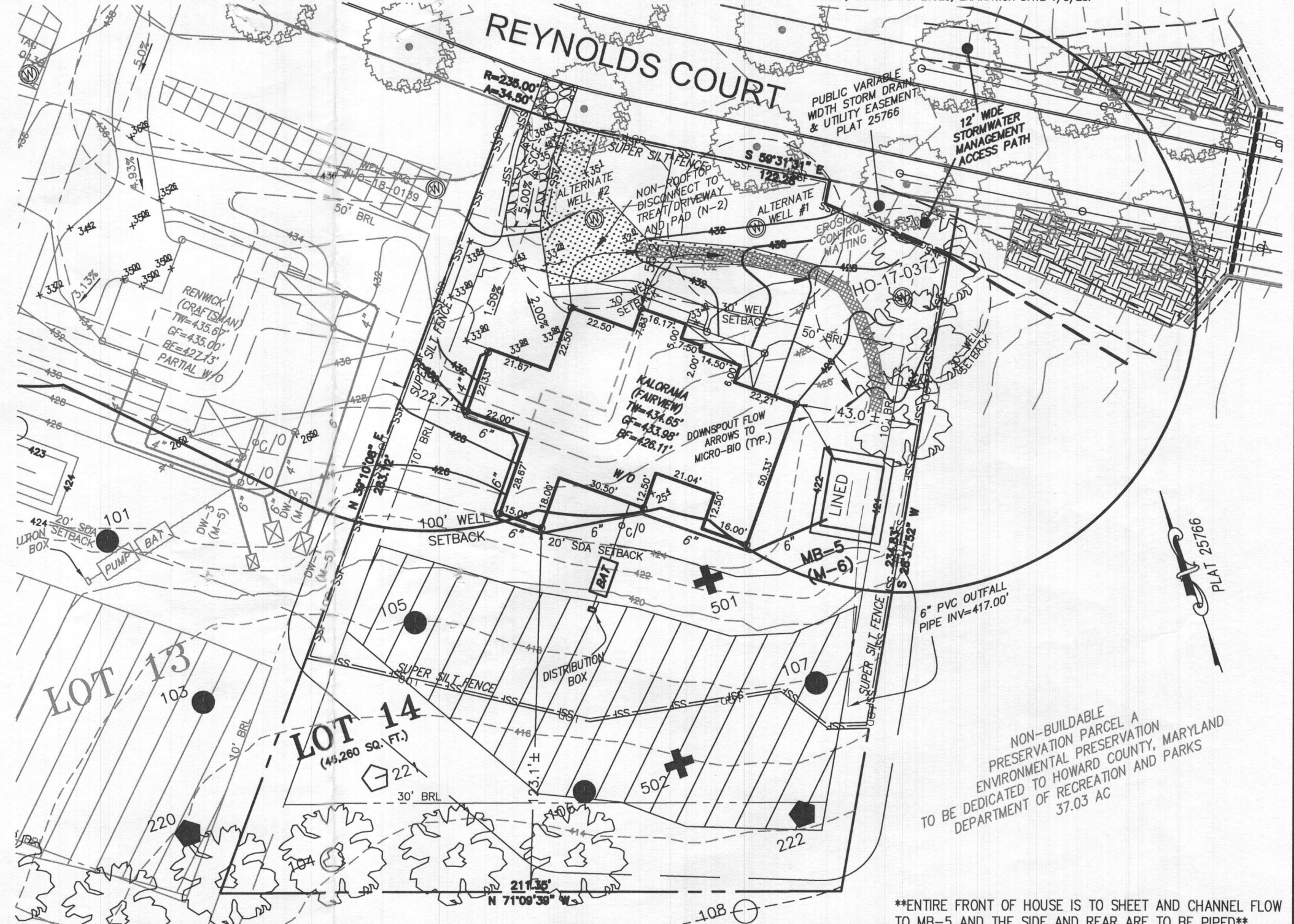
HOUSE TYPE: KALORAMA (FAIRVIEW)

TWO CAR SIDE ENTRY GARAGE  
WALK-OUT BASEMENT  
ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
MULTI GEN SUITE ADDITION  
GRAND MULTI GEN SUITE ADDITION  
EXPANDED CLOSET  
ALTERNATE KITCHEN ISLAND DESIGN  
DOUBLE WIDE DRIVEWAY TAIL (MODIFIED)

OPTION No. 012  
OPTION No. 017  
OPTION No. 263019  
OPTION No. 263073  
OPTION No. 263075  
OPTION No. 263111  
OPTION No. 263149  
OPTION No. 851

WELL NUMBER: HO-17-0371

ADDRESS: 10601 REYNOLDS COURT  
ELLICOTT CITY, MD 21042



\*\*ENTIRE FRONT OF HOUSE IS TO SHEET AND CHANNEL FLOW  
TO MB-5 AND THE SIDE AND REAR ARE TO BE PIPED\*\*



PLOT PLAN  
LOT 14  
KINGS FOREST  
LIBER 20039, FOLIO 212  
PLAT NO. 25766  
2nd ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046  
T: 410-872-9105

DATE: 12/07/2022

SCALE: 1" = 40'

FILE: PP LOT 14 - KALORAMA FAIR.

CHK'D: M.J.B.

JOB NO: 3502

DRAWN: R.C.K.



# GENERAL PLAN NOTES

- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

Health  
Dept

10601

REYNOLDS  
COURT

LOT 14

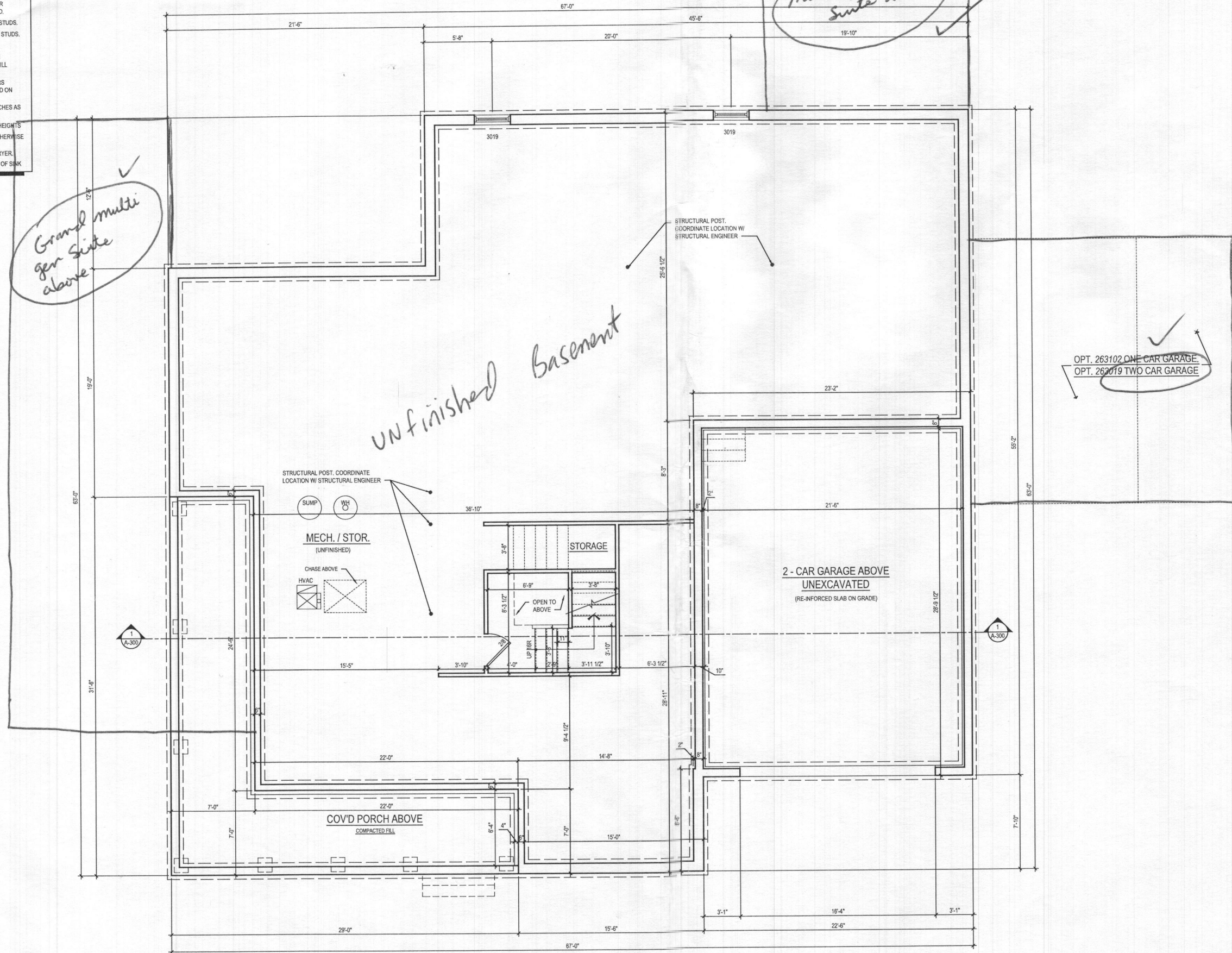
Kings  
Forest

Grand multi  
gen suite  
above

Multi-gen  
suite above

Unfinished  
Basement

OPT. 263102 ONE CAR GARAGE  
OPT. 263019 TWO CAR GARAGE



1 BASEMENT PLAN  
A-100 SCALE: 1/4"=1'-0"  
TOL019C\_A100.dwg

@ ELEV. 1 - CRAFTSMAN  
UNFINISHED BASEMENT

see "Fairview" elev pages

ARCHITECT:

lessard  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

TOLL BROTHERS

19775 BELMONT EXECUTIVE PLAZA  
SUITE 250  
ASHBURN, VA 20147  
P: 571.291.8068  
F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

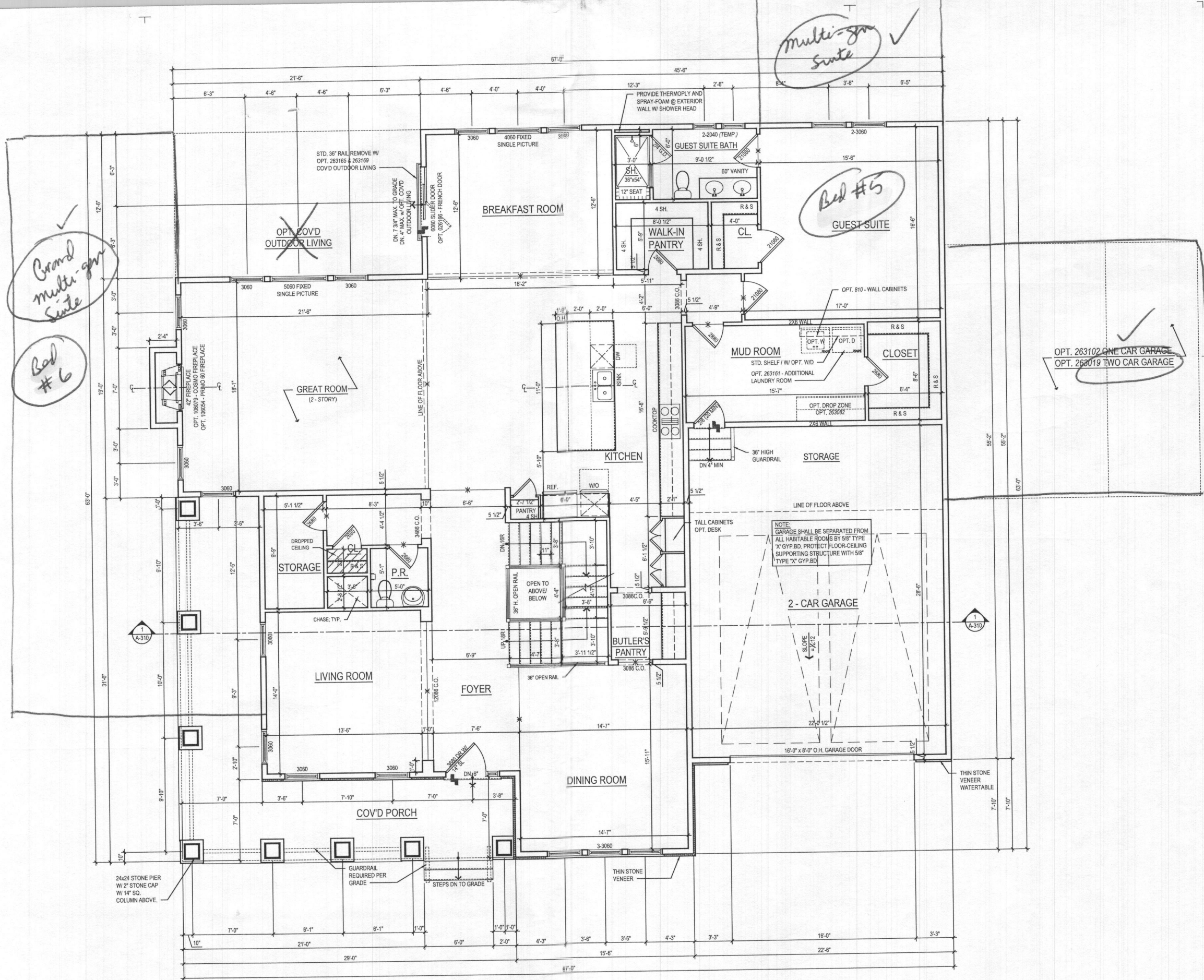
PROJECT No: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 17, 2020  
FILE NAME: TOL019C\_A100.dwg

A-100



# GENERAL PLAN NOTES

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- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



1 FIRST FLOOR PLAN  
A-110 SCALE: 1/4"=1'-0"  
TOL019C\_A110.DWG

@ ELEV. 1 - CRAFTSMAN  
2,766.3 SQ. FT.

See "Fairview" elev Pages

shown

ARCHITECT:

**lessard**  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

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CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

PROJECT NAME: KALORAMA

SHEET TITLE: FLOOR PLANS

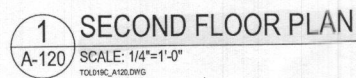
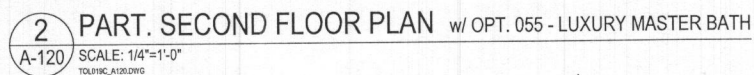
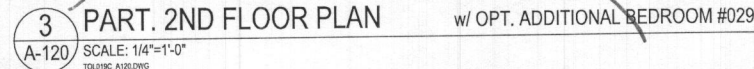
ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

PROJECT NO: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019C\_A110.dwg

**A-110**



- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
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- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" CYRUSUM B.B.D.
- G. ALL WINDOW SIZES ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK



@ ELEV. 1 - CRAFTSMAN

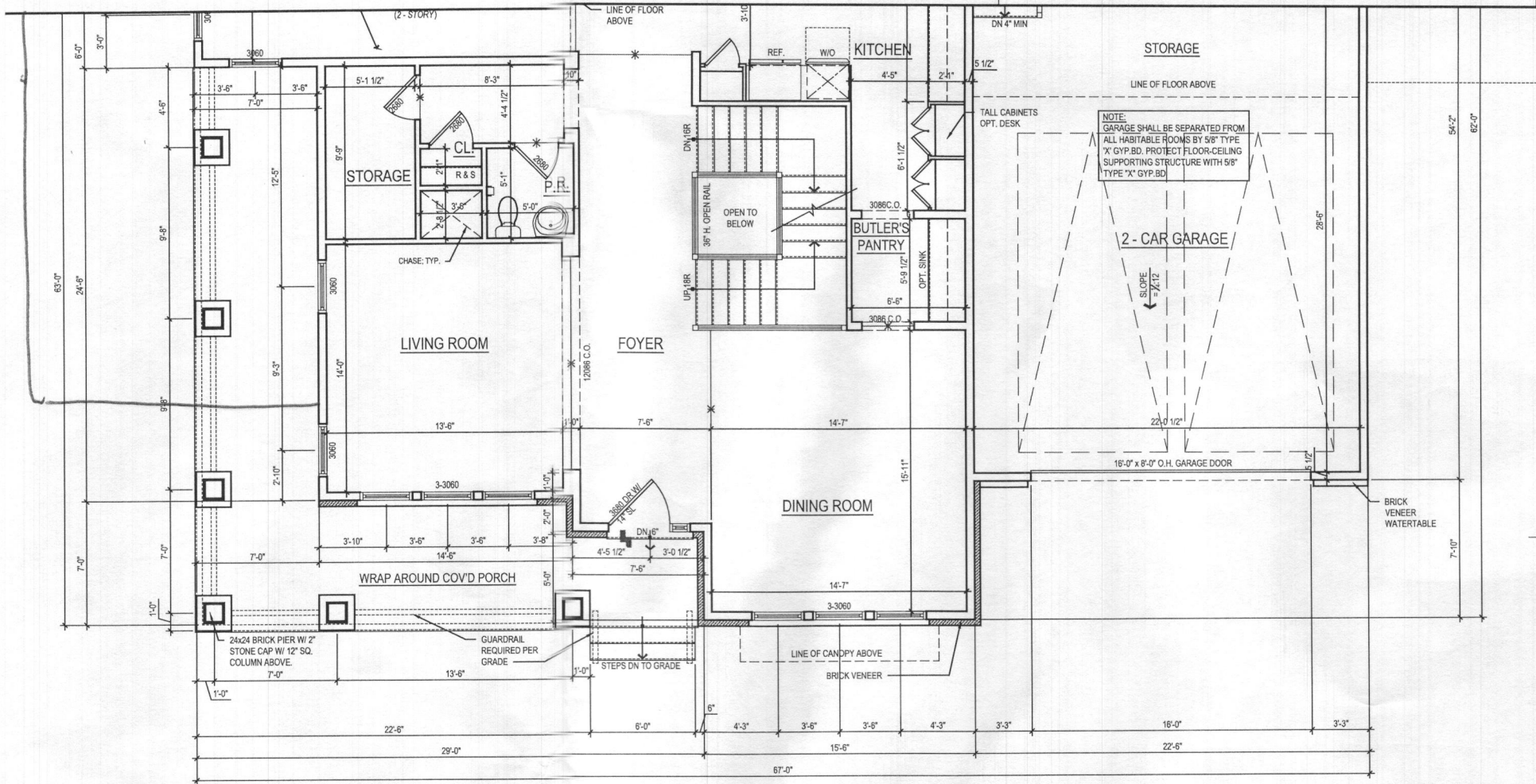
See "Fairview" elev. pages

A-120



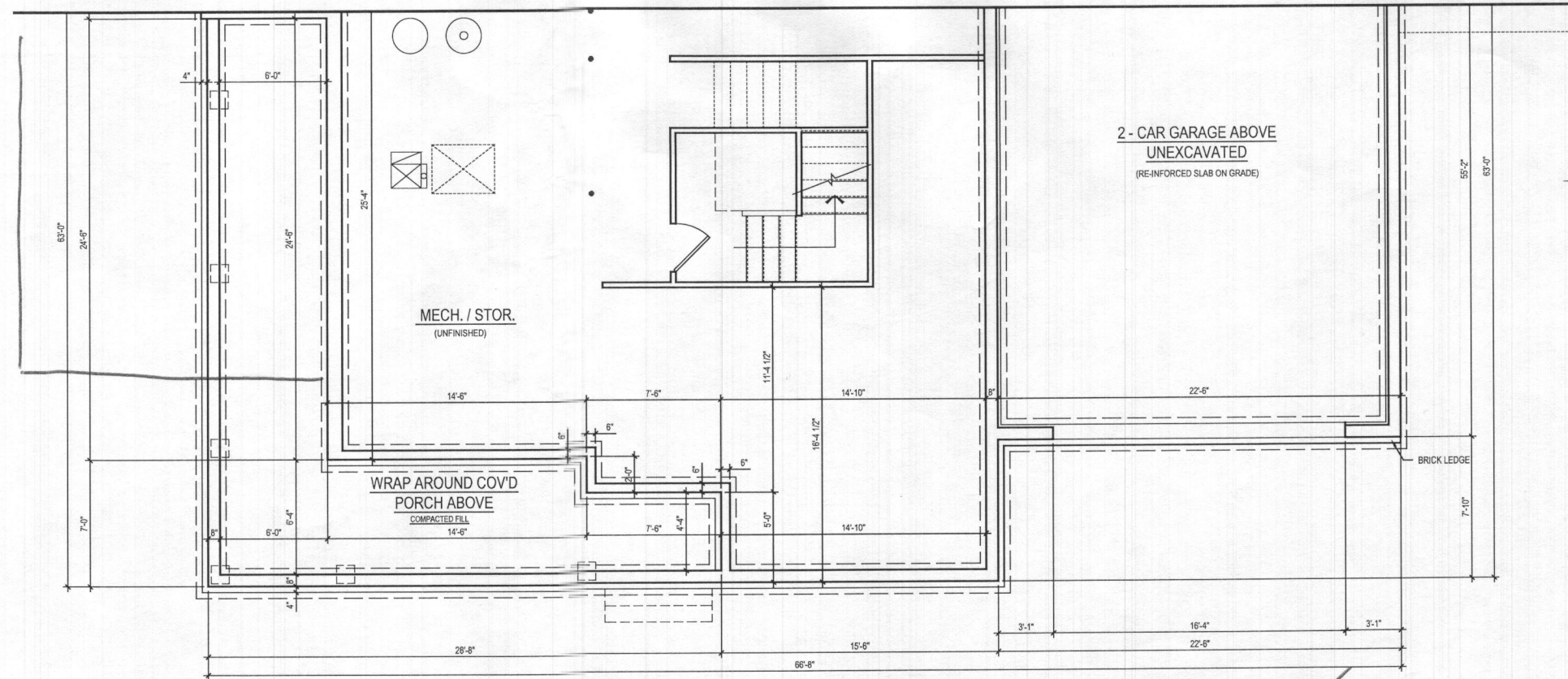
# GENERAL PLAN NOTES

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2 PART. FIRST FLOOR PLAN  
A-170 SCALE: 1/4"=1'-0"  
TOL019C\_A170.DWG

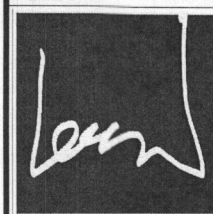
@ ELEV. 5 - FAIRVIEW  
2,781.3 SQ. FT.



1 PART. BASEMENT FLOOR PLAN  
A-170 SCALE: 1/4"=1'-0"  
TOL019C\_A170.DWG

@ ELEV. 5 - FAIRVIEW

ARCHITECT:



lessard  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

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ASHBURN, VA 20147  
P: 571.291.8068  
F: 703.322.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

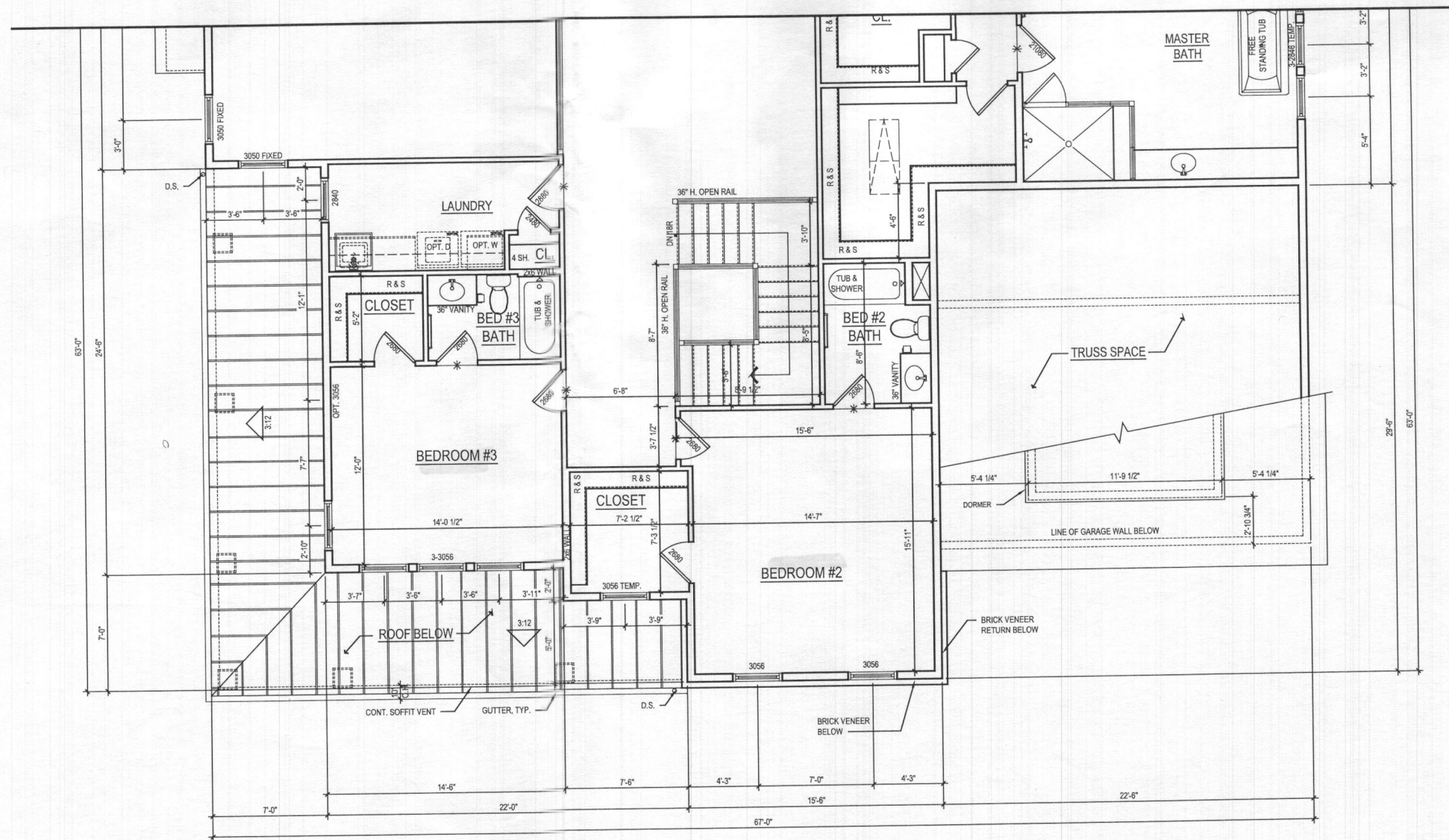
PROJECT No: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019C\_A170.dwg

A-170



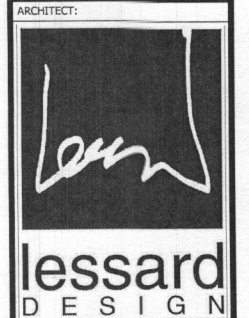
## GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



1 PART. SECOND FLOOR PLAN  
A-171 SCALE: 1/4"=1'-0"  
TOL019c\_A171.dwg

@ ELEV. 5 - FAIRVIEW  
2,423.8 SQ. FT.



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CLEMLEY@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	RID SET	09.30.20
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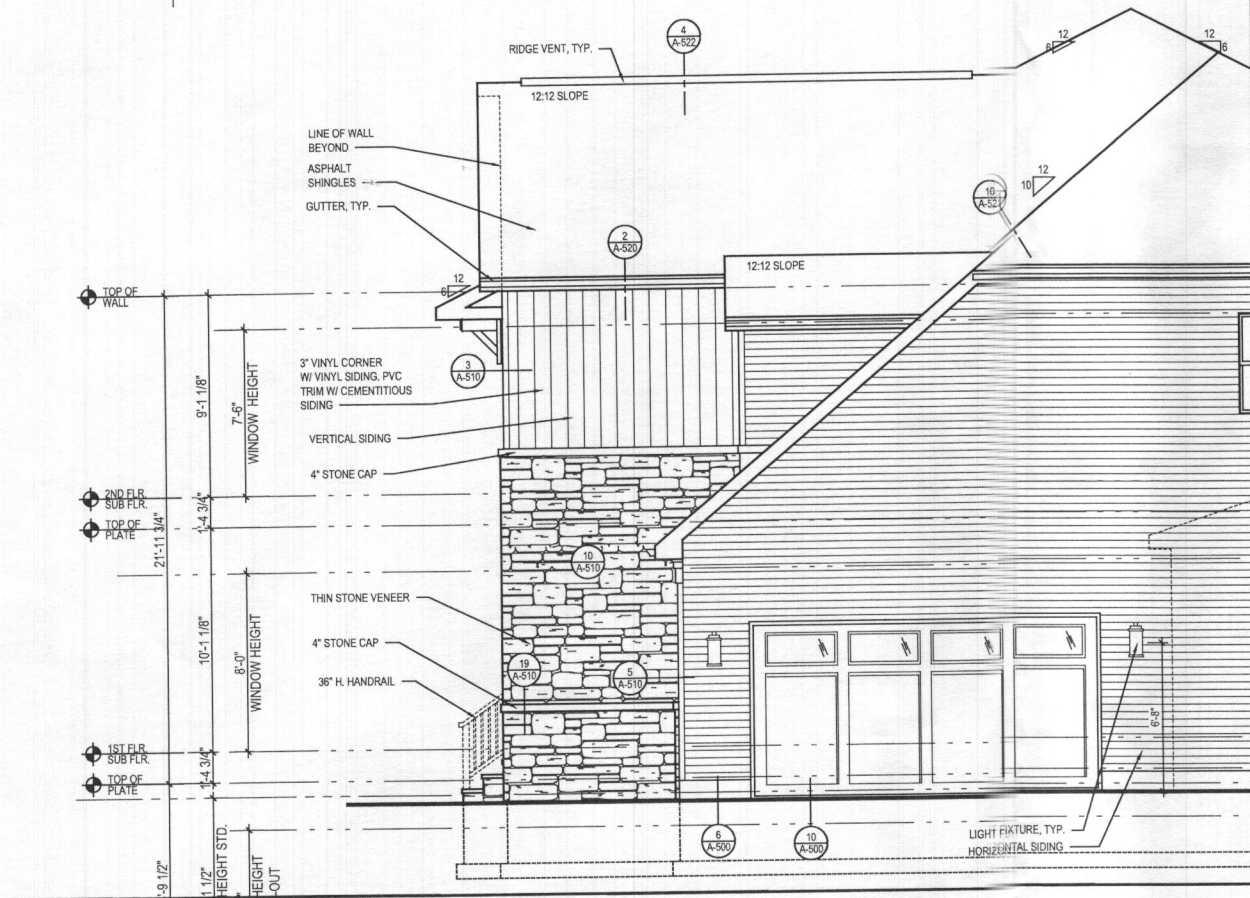
PROJECT NO: TOL019c  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019c\_A171.dwg

A-171



# GENERAL PLAN NOTES

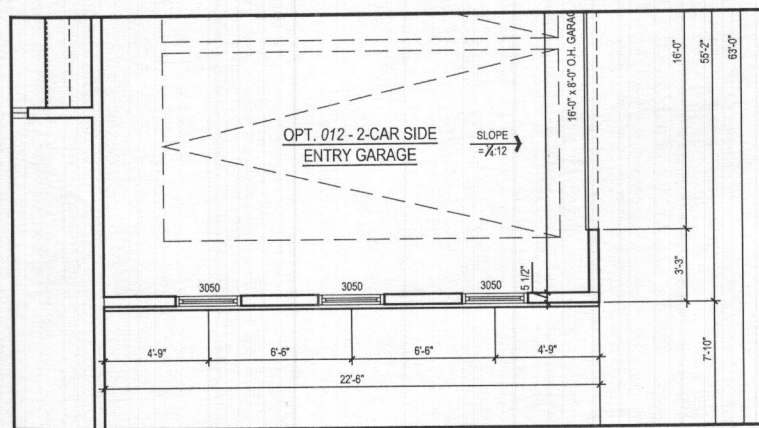
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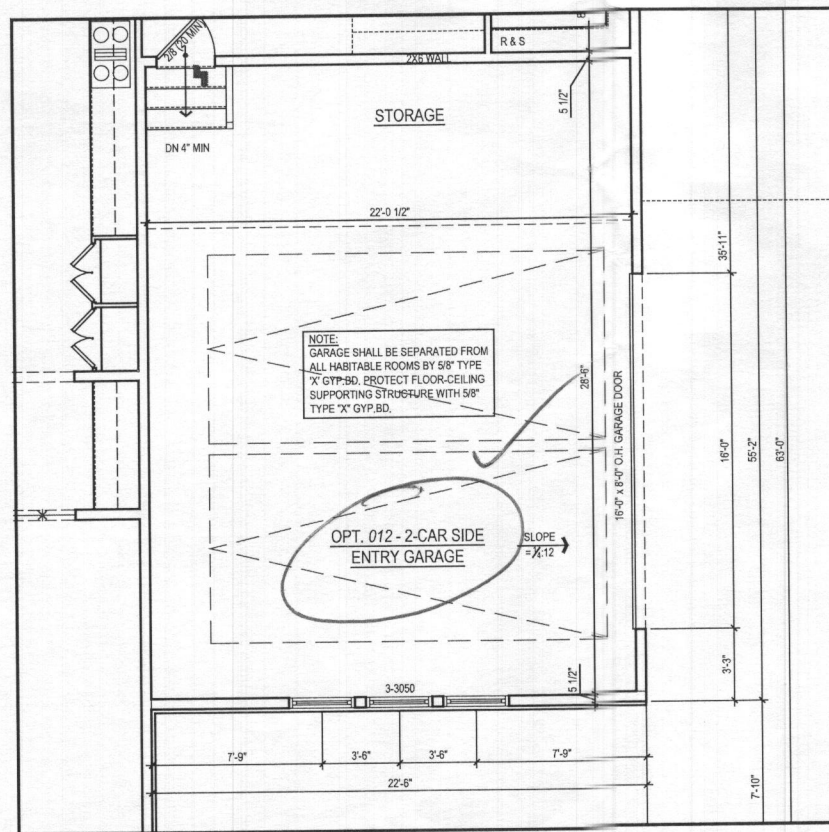
**4 PART. RIGHT SIDE ELEVATION** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL019C\_A400.DWG CRAFTSMAN



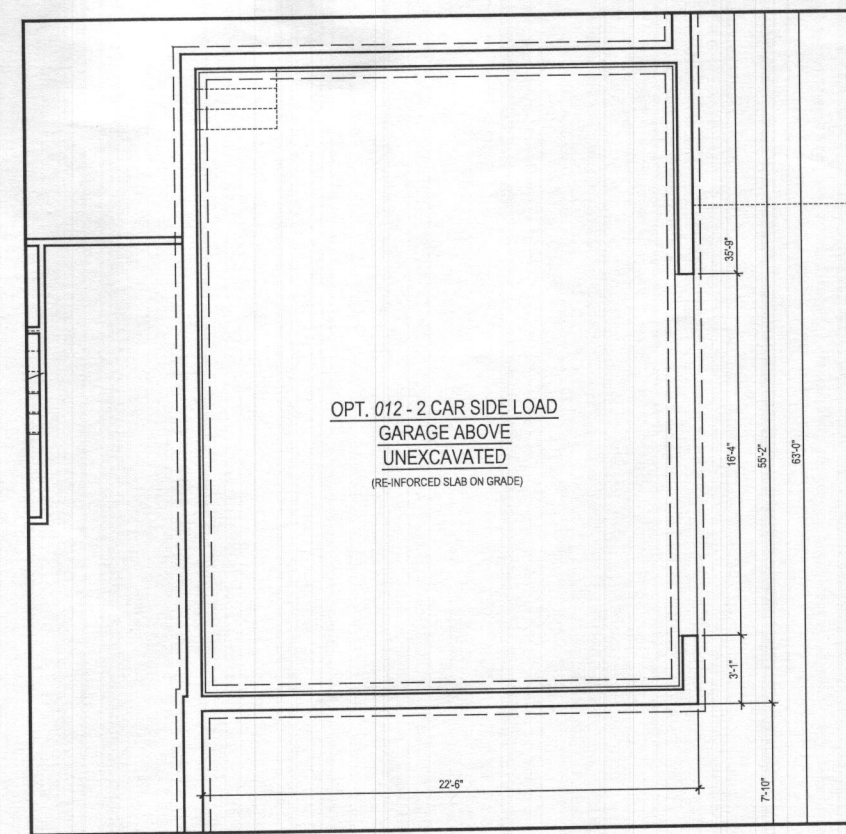
**3 PART. FRONT ELEVATION** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL019C\_A400.DWG CRAFTSMAN



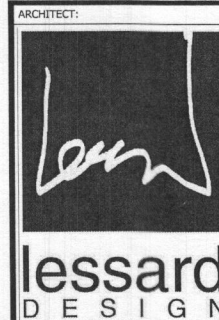
**2a PART. FIRST FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL019C\_A400.DWG MODERN FARMHOUSE, TRADITIONAL, FAIRVIEW



**2 PART. FIRST FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL019C\_A400.DWG CRAFTSMAN



**1 PART. BASEMENT FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL019C\_A400.DWG @ ALL ELEV.



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SEAL & SIGNATURE:

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P: 571.291.8068  
F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

PROJECT NAME:

SHEET TITLE:  
**#012 - TWO CAR SIDE ENTRY GARAGE**  
**ILO STANDARD GARAGE**

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

PROJECT No: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019C\_A400.dwg

**A-400**

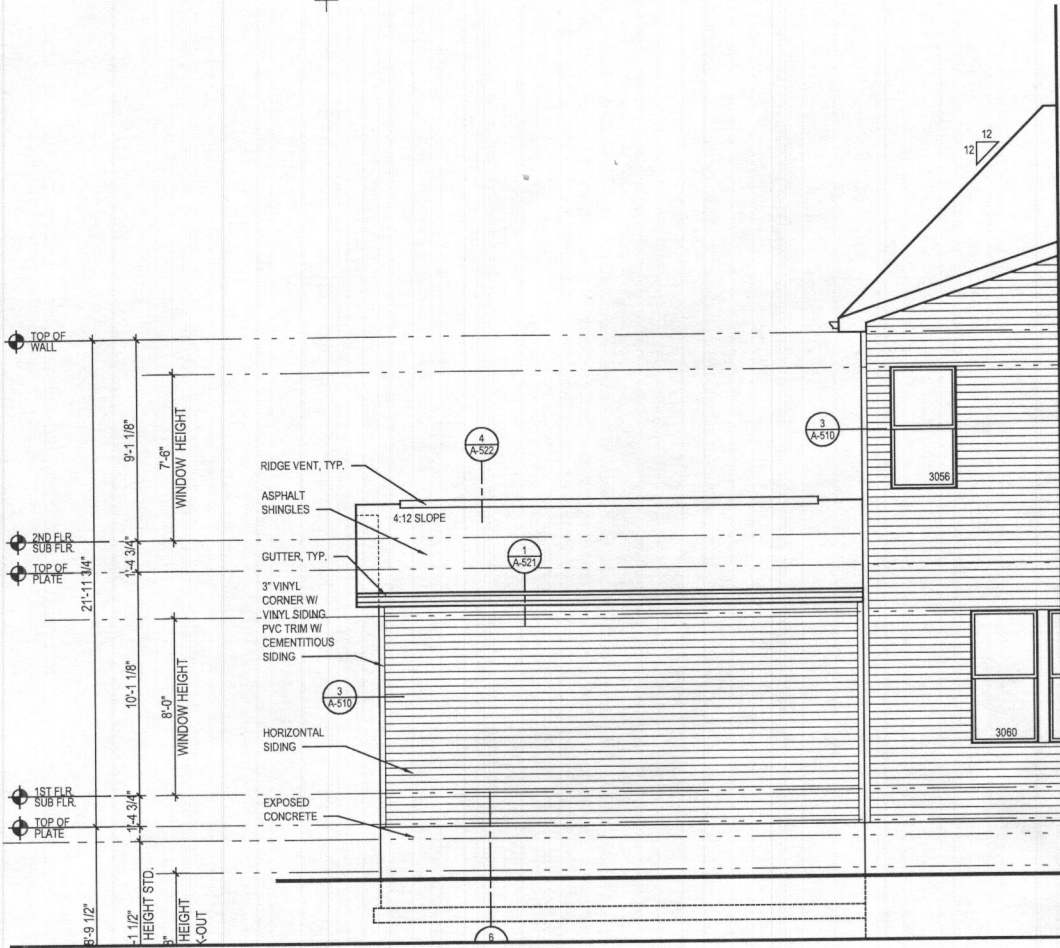


- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - D. ALL DIMENSIONS GOVERN OVER SCALE.
  - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
  - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
  - G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
  - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
  - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
  - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION  
CALCULATIONS - ADDITIONAL  
TWO CAR GARAGE

ROOF AREA	=	484.00 SQ. FT.
/ 300	=	1.61 SQ. FT.
x 12 x 12	=	232.32 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 9 SQ. IN. / FT.)	=	25.81 FT.
SOFFIT VENT - PROVIDED	=	48.00 FT.

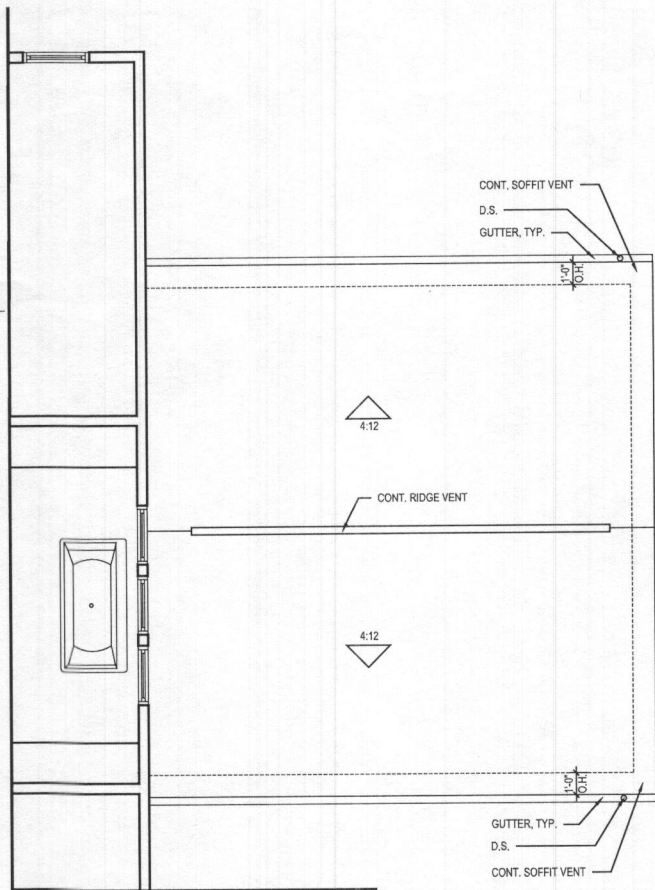
REFER TO A-401 FOR  
SIDE ELEVATION.  
SAME AS ONE CAR  
GARAGE



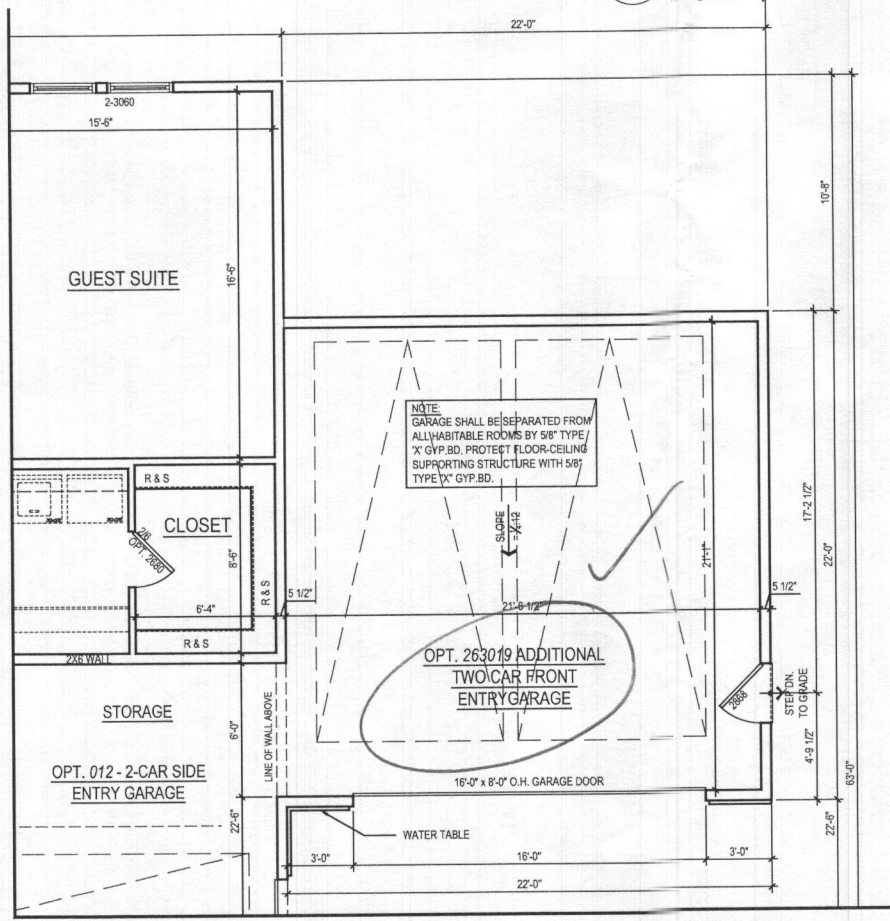
5 PART. REAR ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL1919C\_A404.DWG



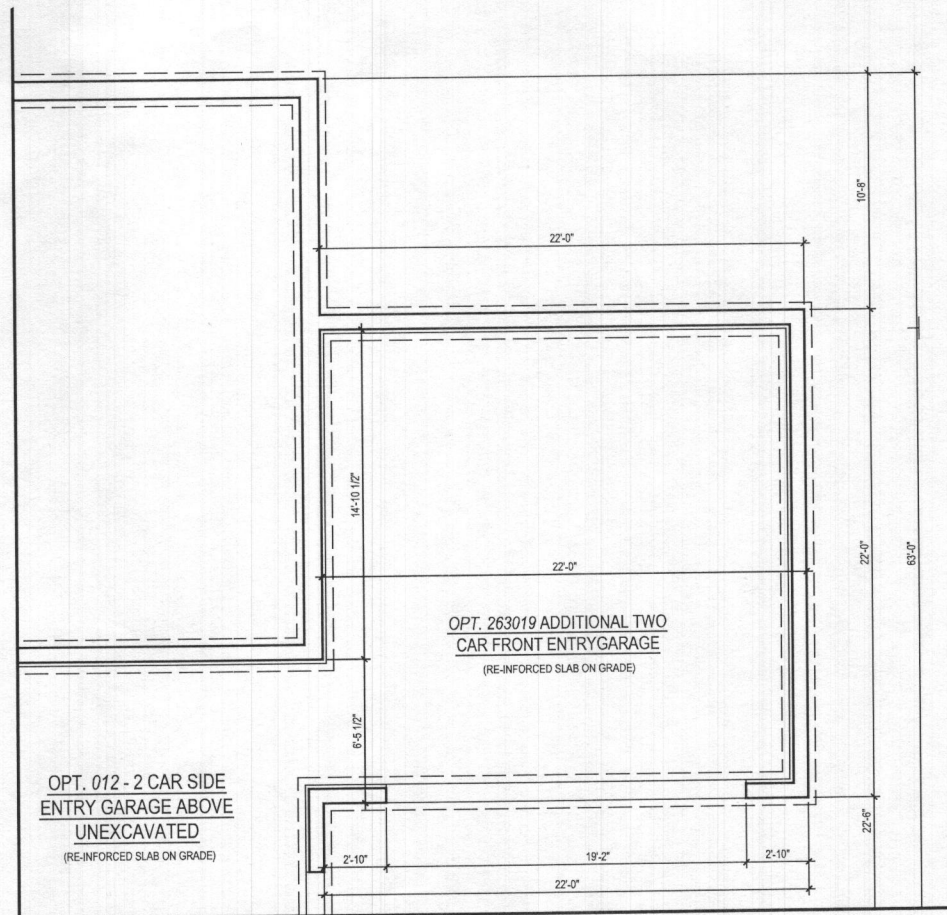
4 PART. FRONT ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL1919C\_A404.DWG



3 P. SECOND FLOOR w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL1919C\_A404.DWG



2 PART. FIRST FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL1919C\_A404.DWG



1 PART. BASEMENT FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
SCALE: 1/4"=1'-0"  
TOL1919C\_A404.DWG

ARCHITECT:  
**lessard**  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

**TOLL BROTHERS**  
19775 BELMONT EXECUTIVE PLAZA  
SUITE 250  
ASHBURN, VA 20147  
P: 571.291.8068  
F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

PROJECT NAME:

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

PROJECT No: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019C\_A404.dwg

A-404

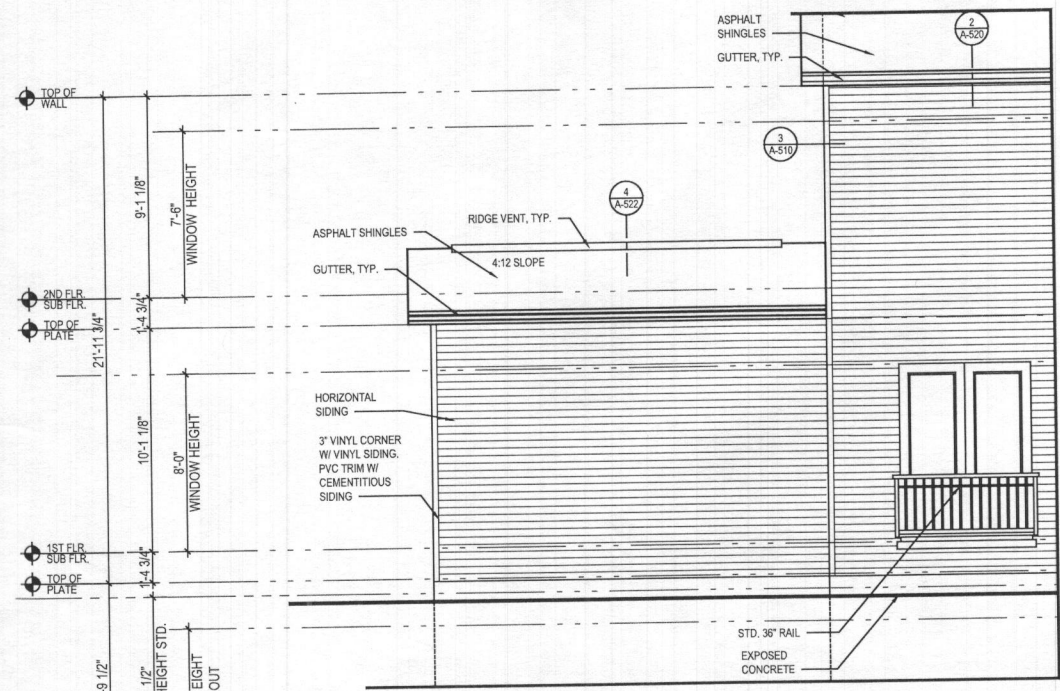


# GENERAL PLAN NOTES

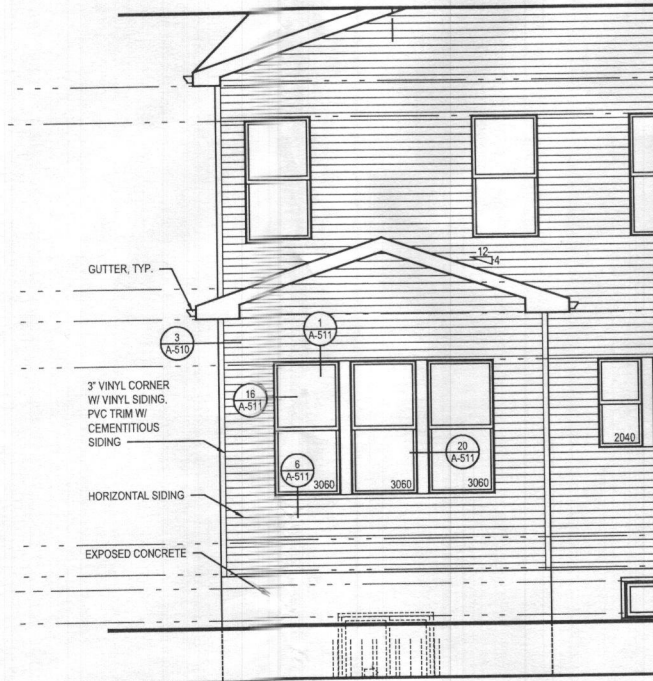
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

## ROOF VENTILATION CALCULATIONS - MULTI GEN. SUITE

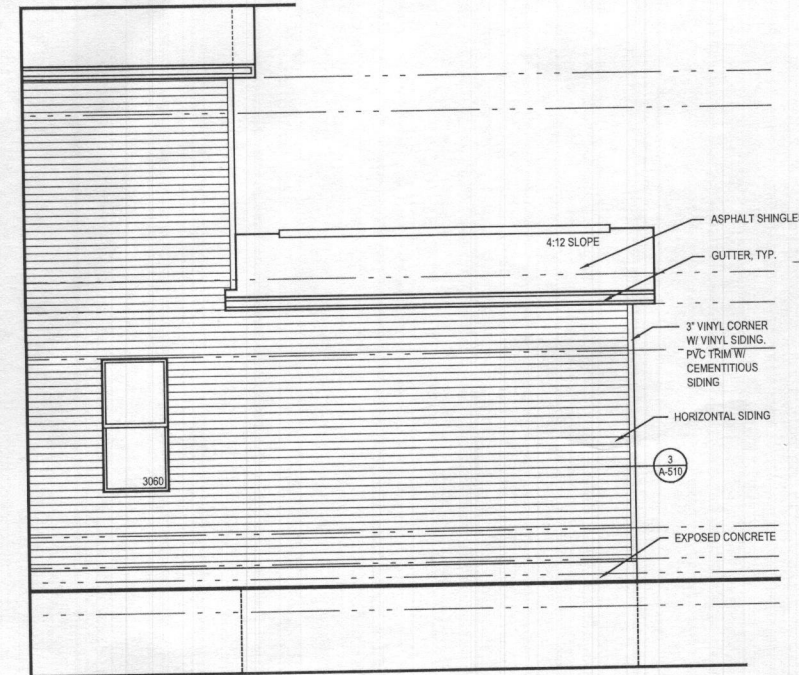
ROOF AREA	=	270.00 SQ. FT.
/ 300	=	0.90 SQ. FT.
x 12 x 12	=	129.60 SQ. IN.
50% (INTAKE)	=	64.80 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 9 SQ. IN. / FT.)	=	7.20 FT.
SOFFIT VENT - PROVIDED	=	38.00 FT.
50% (OUTTAKE)	=	64.80 SQ. IN.
RIDGE VENT - REQUIRED (OUTTAKE @ 14.1 SQ. IN. / FT.)	=	4.60 FT.
RIDGE VENT - PROVIDED	=	15.00 FT.



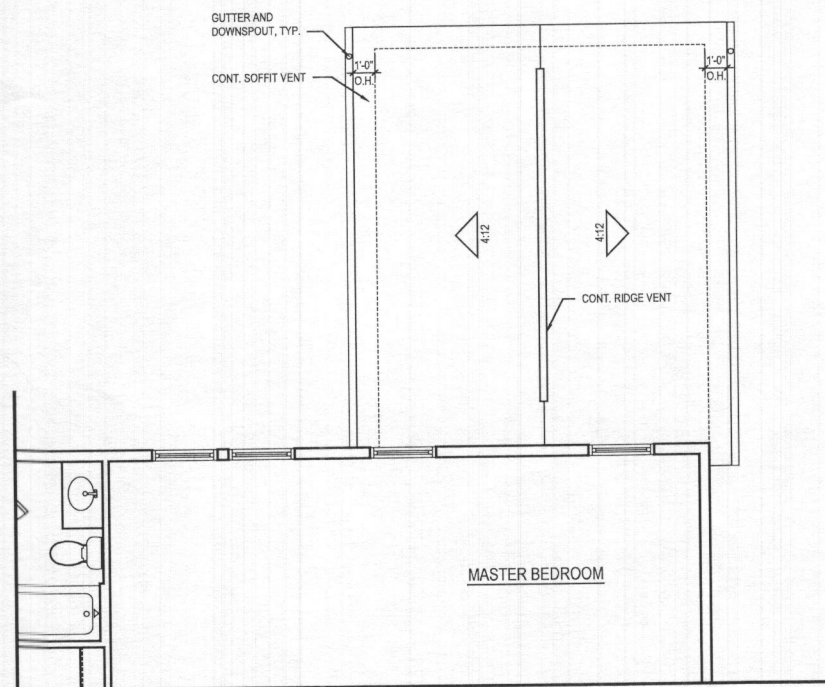
**6 PART. LEFT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG



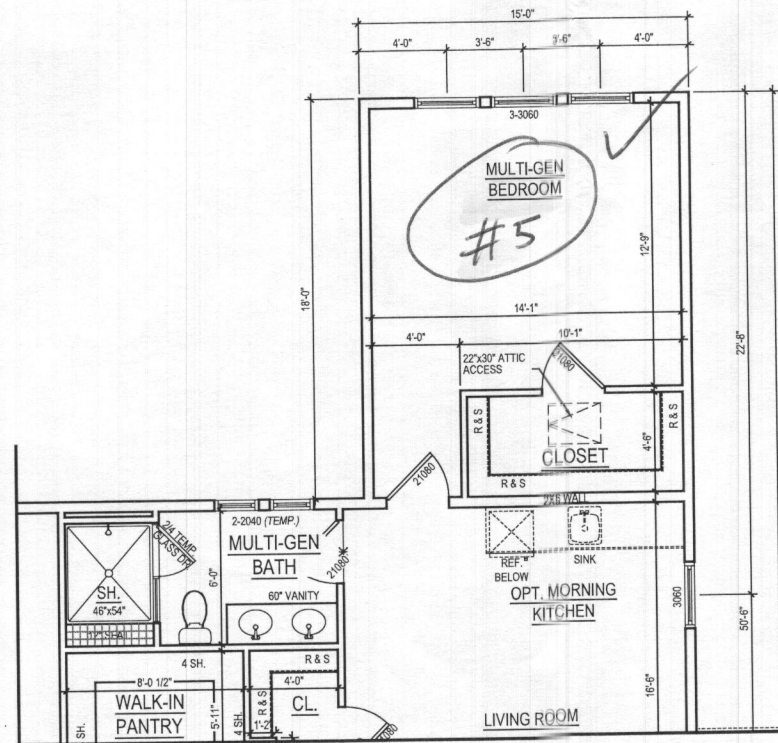
**5 PART. REAR ELEVATION w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG



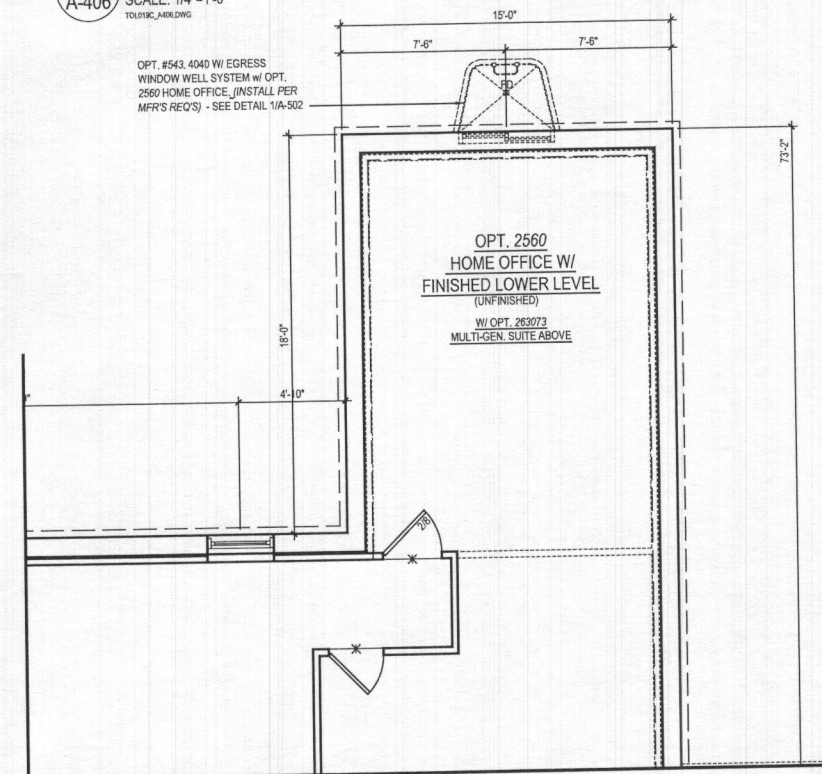
**4 PART. RIGHT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG



**3 PART. 2ND FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG



**2 PART. 1ST FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG



**1 PART. BASEMENT FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
A-406 SCALE: 1/4"=1'-0"  
TOL019C\_A406.DWG

SEAL & SIGNATURE:

OWNER:

**TOLL BROTHERS**  
1975 BELMONT EXECUTIVE PLAZA  
SUITE 250  
ASHBURN, VA 20147  
P: 571.291.8068  
F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

**#263073 - MULTI-GEN SUITE  
ADDITIONAL**

PROJECT NAME:

SHEET TITLE:

ISSUE / REVISION

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BID SET	09.30.20
3	WILLOW CREEK PERMIT SET	12.22.20
4	LENAH MILL PERMIT SET	12.22.20

PROJECT No: TOL019C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL019C\_A406.dwg

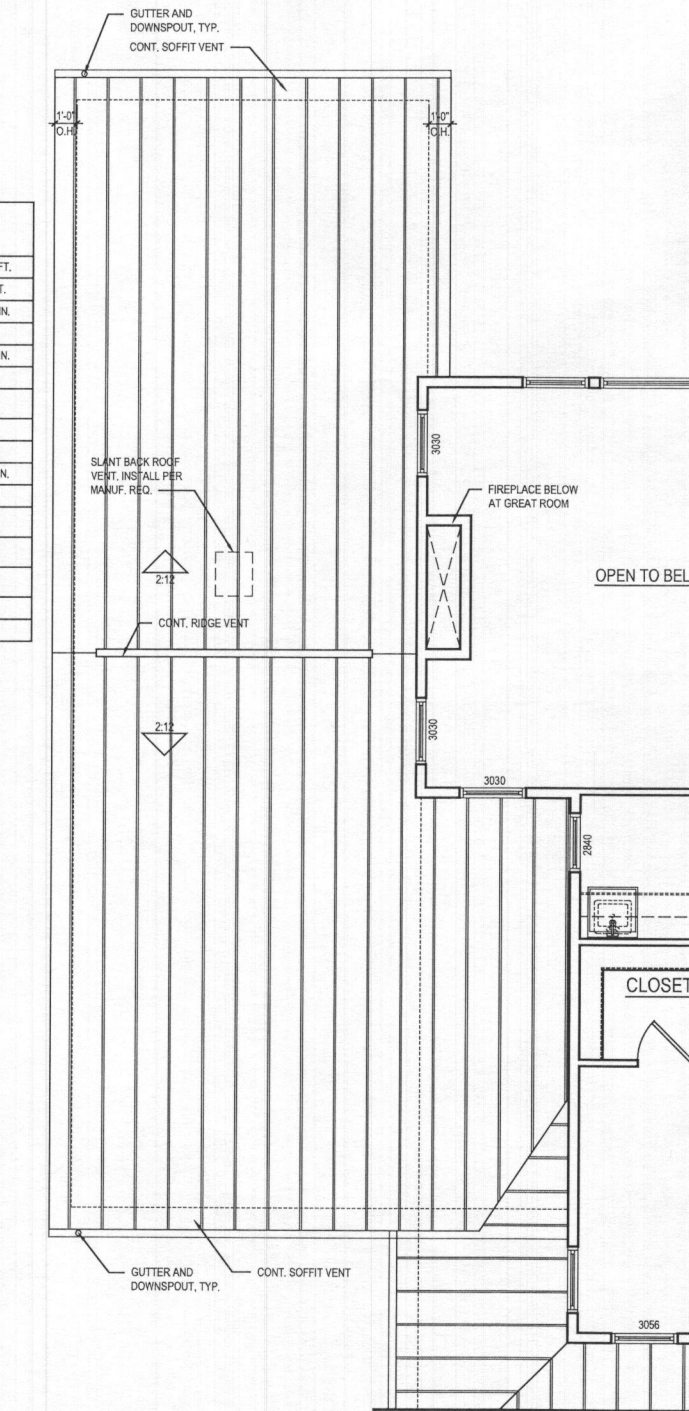
**A-406**



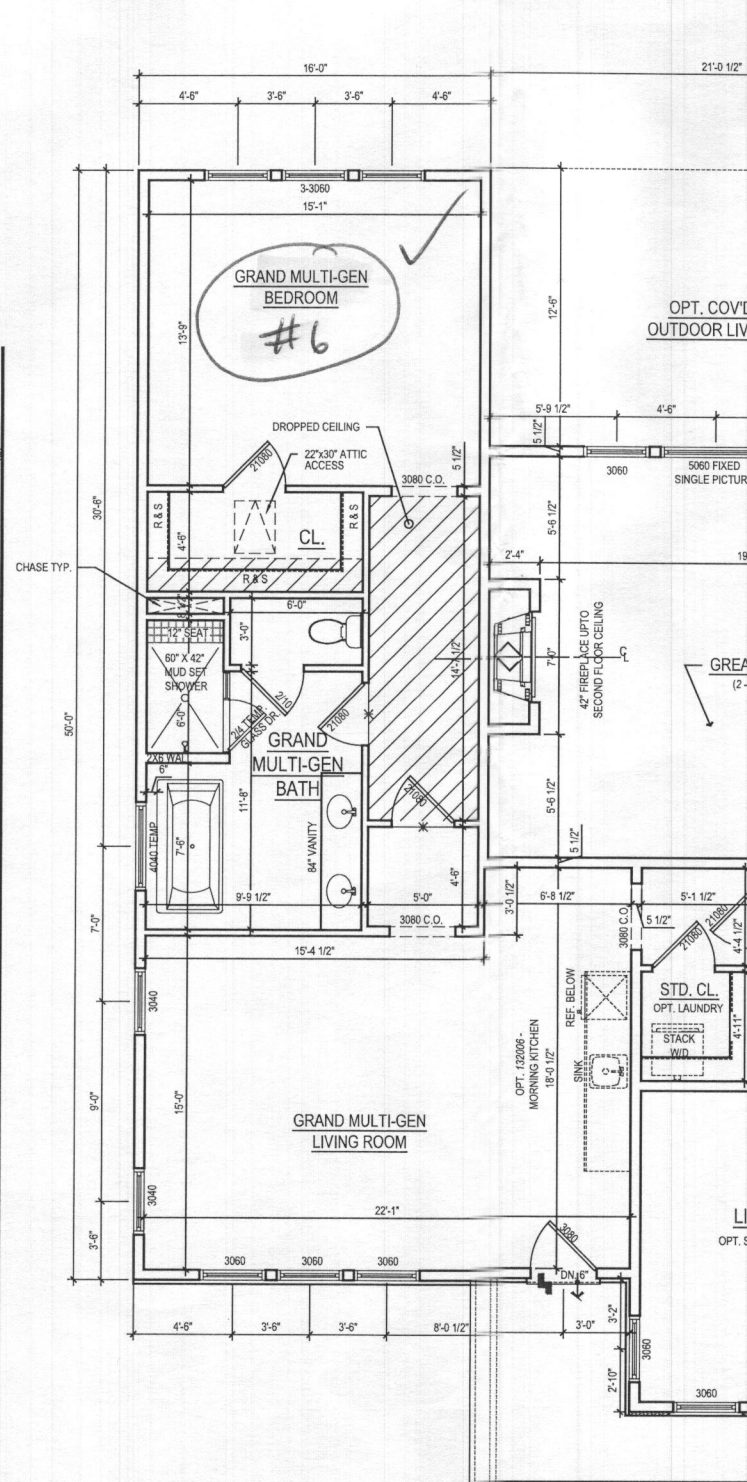
## GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

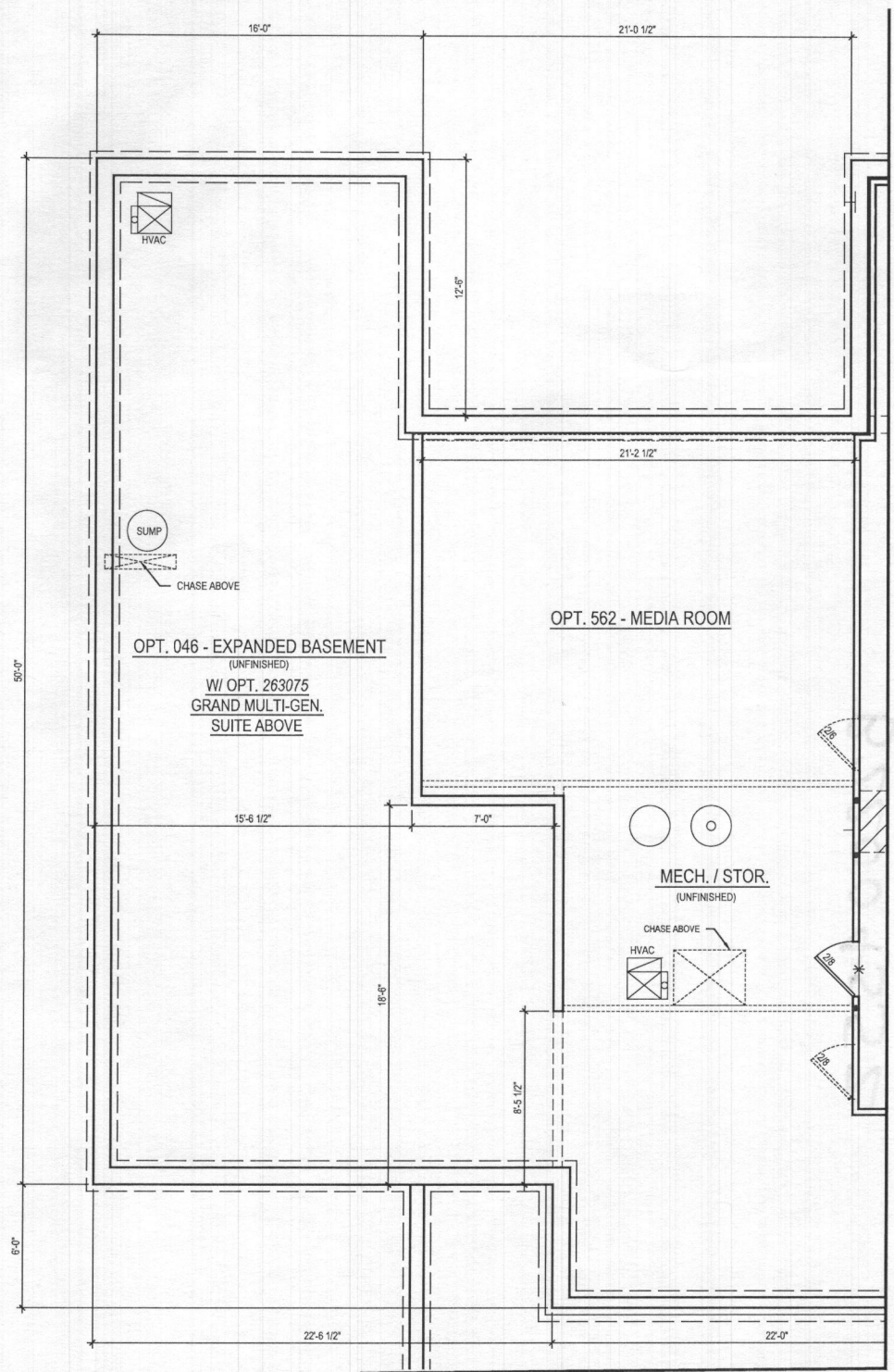
2c PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG



2b PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG



2a PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG



## ROOF VENTILATION CALCULATIONS - MAIN ROOF

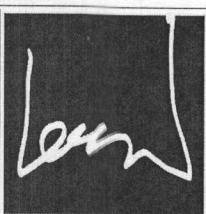
ROOF AREA	=	912.30 SQ. FT.
/ 300	=	3.04 SQ. FT.
x 12 x 12	=	437.91 SQ. IN.
50% (INTAKE)	=	218.95 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 9 SQ. IN. / FT.)	=	24.33FT.
SOFFIT VENT - PROVIDED	=	41.50FT.
50% (OUTTAKE)	=	218.95 SQ. IN.
RIDGE VENT - PROVIDED	=	12.50FT.
@14.1 SQ. IN. / FT.	=	176.25FT.
ROOF VENT PROVIDED	=	1
@50 SQ. IN. / FT.	=	50.00FT.
TOTAL OUTTAKE PROVIDED	=	228.25FT.

3 PART. SECOND FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG

2 PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG

1 PART. BASEMENT FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD.  
A-407 SCALE: 1/4"=1'-0"  
TOL191C\_A407.DWG

ARCHITECT:



lessard  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
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P: 571.291.8068  
F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA

PROJECT NAME:

#263075 - GRAND MULTI-GEN SUITE  
ADDITION

NO.	DESCRIPTION	DATE
01	DESIGN DEVELOPMENT	03.23.20
02	BID SET	09.30.20
03	WILLOW CREEK PERMIT SET	12.22.20
04	LENAH MILL PERMIT SET	12.22.20

PROJECT No: TOL191C  
DRAWN BY: AC & AN  
CHECKED BY: RN & AP  
PLOT DATE: Dec. 16, 2020  
FILE NAME: TOL191C\_A407.dwg

A-407