

PERMIT NUMBER: B 21003350 . DATE ACCEPTED: 9/7/2021



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 10528 Pudding Ln		Unit:
City: Ellicott City	State: MD	Zip Code: 21042
Subdivision/Village/Complex Name: Kings Forest		SDP/WP/BA #:
Lot: 21	Tax Map:	Parcel:
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): ☐ Mechanical (HVACR) ☐ Electrical ☐ Plumbing ☐ None		
New 2 Story "Rennick" Fairview elev. with 2 car garage, 1 car side attached garage, living covered deck and finished lower level (see plans and bathroom)		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Tall Mid Atlantic Lp Co Inc.		Primary Residence: ☐ Yes ☒ No
Owner's Street Address: 250 Gibraltar Rd. Contact: Summer Riley		
City: Harsham	State: PA	Zip Code: 19044
Phone: 410-872-9105	Email: sriley1@tallbrothers.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decorative Building Services		Contact Name: Jim Keenan
Street Address: Box 552		
City: Woodbine	State: MD	Zip Code: 21797
Phone: 410-309-7792	Email: jim@decorativebuildingservices.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: Tall Brothers		Contact: Summer Riley
Licensee's Name: Tall Mid Atlantic Lp Co Inc		License #: 8220
Street Address: 7104 Columbia Gateway Dr Ste 230		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410-872-9105	Email: sriley1@tallbrothers.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:		Name:
Street Address:		
City:	State:	Zip Code:
Phone:	Email:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: ☒ SF Dwelling ☐ SF Townhouse ☐ SF Duplex ☐ Mobile Home ☐ Multi-Family Dwelling (MF*)		Condo: ☐ Yes ☒ No
Utilities: ☒ Electric ☒ Gas	Water Supply: ☐ Public ☐ Private (Well)	Sewage Disposal: ☐ Public ☒ Private (Septic)
Heating System: ☐ Electric ☐ Natural Gas ☐ Propane ☐ Other:		Roadside Tree Project: ☐ No ☐ Yes: #
Sprinkler System: ☐ NFPA 13 ☐ NFPA 13R ☒ NFPA 13D ☐ None		Fire Alarm System: ☐ Yes ☒ No ☐ Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Rennick" Fairview elev. 2 car + 1 car garage, living covered deck and finished lower level					
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):	
# Rooms: 11	# Full Baths: 4	# Half Baths: 1	# Fireplaces: 1		
Garage/Carport Info: ☐ Attached Garage ☒ Detached Garage ☐ Integral Garage ☐ Carport ☐ None					
Basement/Foundation Info: ☐ Slab on Grade ☐ Post & Pier ☐ Unfinished Basement ☐ Finished Basement: ☐ Full or ☐ Partial					
1st Fl Width: 73	1st Fl Depth: 62	2nd Fl Width: 59	2nd Fl Depth: 43	Bsmt Width: 59	Bsmt Depth: 60
Energy Method: ☐ Prescriptive ☐ Performance ☐ UA Alternative ☐ ERI		Gross Area: 7514	sq ft	Occupiable Area: 7073	sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 9/3/2021

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
☐ PR	☒ DPZ	☐ DED	☒ Health DBernard	☐ SHA
SUBMITTAL FEES:		PAYMENT: CK # 10474086		ACCEPTED BY: [Signature]

Name: Jim Kerwin
Street Address: PO Box 552
City, State, Zip: Woodbine MD 21797
Date: 5/19/2022

Amendment, Permit # B21003350

Ms. Debbie Whalen
Division of Plan Review
Department of Inspections, Licenses and Permits
Howard County Government
3430 Court House Dr
Ellicott City, MD 21043

Health Dept

RECEIVED

MAY 20 2022

LICENSES & PERMITS
DIVISION

Dear Ms. Whalen:

I am requesting to amend Permit # B21003350 at
10528 Pudding Lane Ellicott City MD 21042 to
Change house type from "Renwick" to "Parkhurst" Craftsman elv, 2
car side load garage, 1 car side attached garage, multi-gen suite, luxury covered deck
and finished lower level (rec room, bedroom, media room, powder room and wet bar)
12 rooms, 6 bedrooms, 5 full baths, 2 half baths and 1 fireplace, 2018 IRC
Performance Method. Gross S.F. = 8449 OG-SF = 8183

Enclosed:

- ☒ Fee: \$50.00 Toll # 00135893
☒ Plot Plans
☒ Sets of Construction Drawings
Other: _____

Building	Front	Depth
1	73	72
2	59	56
B	59	72

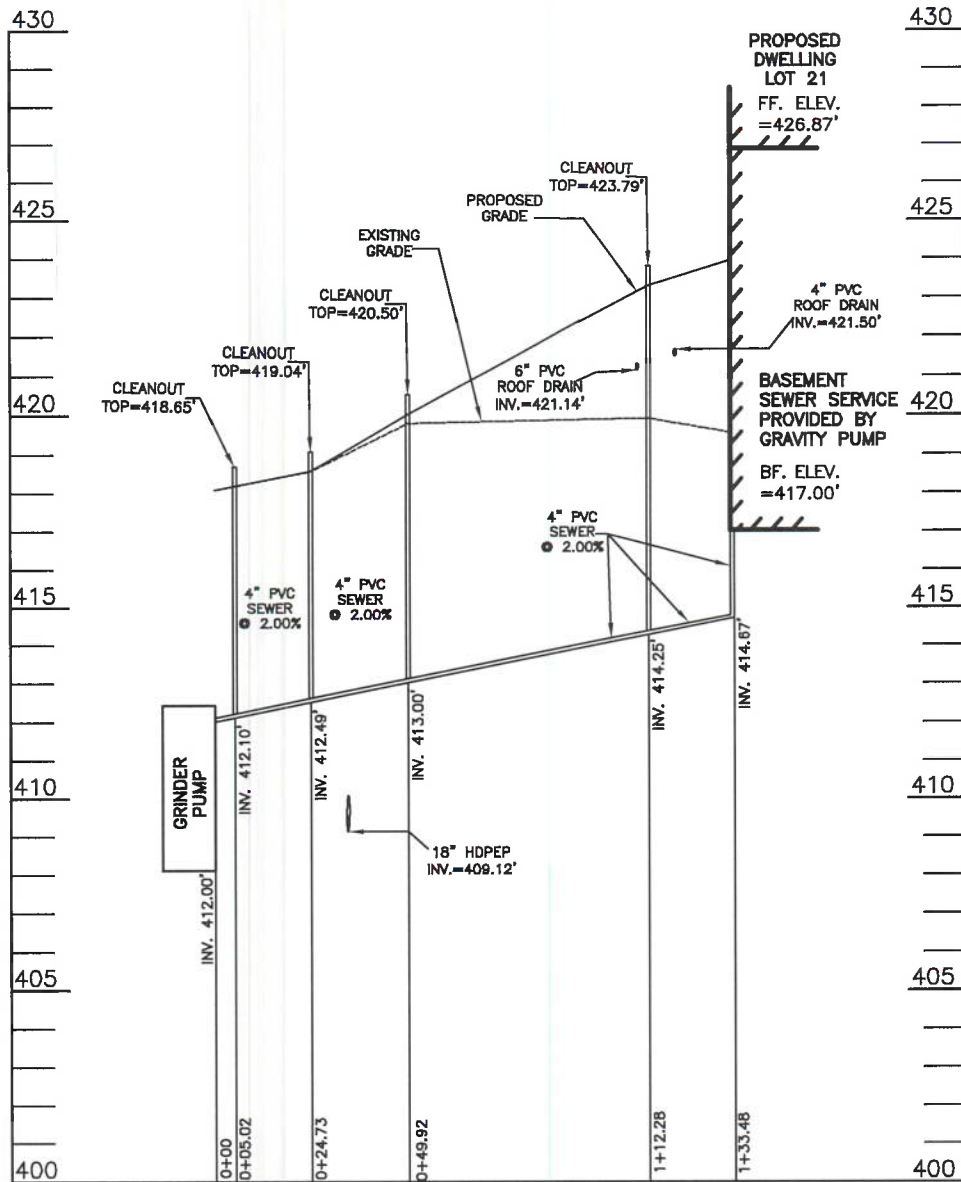
If there is anything we can do to assist you, please let me know.

Sincerely,

Jim Kerwin

Name: Jim Kerwin
Title: AGENT for Toll Brothers
Phone: 443-309-7792
Email: Jim@DecaturBuildingServices.com

CC Health Dept
Amendment Letter



Approved Septic System Plan
 Howard County Health Department
Dana Bernard 10-13-21
 Signature *BA1003350* Date

SEPTIC EXHIBIT
 KINGS FOREST
 LOT 21
 F-19-014

10528 PUDDING LANE
 (Liber 11372, Folio 431)
 PLAT NO. 25767

ELECTION DISTRICT NO. 2
 HOWARD COUNTY, MARYLAND

DATE: AUGUST 25, 2021
 SCALE 1" = 50'

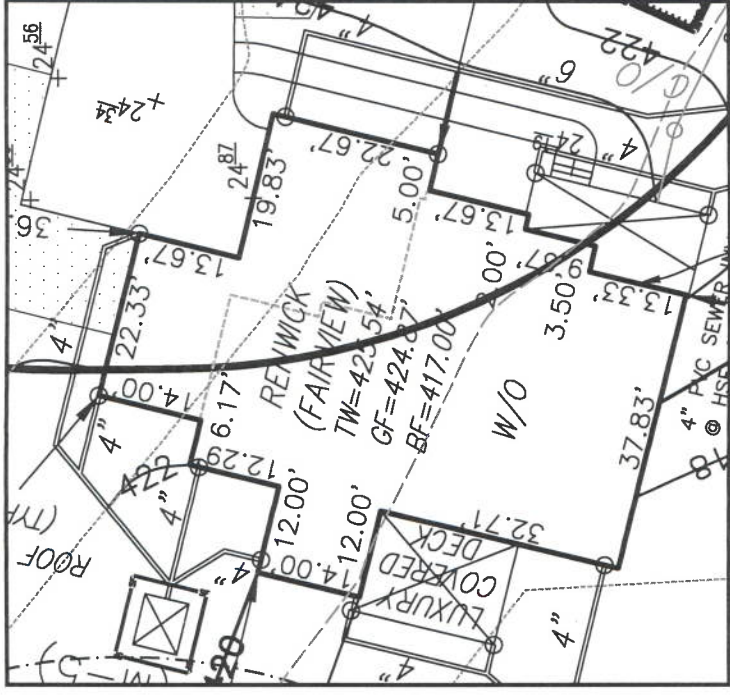
ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants Inc.
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
 Tel: 410-872-9105 • Fax: 410-872-4870

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

- LEGEND:
- BRL BUILDING RESTRICTION LINE
 - W WELL LOCATION
 - T.W. TOP OF WALL
 - G.F. GARAGE FLOOR
 - B.F. BASEMENT FLOOR
 - BASEMENT FLOOR
 - PASSED PERC LOCATION
 - FAILED PERC LOCATION
 - SILT FENCE
 - SUPER SILT FENCE
 - STONE CONSTRUCTION ENTRANCE
 - WELL BOX AREA
 - PROPOSED TREE
 - PROPOSED TREE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 28,324 SQ. FT.



HOUSE ENLARGEMENT
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE
DEVELOPMENT PLAN SETBACK DISTANCES SHOWN
HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: RENWICK (FAIRVIEW)

TWO CAR SIDE ENTRY GARAGE
FINISHED BASEMENT
WALK-OUT BASEMENT
ADDITIONAL BATH - FINISHED BASEMENT
ADDITIONAL ONE CAR FRONT ENTRY
LUXURY WALK-OUT COVERED DECK

WELL NUMBER: HO-18-0150

ADDRESS: 10528 PUDDING LANE
ELLICOTT CITY, MD 21042

OPTION No. 012
OPTION No. 013
OPTION No. 017
OPTION No. 383
OPTION No. 263102
OPTION No. 263169

PLOT PLAN
LOT 21
KINGS FOREST
LIBER 11372, FOLIO 431
PLAT NO. 25767
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENT

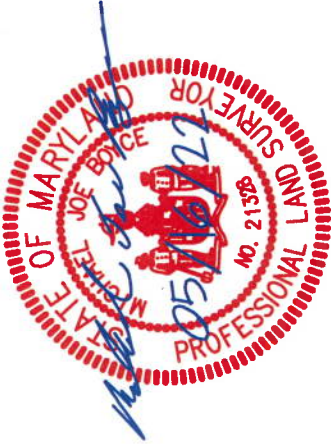
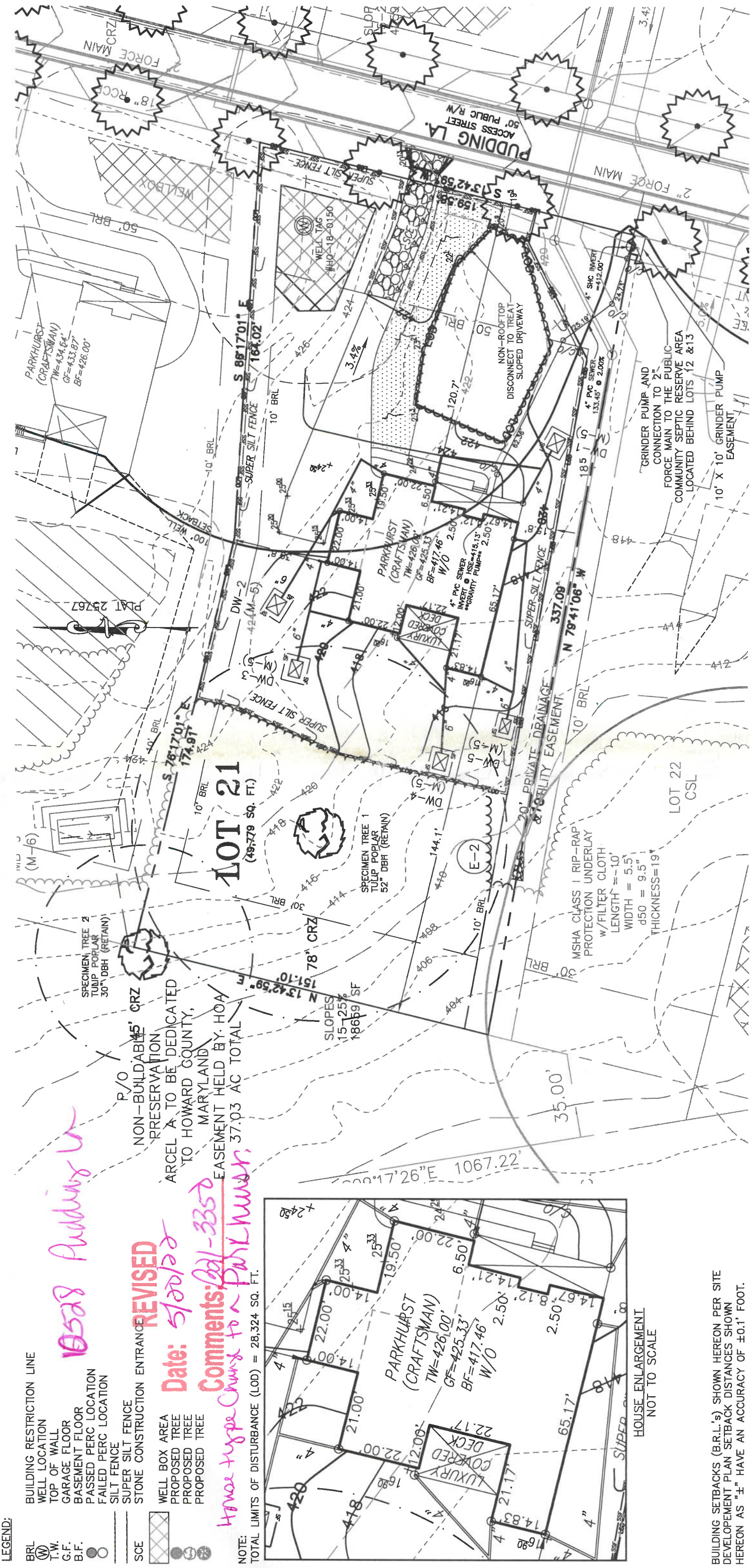
ESE Consultants, Inc.

7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046

T: 410-872-9105

DATE: 08/25/2021 SCALE: 1"= 40' FILE: PP LOT 21 - Renwick F.V.
CHK'D: M.J.B. JOB NO: 3502 DRAWN: V.X.P.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.



HOUSE TYPE: PARKHURST (CRAFTSMAN)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED BASEMENT
- WALK-OUT BASEMENT
- POWDER ROOM - FINISHED LOWER LEVEL
- MULTI GENERATIONAL SUITE ADDITION
- OPTIONAL DROP ZONE
- ADDITIONAL ONE CAR FRONT ENTRY
- LUXURY WALK-OUT COVERED DECK
- BEDROOM - FINISHED LOWER LEVEL
- DAYLIGHT WINDOW/WELL
- WET BAR - FINISHED LOWER LEVEL
- MEDIA ROOM - FINISHED LOWER LEVEL
- DOUBLE WIDE DRIVEWAY TAIL
- WELL NUMBER: HO-18-0150

ADDRESS:

10528 PUDDING LANE
ELLICOTT CITY, MD 21042

PLOT PLAN
LOT 21
KINGS FOREST
LIBER 11372, FOLIO 431
PLAT NO. 25767
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

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ESE Consultants, Inc.

6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046

T: 410-872-9105

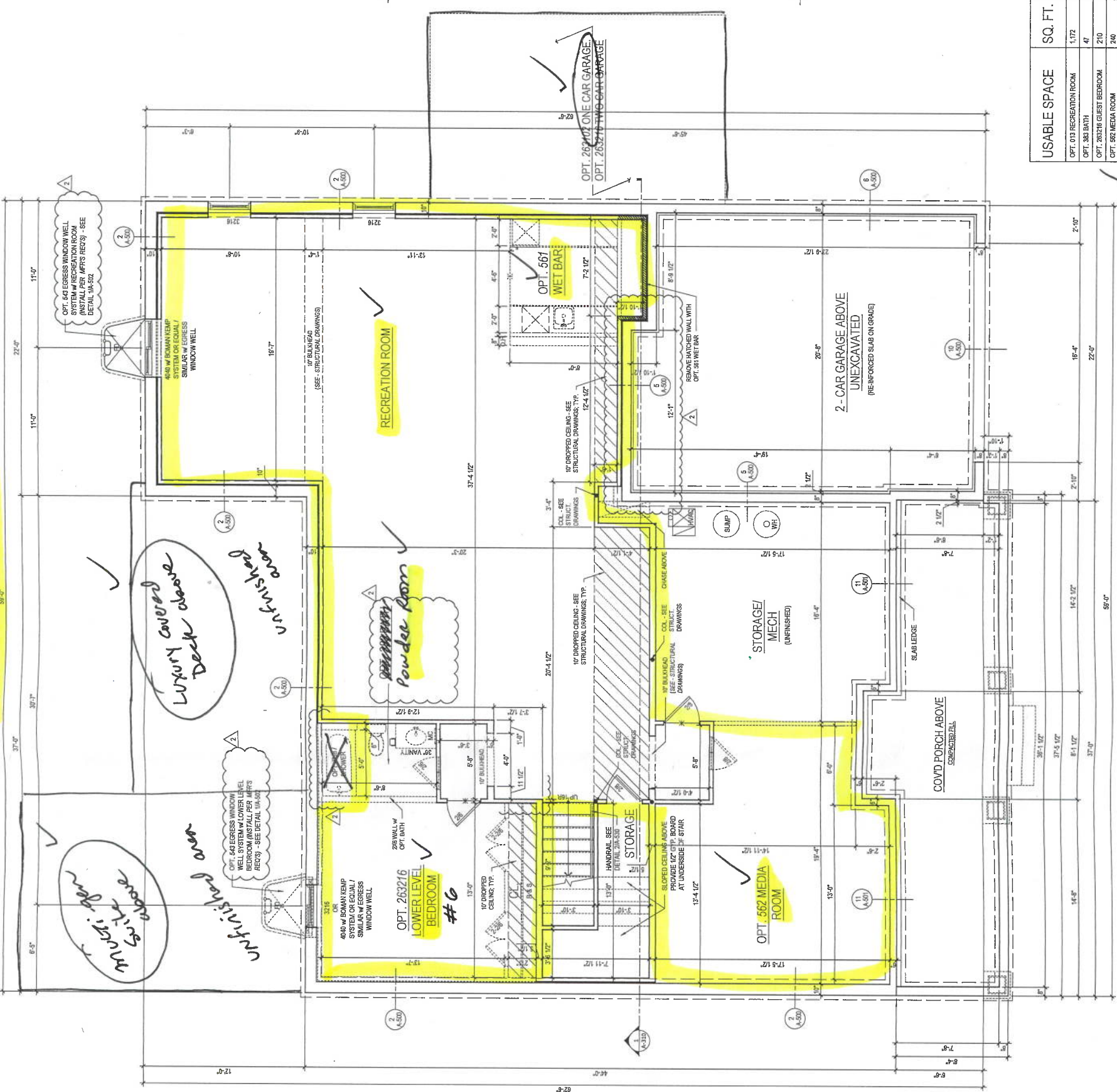
DATE: 05/09/2022 SCALE: 1"= 40' FILE: PP LOT 21 - PARKHURST CRAFTS.

CHK'D: M.J.B. JOB NO: 3502 DRAWN: V.X.P.

- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SINKS, DETECTORS ARE TO BE WIERED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS NOTED.
 - I. ALL DOORS ARE TO BE 6'-6" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

10528 Pudding Lane
Revised for B21003350
Kings forest
lot 21

Health Dept



USABLE SPACE	SQ. FT.
OPT. 013 RECREATION ROOM	1,172
OPT. 383 BATH	47
OPT. 263216 GUEST BEDROOM	210
OPT. 562 MEDIA ROOM	240
TOTAL	1,669

1 BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"
FINISH CONDITION
W/ OPT 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN

ARCHITECT:

lessard
DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEA & SIGNATURE

OWNER:

TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
P: 571.291.8068
CONTACT: CHRISTINA LENLEY
clemey@tollbrothers.com

PROJECT NAME:

PARKHURST
MARYLAND

FLOOR PLANS

SHEET TITLE:

PROJECT NAME: PARKHURST
MARYLAND
FLOOR PLANS

ISSUE / REVISION

NO.	DESCRIPTION	DATE
1	BID SET	05.20.19
2	PERMIT SET	06.19.19
3	NO NEW STANDARDS	09.16.19
4	MR. #220241	12.11.20

PROJECT No:

TOL 0814

DRAWN BY:

AK

CHECKED BY:

AK

FILE NAME:

TOL0814_A100.dwg

A-100a

ARCHITECT:

lessard
DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
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www.lessarddesign.com

SEAL & SIGNATURE

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PARKHURST
FLOOR PLANS
MARYLAND

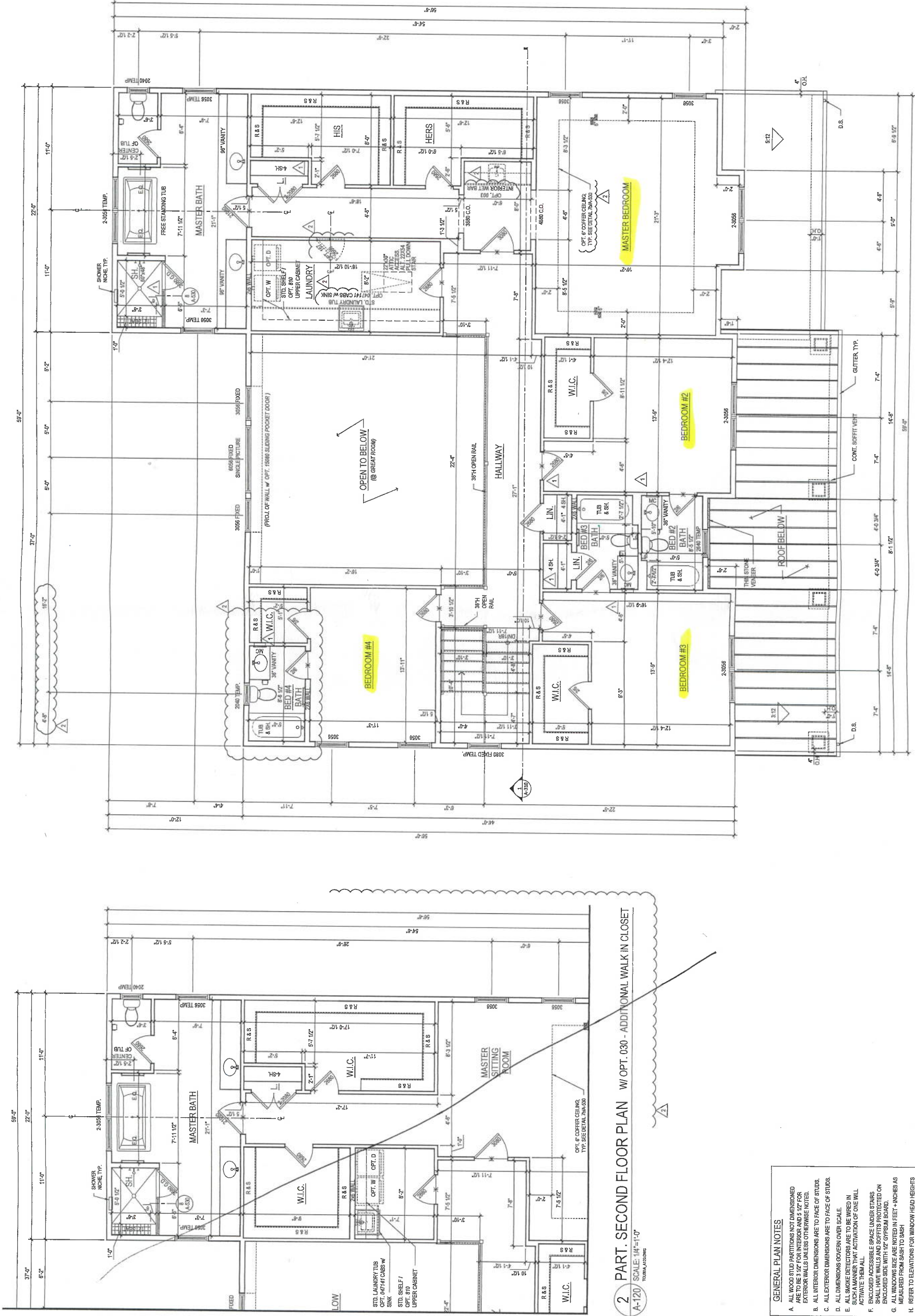
PROJECT NAME:
SHEET TITLE:

ISSUE / REVISION
NO. DESCRIPTION DATE
1. NO NEW STANDARDS 06.19.19
2. PER #220241 12.11.20

PROJECT NO.:
DRAWN BY:
CHECKED BY:
DATE: 06.26.2020
FILE NAME: TOL081A_A120.dwg

A-120

10.001.A120.dwg



- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/2" FOR INTERIOR AND 5/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GIVEN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND GOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 6'-0" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
10.001.A120.dwg

@ ELEV. 1 - CRAFTSMAN

ARCHITECT:
lessard
DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEAL & SIGNATURE

OWNER:
TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
P: 571.291.8068
CONTACT: CHRISTINA LEMLEY
clmley@tollbrothers.com

MARYLAND

PROJECT NAME:

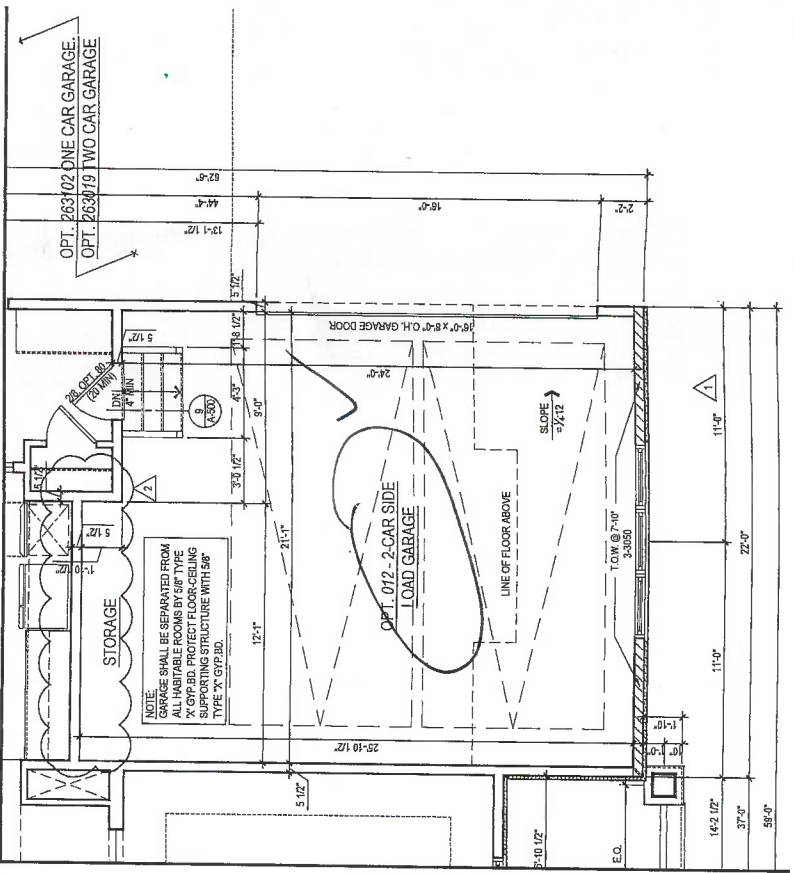
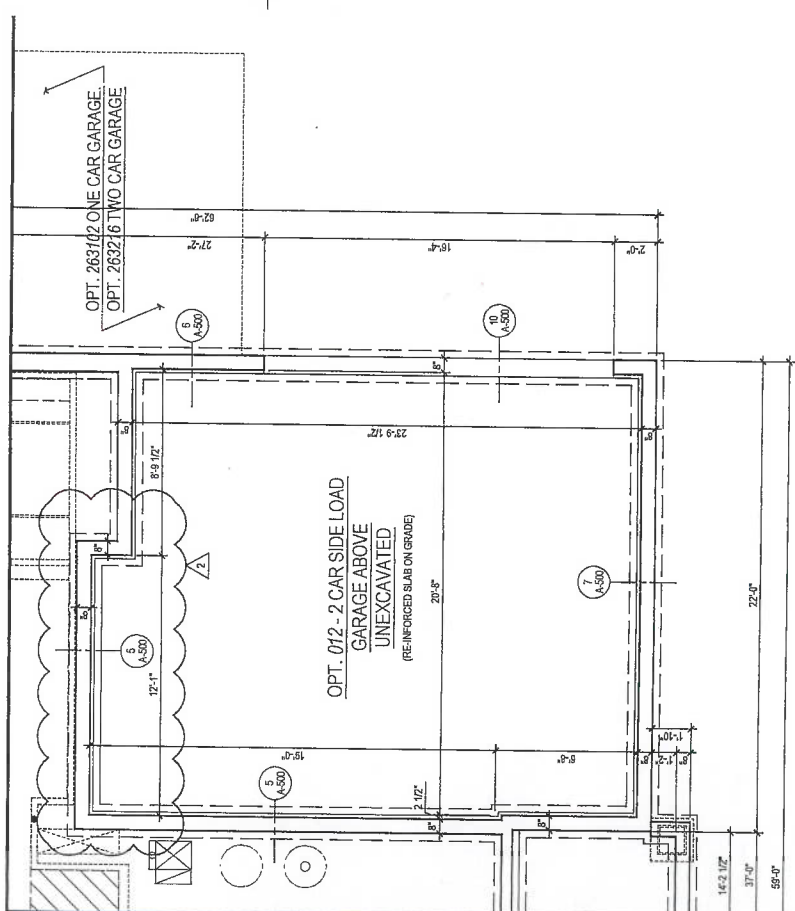
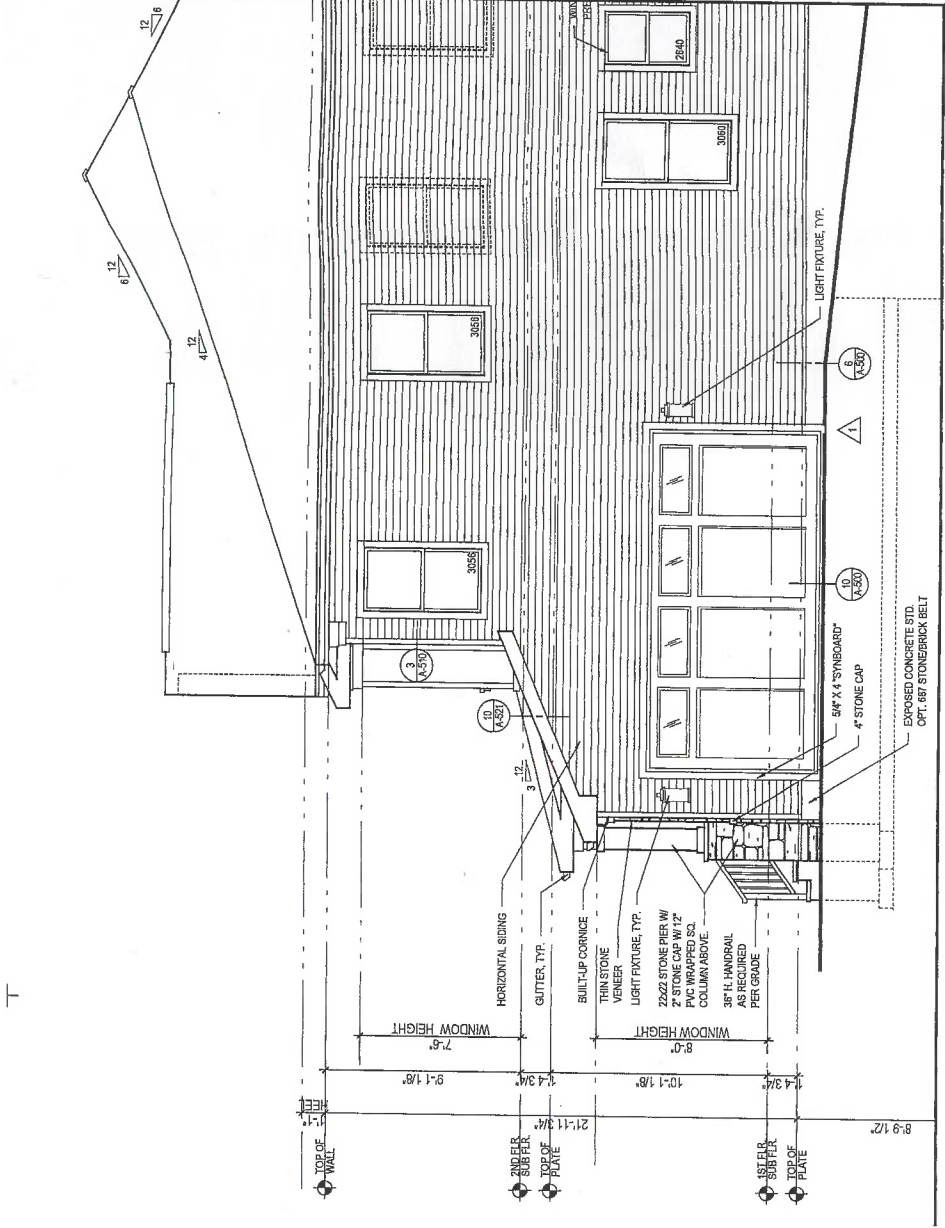
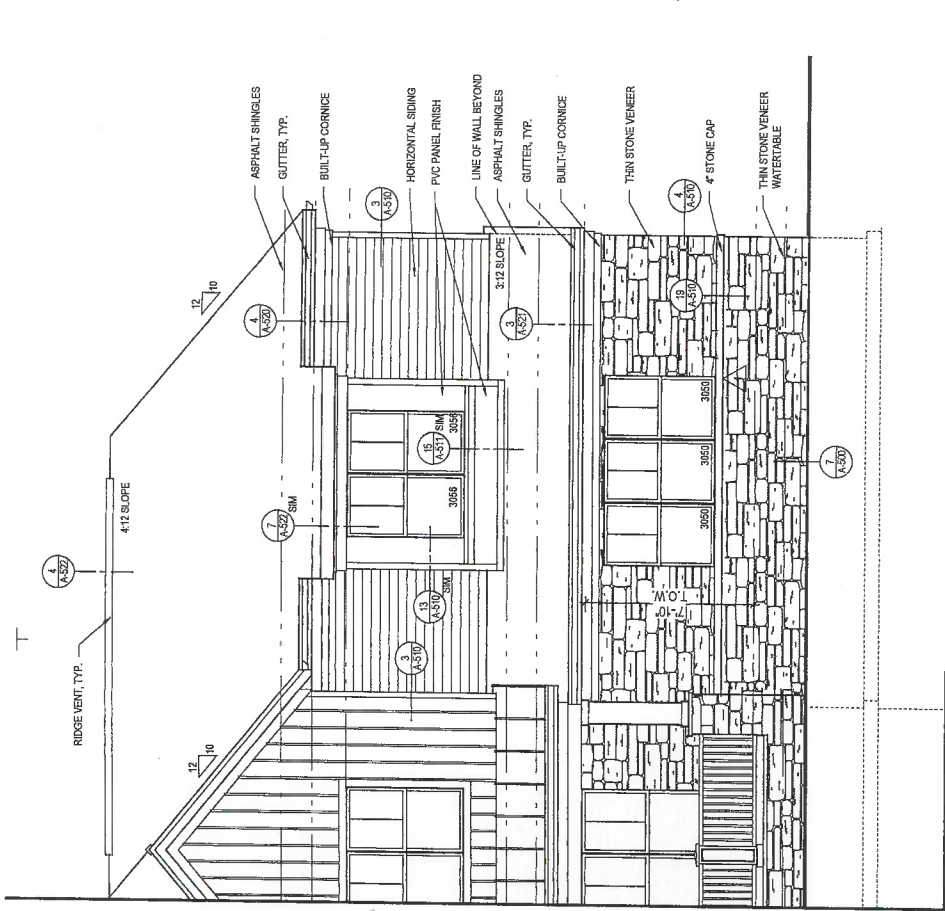
SHEET TITLE:

OPTIONS

NO.	DESCRIPTION	DATE
1	MD NEW STANDARDS	05.29.19
2	MD NEW STANDARDS	06.15.19
2	MD NEW STANDARDS	06.15.19
2	MD NEW STANDARDS	12.11.20

PROJECT NO.: TOL-081A
DRAWN BY: ALB-01
CHECKED BY: JLM
PLOT DATE: Jan. 20, 2022
FILE NAME: TOL-081A_A400.dwg

A-400



- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED SHALL BE 2" MIN. THICK AND 16" O.C. EXCEPT WHERE NOTED OTHERWISE.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GOVERN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SLOTTED PROTECTED ON BOTH SIDES WITH 1/2" GYP-SUR BOARD.
 - ALL WINDOW SIZES ARE TO BE MEASURED FROM FINISH TO FINISH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRIVERS.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

10528 Pudding lane
Revised for B21003350

Kings forest

lot 21

[illegible]

USABLE SPACE	SQ. FT.
OPT. 013 RECREATION ROOM	1,172
OPT. 383 BATH	47
OPT. 263/216 GUEST BEDROOM	210
OPT. 562 MEDIA ROOM	240
TOTAL	1,669

W/ OPT 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN
@ FINISHED CONDITION

1 BASEMENT FLOOR PLAN
A-100a SCALE: 1/4"=1'-0"

(A-100a) SCALE: 1/4"=1'-0"

A-100a

ARCHITECT:



lessard
DESIGN

8571 Leachburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEAL & SIGNATURE:

TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
P: 571.291.8068
CONTACT: CHRISTINA LEMLEY
clemley@tollbrothers.com

PARKHURST
FLOOR PLANS

PROJECT NAME:	SHEET TITLE:
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[illegible]

PROJECT NO:	TOL 081a
DRAWN BY:	AC/RN
CHECKED BY:	AP
PLOT DATE:	Jan. 20, 2021
FILE NAME:	TOL081a A100.dwg

Plot By: analk

File No: TOL081a_A100.dwg

ARCHITECT:
lessard
DESIGN
8571 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

OWNER:
TOLL BROTHERS
1975 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
CONTACT: CHRISTINA LENLEY
clenley@tollbrothers.com

PROJECT NAME:
PARKHURST
MARYLAND

SHEET TITLE:
FLOOR PLANS

NO.	ISSUE / REVISION	DATE
1	ISSUED SET	02.26.19
2	PERMIT SET	06.13.19
3	NO NEW STANDARDS	09.11.19
4	PER #230241	12.11.20

PROJECT NO:
TOL081A.A110

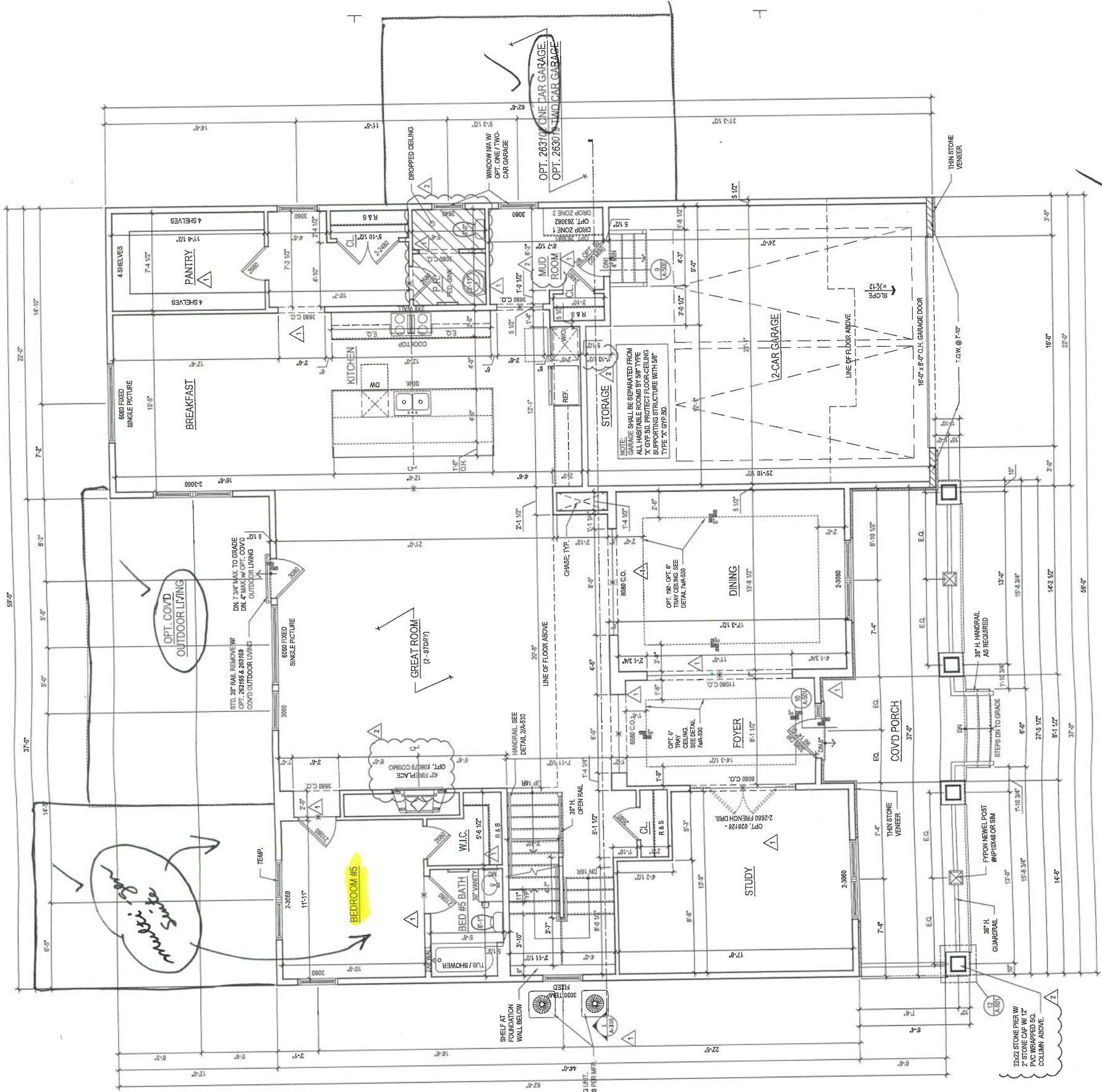
DESIGNED BY:
AL

CHECKED BY:
AL

PLOT DATE:
JUN. 20, 2023

FILE NAME:
TOL081A.A110.dwg

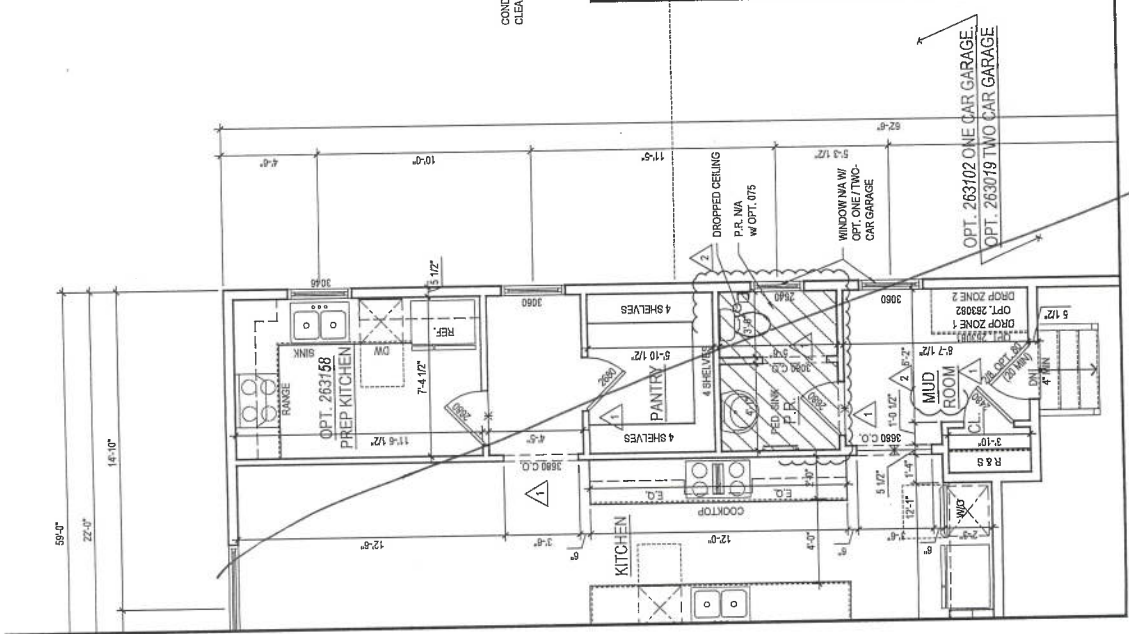
A-110



@ ELEV. 1 - CRAFTSMAN

1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"
TOL081A.A110.dwg

- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE ENTIRE SYSTEM.
 - F. ENCLOSURE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS NOTED.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHERS ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 PART. FIRST FLOOR PLAN w/ OPT. 263158-1 OPT. PREP KITCHEN
SCALE: 1/4"=1'-0"
TOL081A.A110.dwg

ARCHITECT:
lessard
DESIGN
8521 Leesburg Pike
Suite 701 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessardesign.com

OWNER:
TOLL BROTHERS
1975 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
P: 571.251.8688
CONTACT: LINDSEY LEMLEY
clmley@tollbrothers.com

PROJECT NAME:
MARYLAND

SHEET TITLE:
**PARKHURST
OPTIONS**

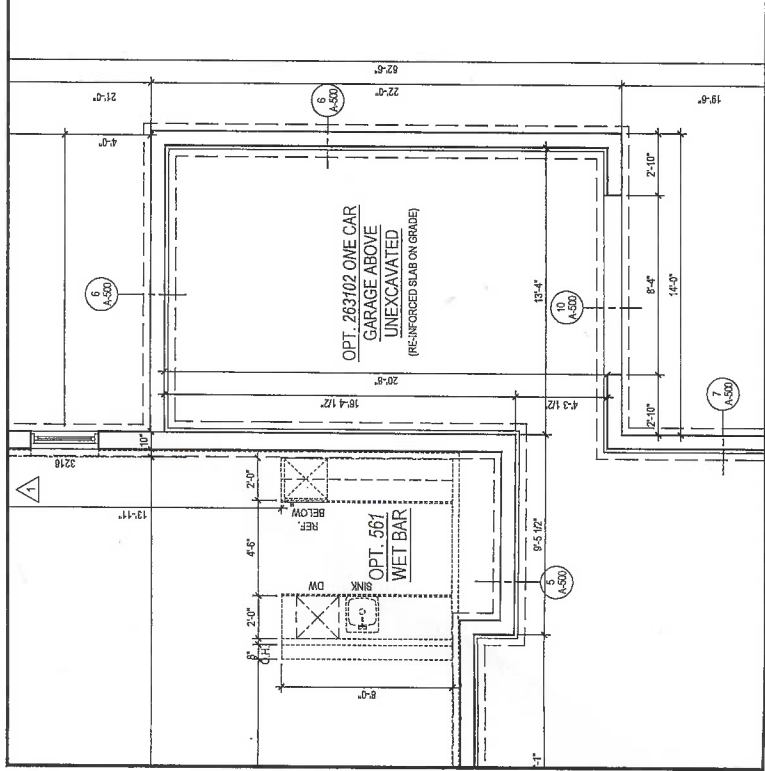
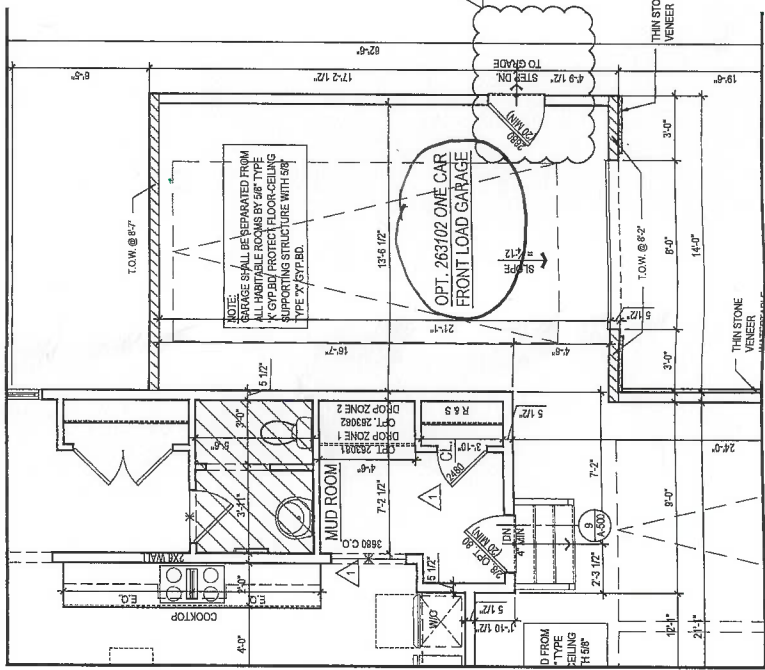
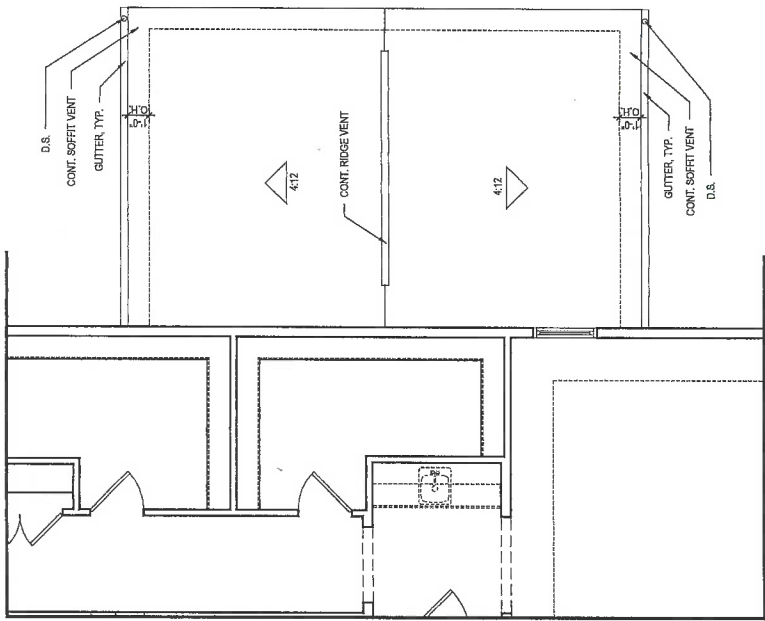
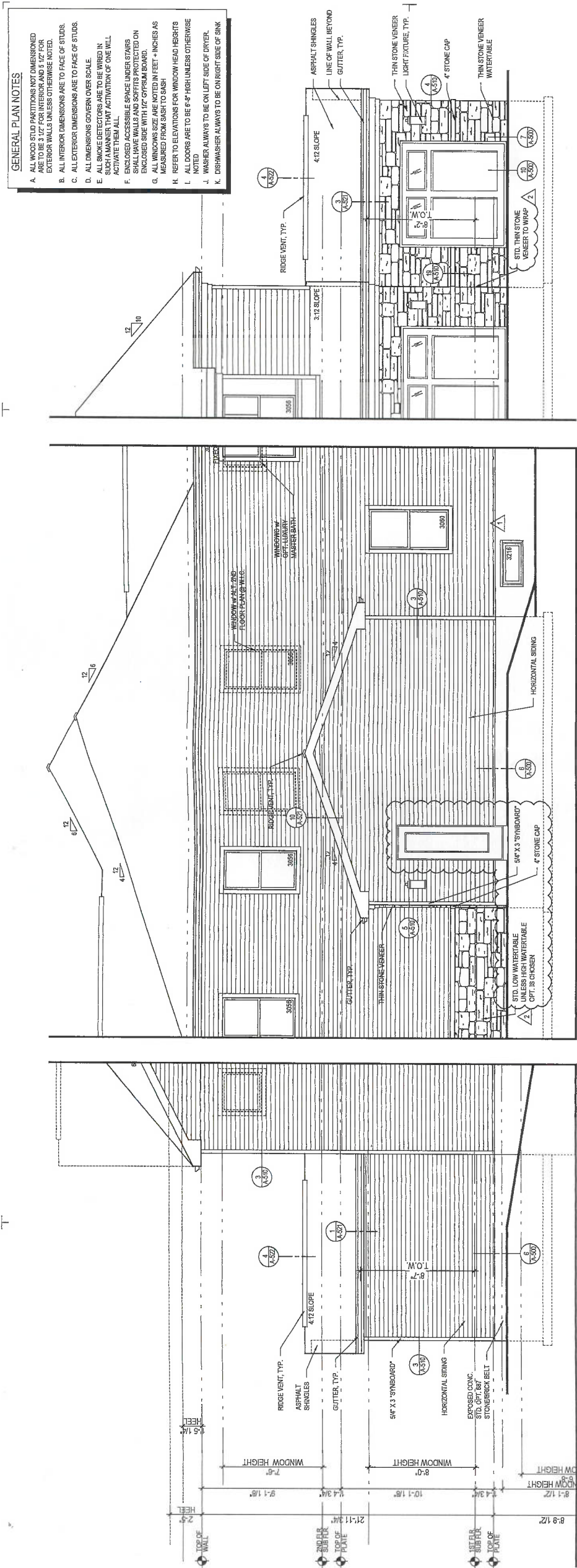
NO.	ISSUE / REVISION	DATE
1	PRELIM SET	05.29.19
1	NO NEW STANDARDS	06.19.19
2	MR. #220241	09.16.19
		12.11.20

PROJECT NO.:
DRAWN BY: KJG
CHECKED BY: JKL
PLOT DATE: 30th Jan 2021
FILE NAME: TOL081A_A401.dwg

PROJECT NO.:
DRAWN BY: KJG
CHECKED BY: JKL
PLOT DATE: 30th Jan 2021
FILE NAME: TOL081A_A401.dwg

A-401

- GENERAL PLAN NOTES**
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL DIMENSIONS ARE TO BE NOTED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DOOR.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED CLOSET SPACE UNDER STAIRS, ENCLOSURE WALLS AND SETBACKS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOW SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

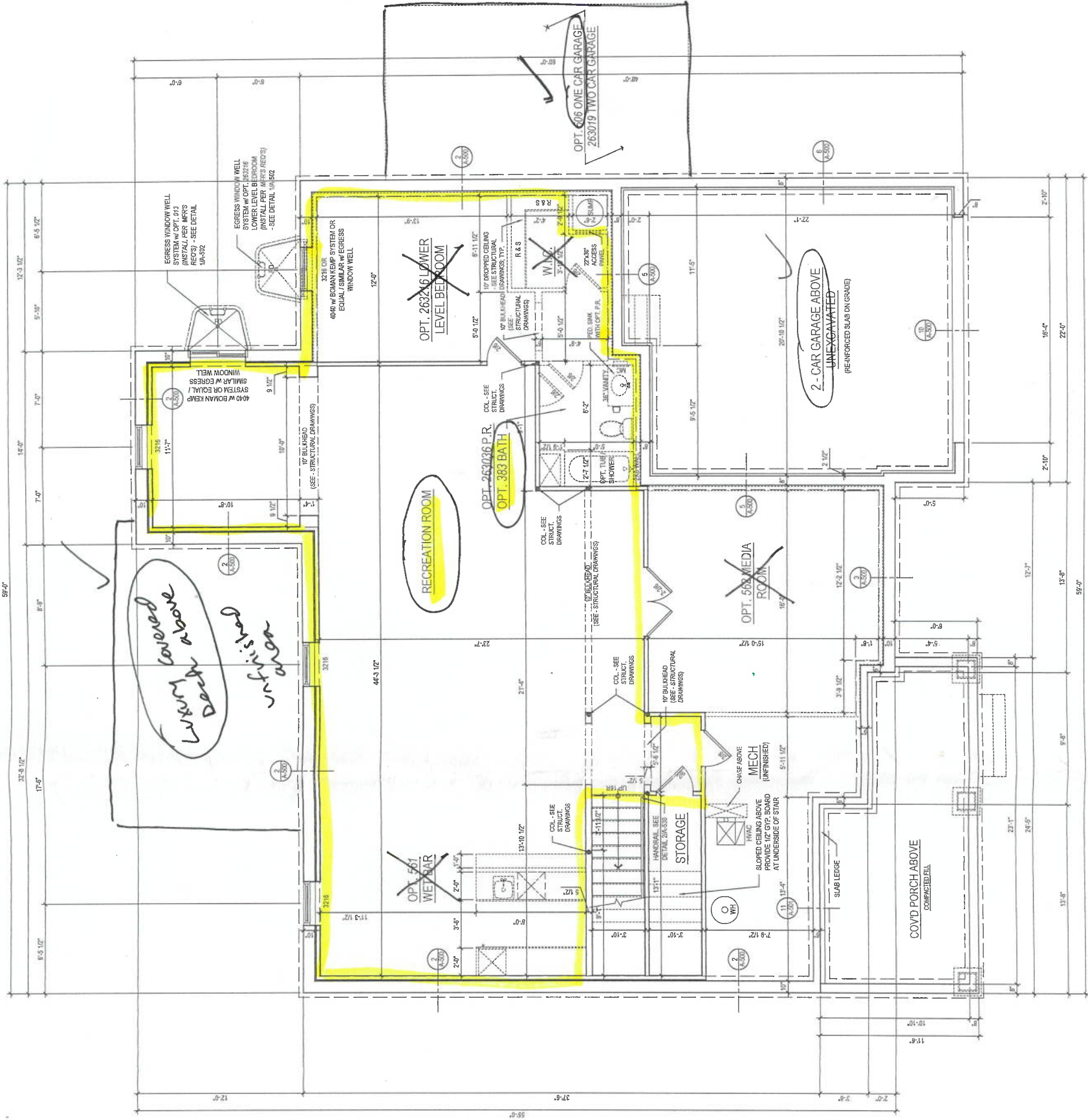
Health Dept

10528 Pudding Lane

lot 2-1

Kings Forest

4 Bed in Basement
47655
Opposed



BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

WI OPT. 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN SHOWN @ FINISHED CONDITION

See add page for "Fairview" Elev.

ARCHITECT:

lessard DESIGN

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SEAL & SIGNATURE:

OWNER:

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COLUMBIA, MD 21046
P: 410.872.9105
CONTACT: MARK NOSAL
mnosal@tollbrothersinc.com

PROJECT NAME:

WILLOW CREEK
HOWARD COUNTY, MD

FLOOR PLANS

SHEET TITLE:

A-100a

PROJECT NO:

TOL081a

DRAWN BY:

AK/AN

CHECKED BY:

AK

PLOT DATE:

SEP. 13, 2019

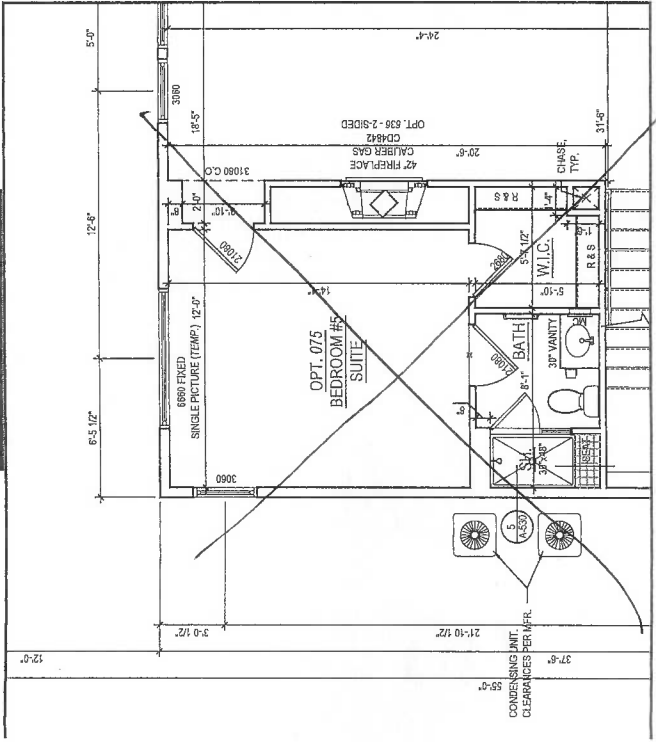
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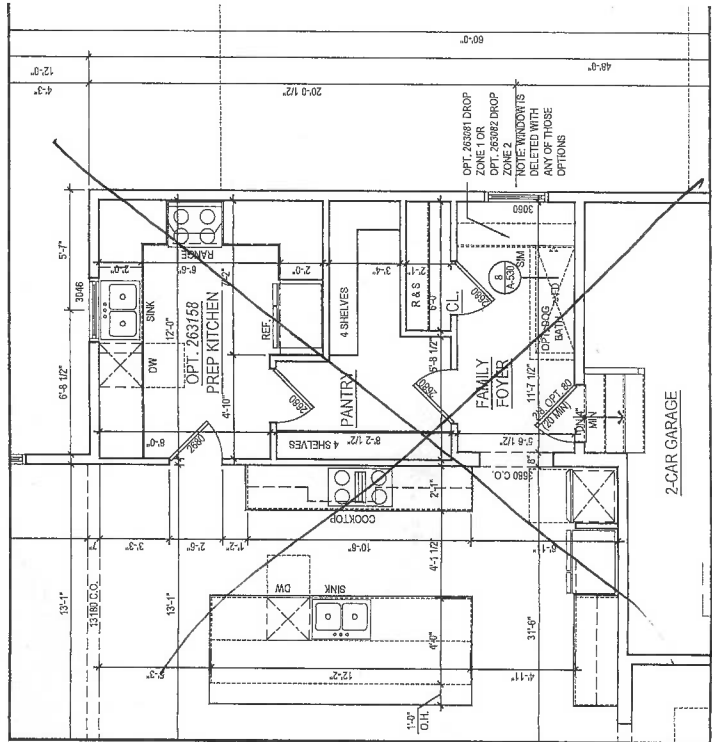
ISSUE / REVISION

NO.	DESCRIPTION	DATE
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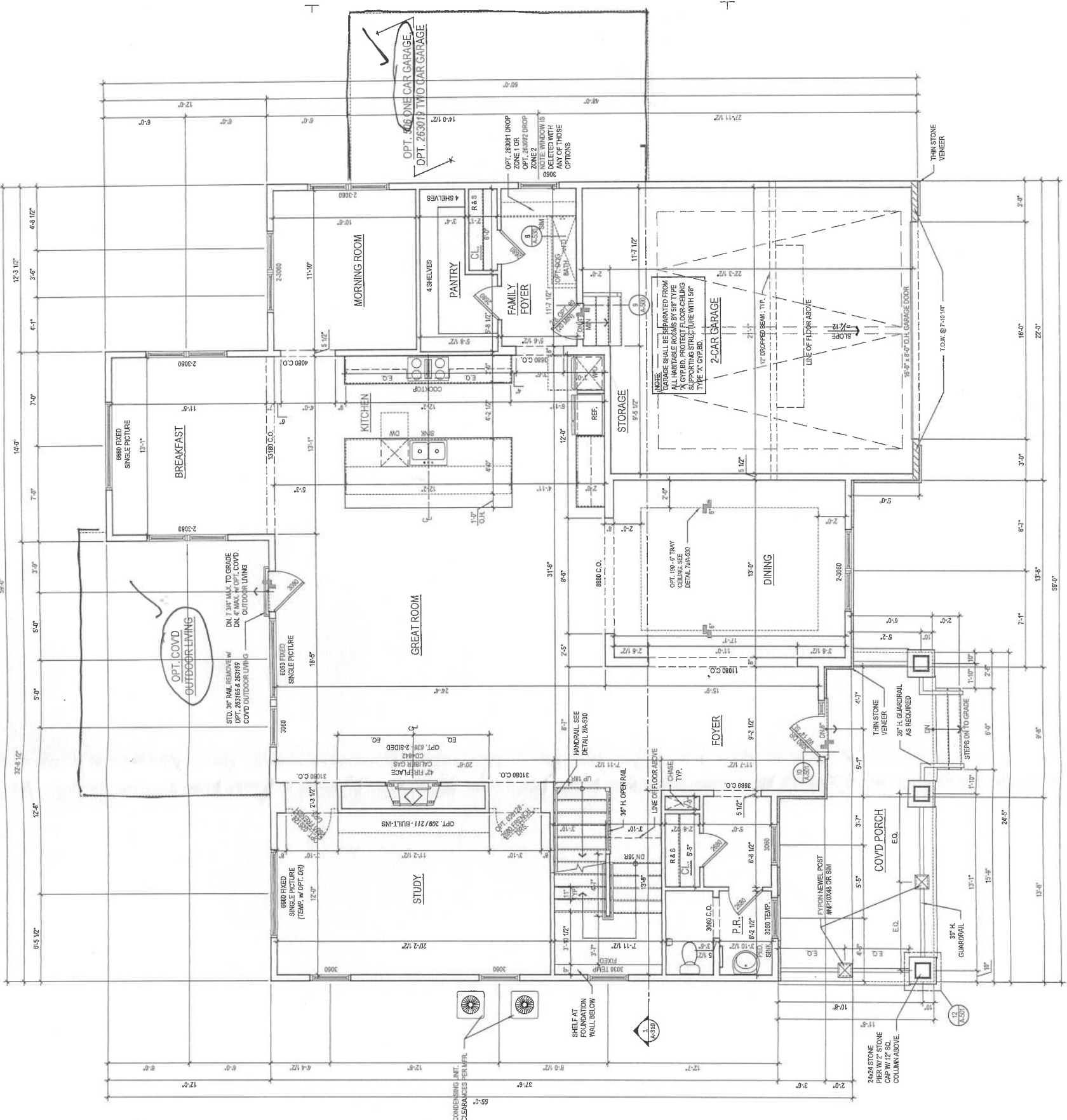
- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL DEACTIVATE ALL OTHERS.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD-HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



3 PART. FIRST FLOOR PLAN A-110 SCALE: 1/4"=1'-0" TOLUBEA, AL10.0.DWG. W/ OPT. 075 BEDROOM #5 SUITE



2 PART. FIRST FLOOR PLAN A-110 SCALE: 1/4"=1'-0" TOLUBEA, AL10.0.DWG. W/ OPT. 263158 PREP KITCHEN



1 FIRST FLOOR PLAN A-110 SCALE: 1/4"=1'-0" TOLUBEA, AL10.0.DWG. @ ELEV. 1 - CRAFTSMAN Show See add pages for "fairview" Elev.

ARCHITECT: **lessard DESIGN**

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S&L & SIGNATURE:

OWNER: **TOLL BROTHERS**

7164 COLUMBIA GATEWAY DRIVE
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CONTACT: MARK NOSAL
mnosal@tollbrothers.com

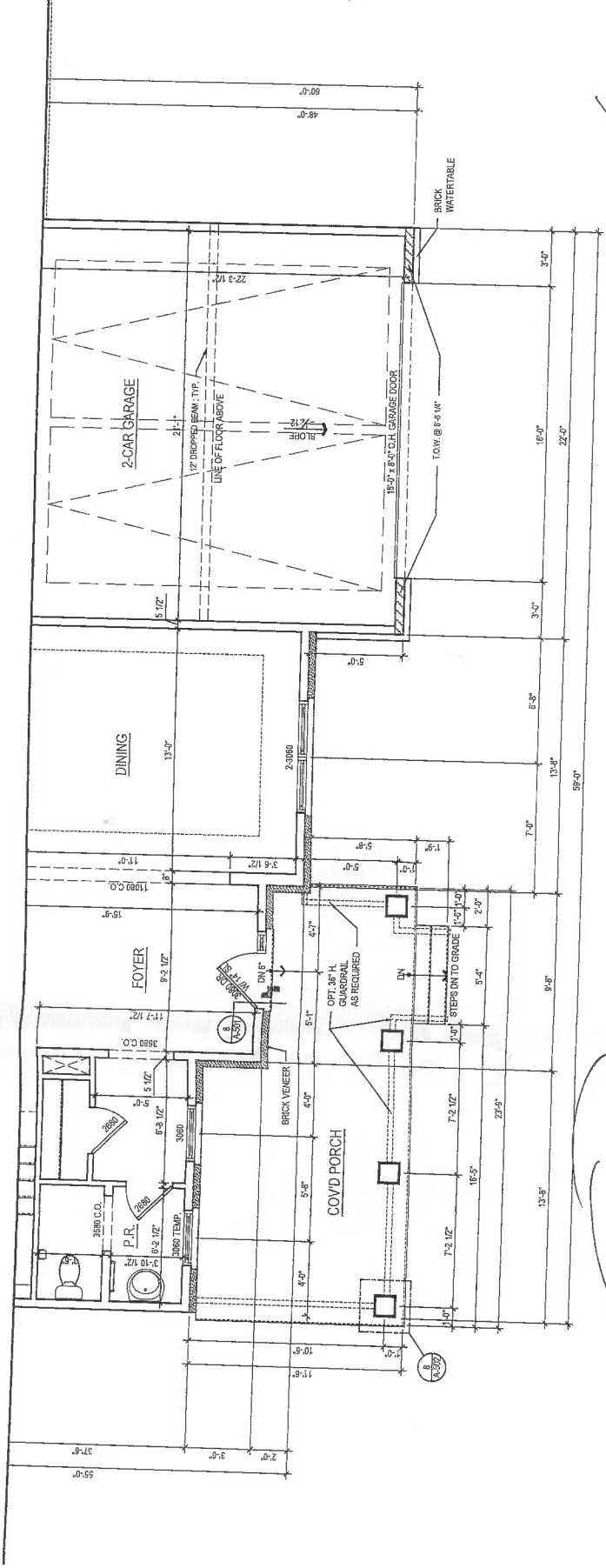
PROJECT NAME: **WILLOW CREEK**
HOWARD COUNTY, MD

FLOOR PLANS

NO.	ISSUE / REVISION	DATE
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2	ISSUE / REVISION	09.16.19
3	ISSUE / REVISION	09.16.19
4	ISSUE / REVISION	09.16.19
5	ISSUE / REVISION	09.16.19
6	ISSUE / REVISION	09.16.19
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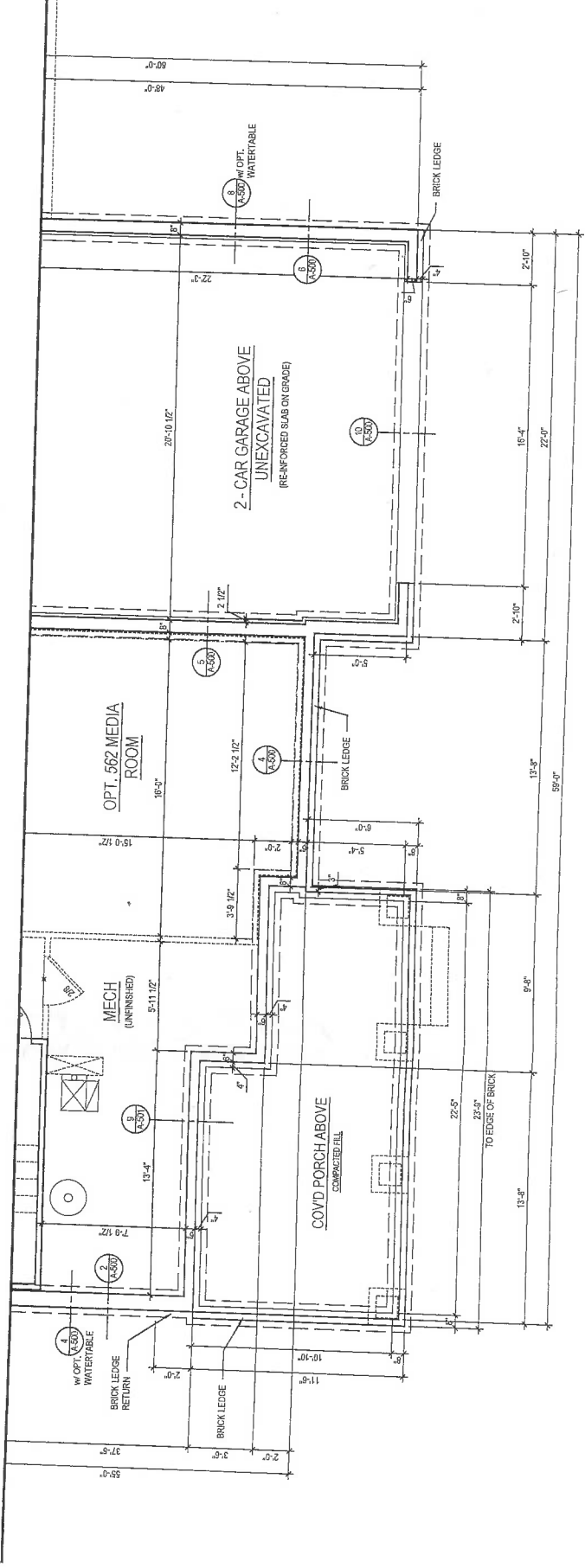
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DRAWN BY: ANIK
CHECKED BY: ANIK
PLOT DATE: Sep. 13, 2019
FILE NAME: TOLUBEA, AL10.0.DWG

- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR WALLS AND 2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL NOT AFFECT THEM ALL.
 - F. ACCESSIBLE SPACE UNDER STAIRS SHALL BE MAINTAINED AND SHALL BE PROTECTED ON ENCLOSED SIDE WITH 1/2" CYCLAM MASONRY BLOCK.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET * INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 FIRST FLOOR PLAN
A-170 / SCALE: 1/4"=1'-0"
TOLLORELLA

@ ELEV. 5 - FAIRVIEW



1 BASEMENT PLAN
A-170 / SCALE: 1/4"=1'-0"
TOLLORELLA

@ ELEV. 5 - FAIRVIEW

ARCHITECT:



Lessard
DESIGN

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www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:

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P: 410.877.9105
CONTRACT: PARK KOSAL
mssal@tollbrothers.com

WILLOW CREEK
HOWARD COUNTY, MD

FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

NO.	DESCRIPTION	DATE
1	BID SET	08.19.19
2	PERMIT SET	09.16.19
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: TOL081A
DRAWN BY: ANAK
CHECKED BY: ANAK
PLOT DATE: Sep. 13, 2019
FILE NAME: TOL081A_A170.dwg

A-170

SEAL & SIGNATURE

TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
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CONTACT: MARK NOSAL
mnosal@tollbrothersinc.com

PROJECT NAME: SHEET TITLE:

PROJECT No:	TOL 0813
DRAWN BY:	AC/E/EA
CHECKED BY:	A
PLOT DATE:	Sep. 13, 2011
FILE NAME:	TOL 0813_A400.dwg

A-400d

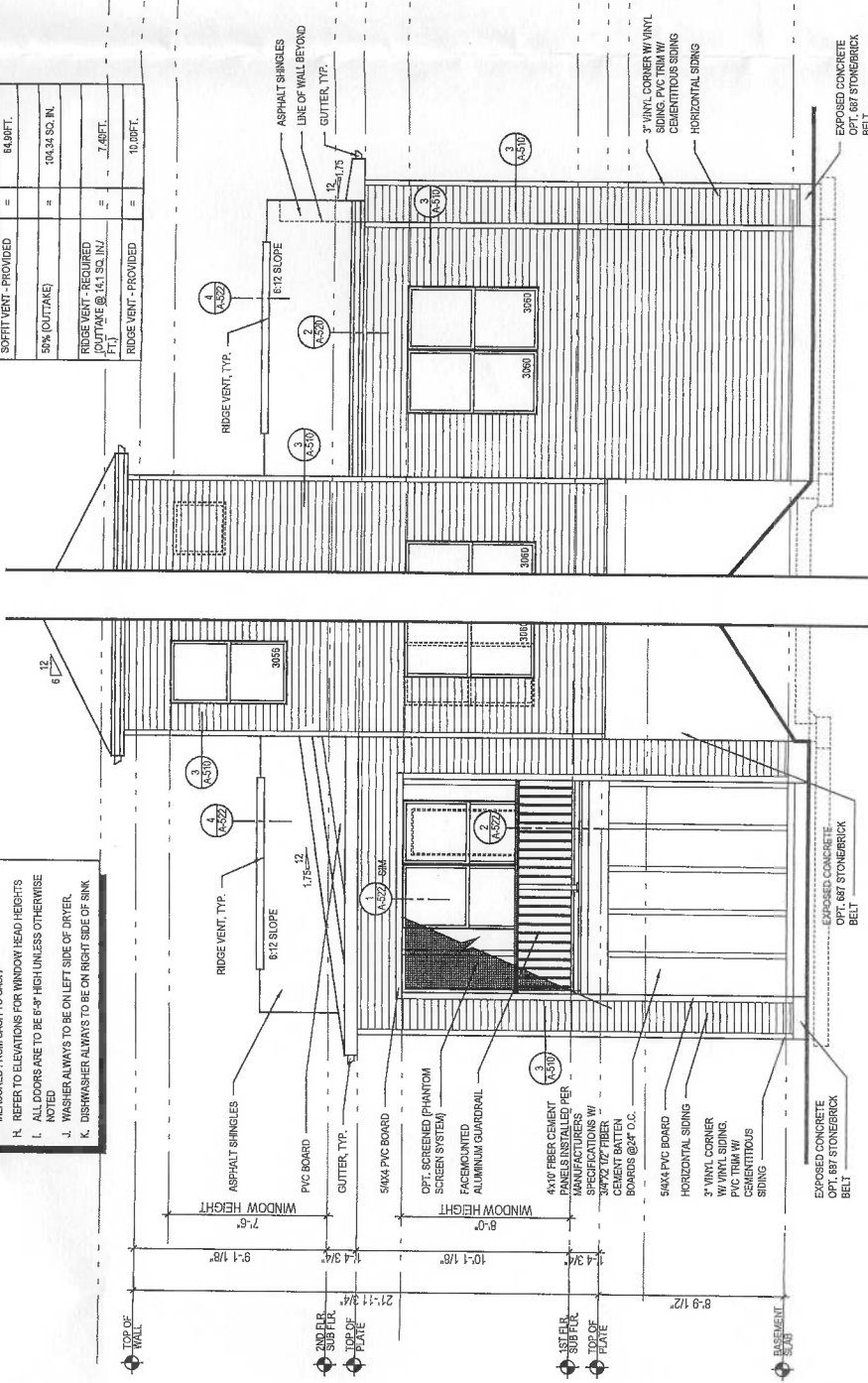


- | GENERAL PLAN NOTES | |
|--------------------|--|
| A. | ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" TYP FOR INTERIOR AND 1/2" TYP FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED. |
| B. | ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS. |
| C. | ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS. |
| D. | ALL WINDOW DIMENSIONS GOVERN OVER SCALE. |
| E. | ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL. |
| F. | ALL EXISTING WALLS AND PARTIAL EXISTING WALLS SHALL BE PROTECTED AND ENCLOSED WITH 1/2" OF OSBIM BOARD. |
| G. | ALL WINDOW SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH. |
| H. | REFER TO ELEVATIONS FOR WINDOW HEADS |
| I. | ALL DOORS ARE TO BE 4" HIGH UNLESS OTHERWISE NOTED. |
| J. | WASHER KLYNKS TO BE ON LEFT SIDE OF DOOR. |
| K. | DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK. |

GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED OTHERWISE SHALL BE 2" MIN. THICK FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WALL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON BOTH SIDES WITH 1/2" OF PSUM BOARD.
- G. ALL WINDOW COVERINGS SHALL BE 1/2" INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'8" HIGH UNLESS OTHERWISE NOTED.
- J. WALKER ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - REAR ROOF	
ROOF AREA	= 424.75 SQ. FT.
7/300	= 1.45 SQ. FT.
x 12 x 12	= 206.88 SQ. IN.
5/8" (W/TAKE)	= 104.34 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 5.9 SQ. IN. / FT.)	= 17.98 FT.
SOFFIT VENT - PROVIDED	= 84.98 FT.
5/8" (OUTTAKE)	= 104.34 SQ. IN.
RISE VENT - REQUIRED (OUTTAKE @ 14.1 SQ. IN. / FT.)	= 7.98 FT.
RISE VENT - PROVIDED	= 10.98 FT.

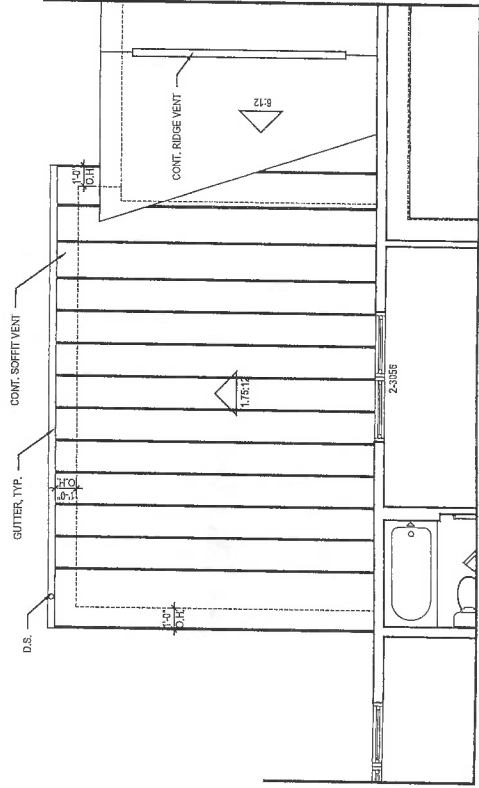


6 PART. LEFT ELEV. w/ OPT. 263165 - COVID OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS

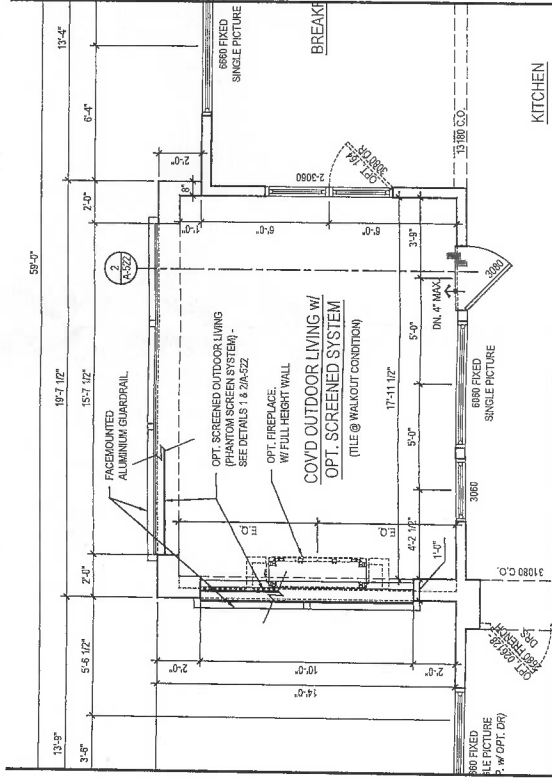
5 PART. RIGHT ELEV. w/ OPT. 263165 - COVID OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS

4 REAR ELEVATION
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS

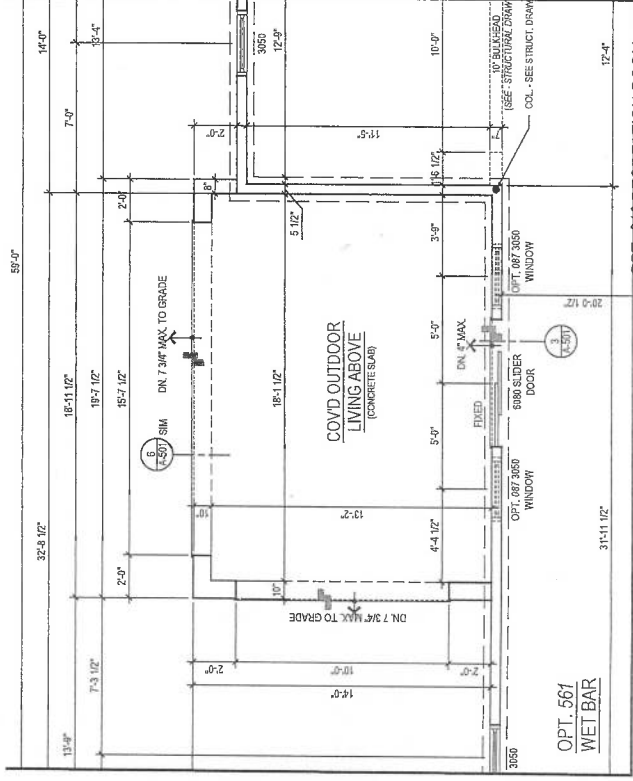
w/ OPT. 263169 - COVID OUTDOOR LIVING @ WALKOUT CONDITION



3 PART. SECOND FLOOR PLAN w/ OPT. COVID OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS



2 PART. FIRST FLOOR PLAN w/ OPT. 263169 - COVID OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS



1 PART. BASEMENT PLAN w/ OPT. 263169 - COVID OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0" TYPICAL JOINTS

ARCHITECT: **lessard DESIGN**

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SEAL & SIGNATURE

OWNER: **TOLL BROTHERS**

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CONTACT: MARK NOSAL
mnosal@tollbrothersinc.com

EXECUTIVE SERIES
WILLOW CREEK
HOWARD COUNTY, MD

RENNICK
OPTIONS

PROJECT NAME: **RENNICK**

SHEET TITLE: **OPTIONS**

NO.	DESCRIPTION	DATE
1	PERMIT SET	08.15.19
2	PERMIT SET	09.16.19

PROJECT NO: **TOLB19A**

DRAWN BY: **ACM**

CHECKED BY: **AP**

PLOT DATE: **09.11.2019**

FILE NAME: **TOLB19A_A403.dwg**

A-403

GENERAL PLAN NOTES

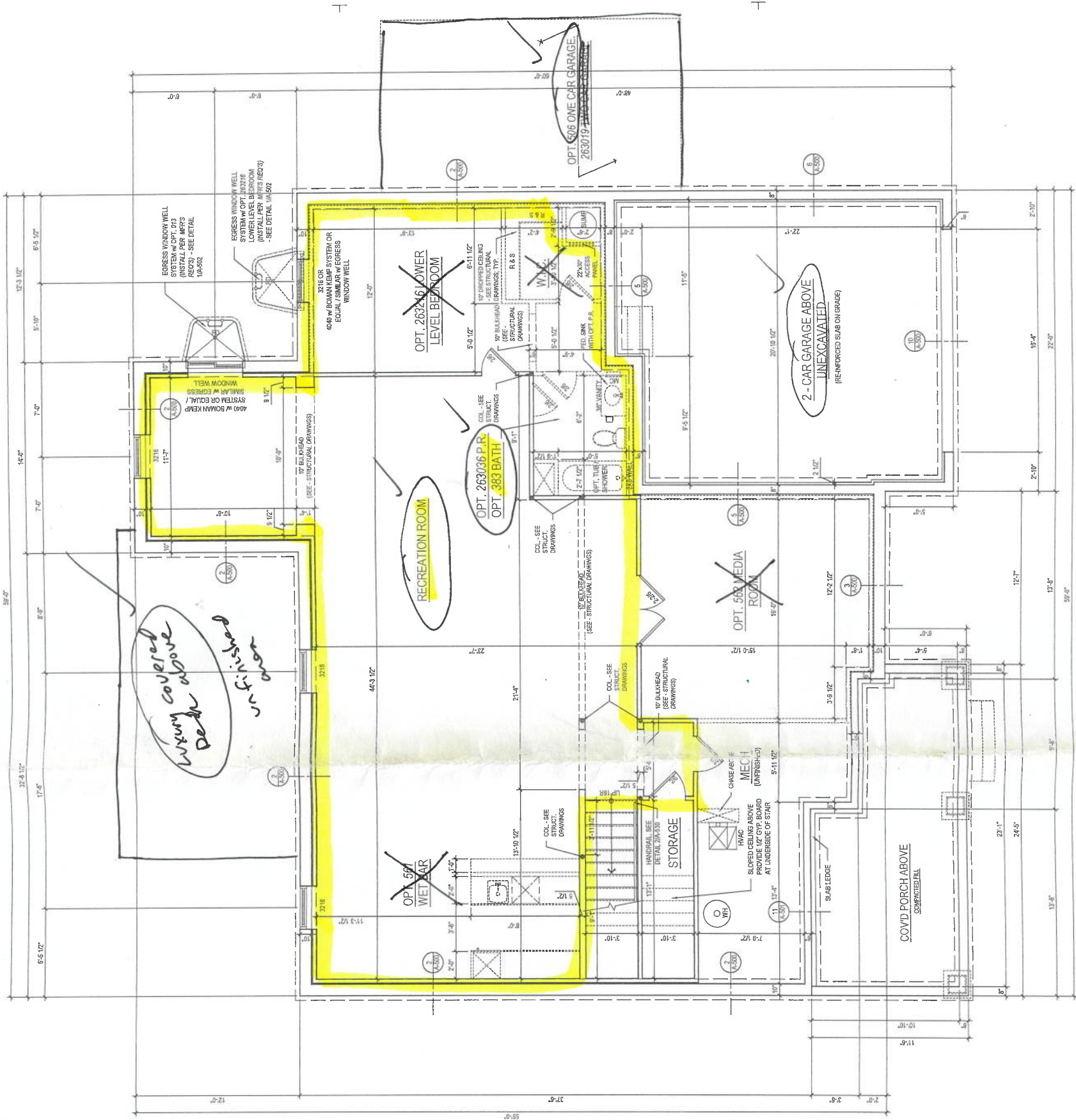
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE ALL OTHERS.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SAFETIES PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM GASH TO GASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

Health Dept

10528 Pudding Lane

Lot 21

King forest



1 BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

TOL0819_A100.dwg

WI OPT. 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN

© FINISHED CONDITION

See add page for "Fairview" ELV

shown

ARCHITECT:

lessard
DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
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SEAL & SIGNATURE:

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TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
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P: 410.872.9105
CONTACT: MARK NOSAL
mnosal@tollbrothersinc.com

PROJECT NAME:

WILLOW CREEK
HOWARD COUNTY, MD

SHEET TITLE:

FLOOR PLANS

PROJECT NO:

A-100a

DRAWN BY:

AKZEM

CHECKED BY:

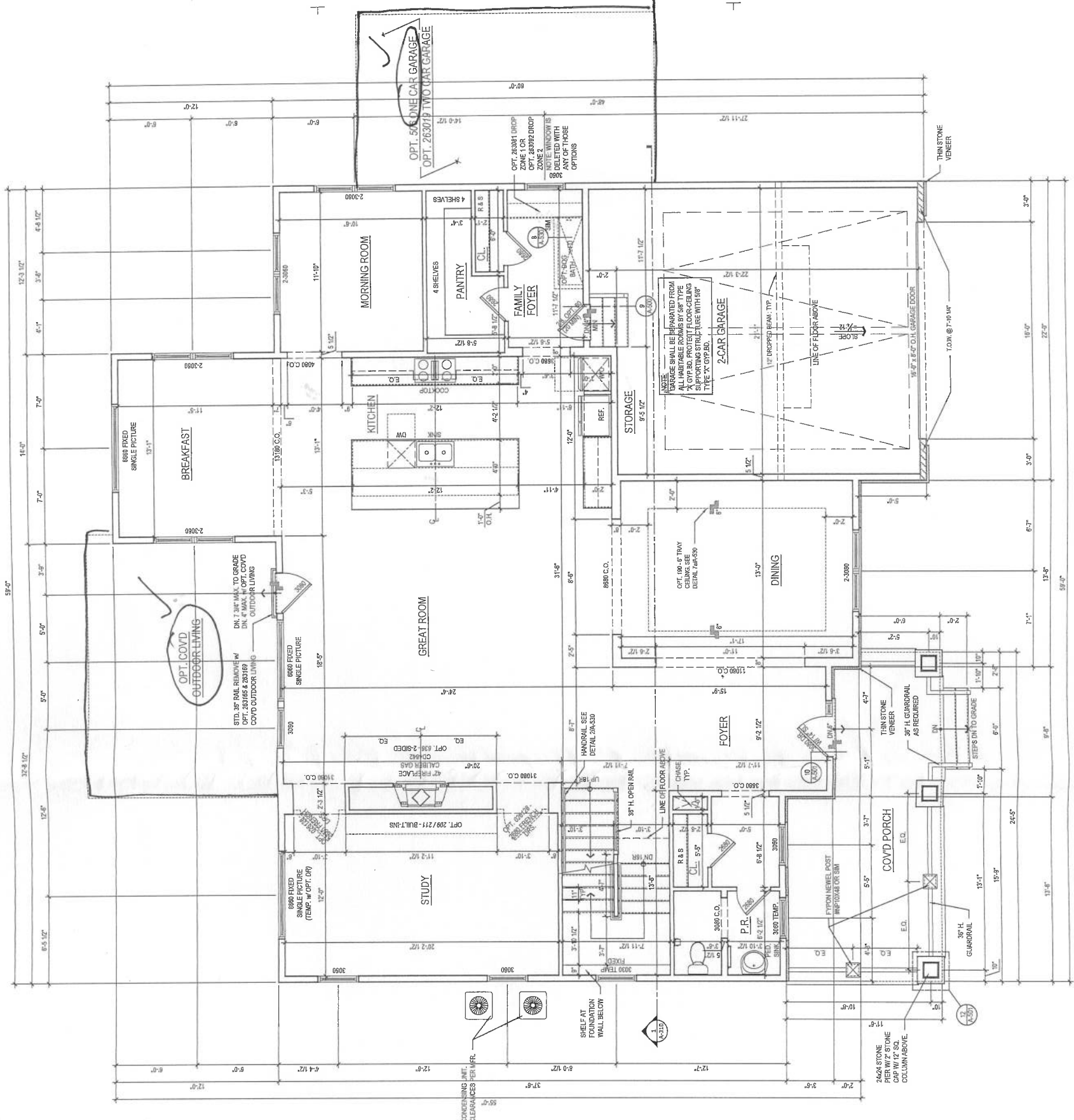
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DATE:

08.15.19

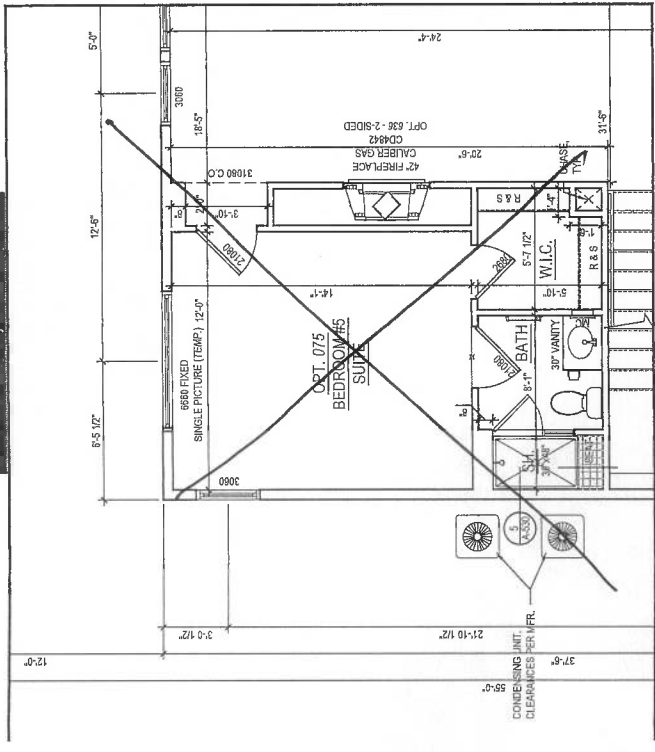
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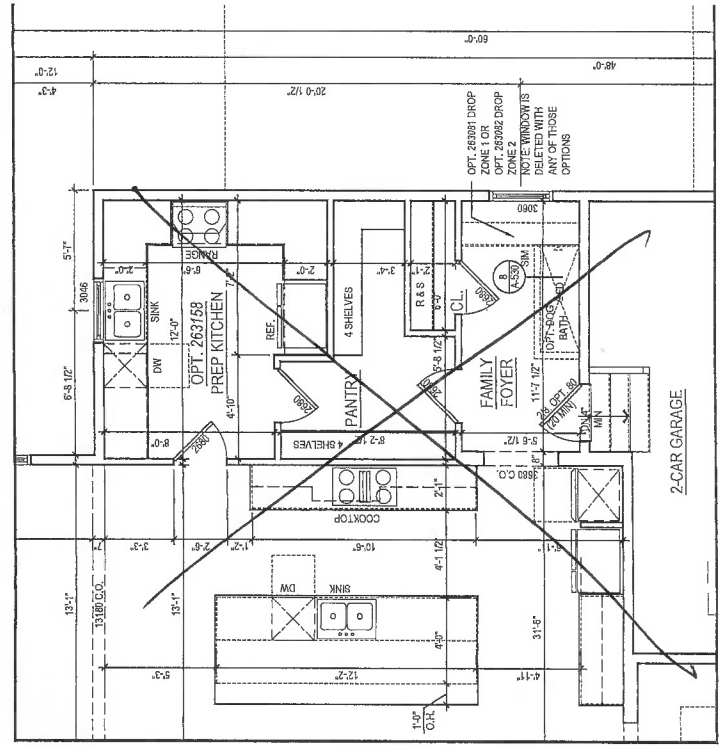


1 FIRST FLOOR PLAN
A-110 SCALE: 1/4" = 1'-0"
TODAY-A-110-0103

- ## GENERAL PLAN NOTES
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 1/2" FOR INTERIOR AND 5/8" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GOVERN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL SHUT DOWN ALL ACCESSIBLE PRAISE UNDER STAIRS.
 - ALL WALLS AND CEILING ARE TO BE PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS SIZE ARE NOTED IN FEET X INCHES AS MEASURED FROM GABH TO GABH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS
 - ALL DOORS ARE TO BE 6'8" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DOOR.
 - WASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



3 PART. FIRST FLOOR PLAN
A-110 SCALE: 1/4"=1'-0"
10/26/2016 JLM/BJG

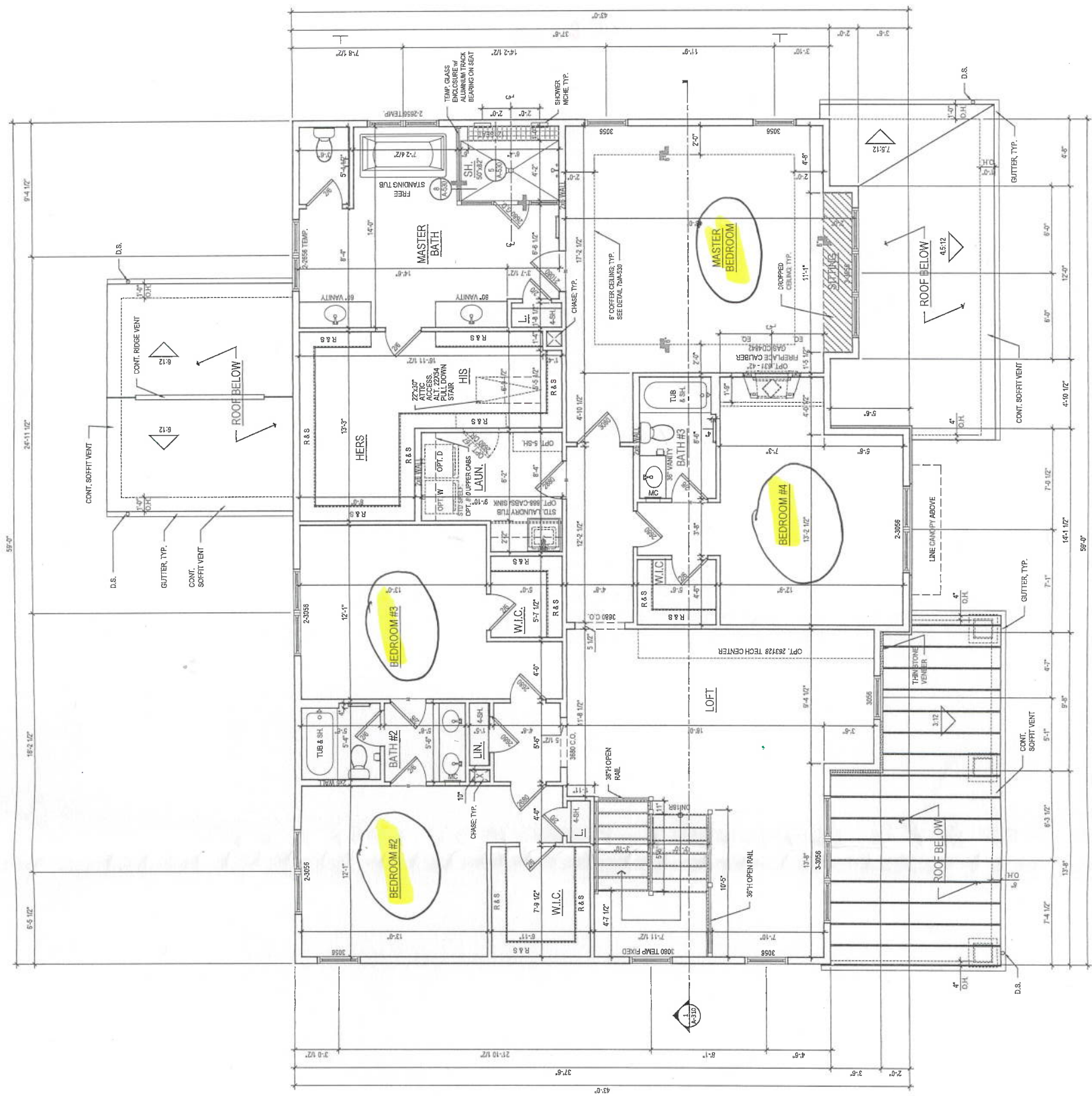


2 PART, FIRST FLOOR PLAN

A-110 SCALE: 1/4"=1'-0"

10/24/2018

W/ OPT. 263158 PREP KITCHEN

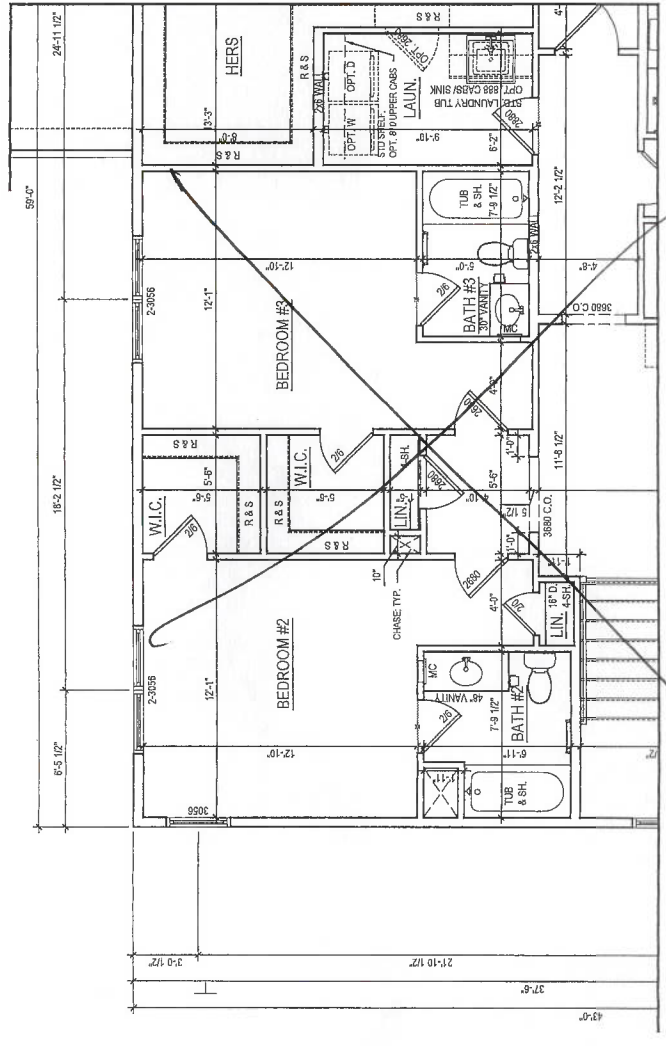


@ELEV. 1 - CRAFTSMAN

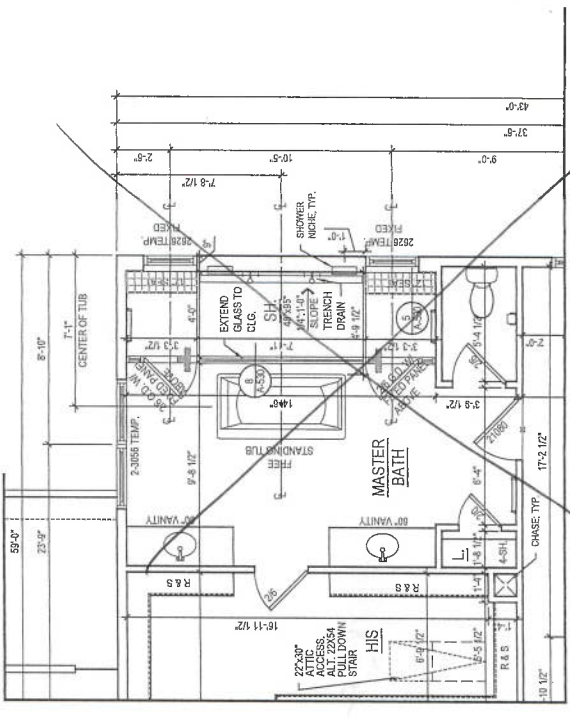
1 SECOND FLOOR PLAN
A-120 SCALE: 1/4"=1'-0"

GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE ROADS OR PAVEMENT STRIPS SHALL BE 18" WIDE AND 1/2" THICK, BASED ON ENCLOSED SIZE WITH 1/2" OF STRIP ON BOARD.
- G. ALL WINDOW SIZES ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 4'-0" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

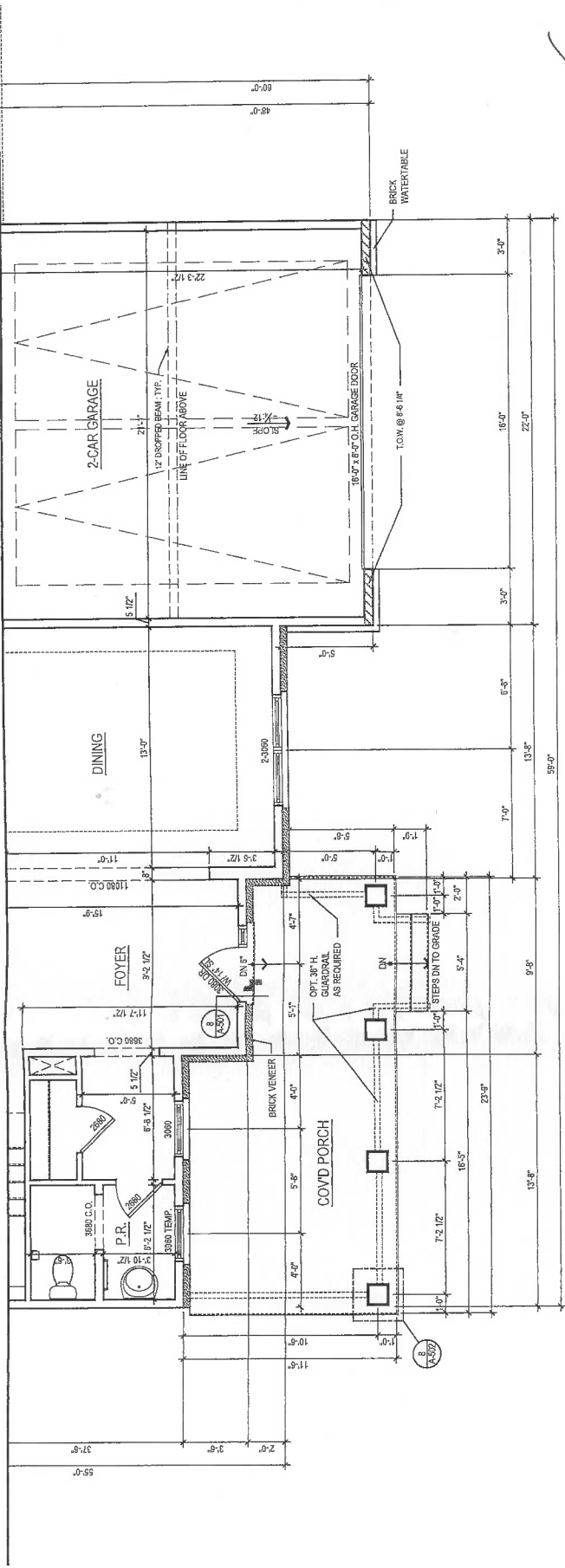


2 ALT. SECOND FLOOR PLAN
A-120 SCALE: 1/4"=1'-0"
TOL094A12.DWG



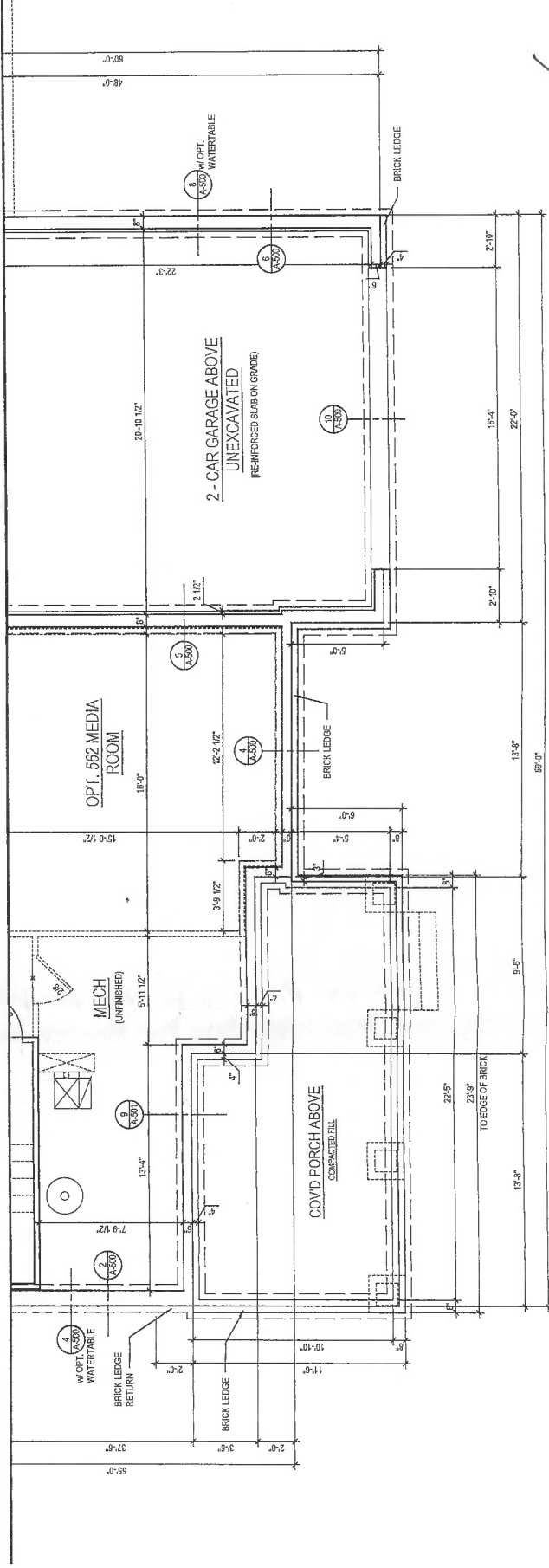
3 PART. SECOND FLOOR PLAN W/ OPT. 055 - LUXURY MASTER BATH

- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SIGHT TO SIGHT.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 FIRST FLOOR PLAN
A-170 SCALE: 1/4"=1'-0"
TOLLORELLA

@ ELEV. 5 - FAIRVIEW



1 BASEMENT PLAN
A-170 SCALE: 1/4"=1'-0"
TOLLORELLA

@ ELEV. 5 - FAIRVIEW

ARCHITECT:

lessard
DESIGN

8521 Leeshing Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessardesign.com

SEAL & SIGNATURE:

OWNER:

TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
P: 410.872.9105
CONTACT: MARK NCISAL
mncisal@tollbrothersinc.com

PROJECT NAME:

WILLOW CREEK
HOWARD COUNTY, MD

FLOOR PLANS

SHEET TITLE:

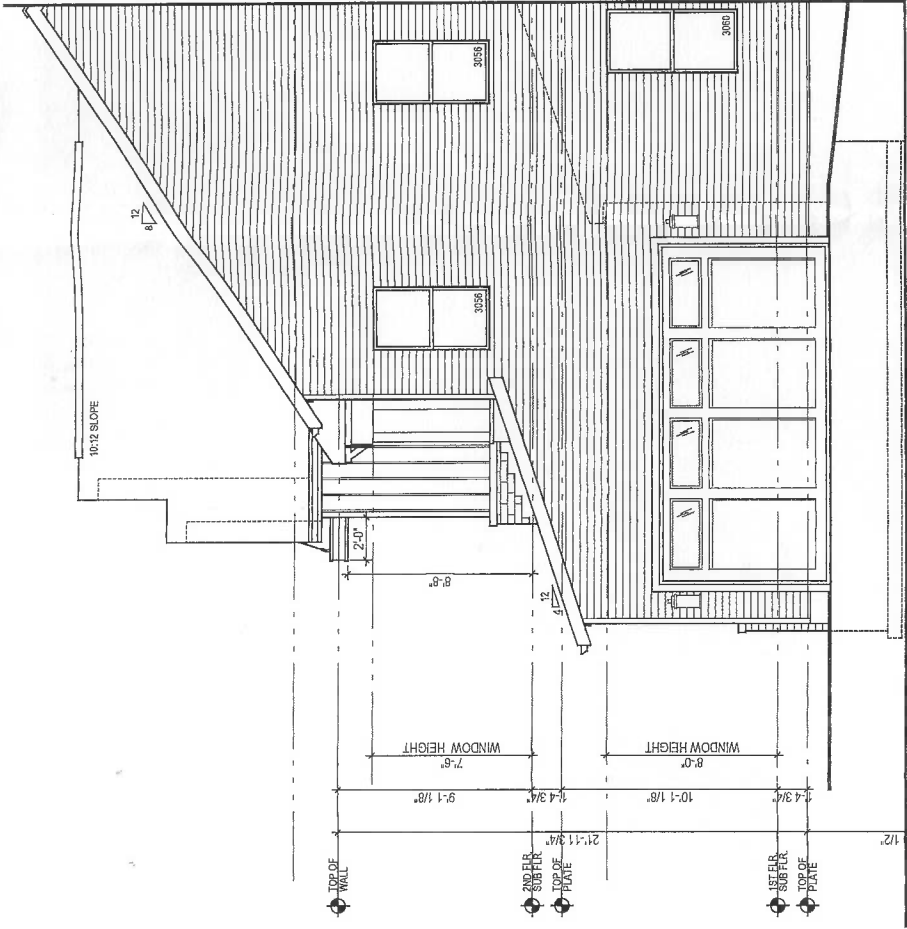
RENWICK

NO.	ISSUE / REVISION	DATE
1	ISSUE / REVISION	08.10.19
2	ISSUE / REVISION	08.10.19
3	ISSUE / REVISION	08.10.19
4	ISSUE / REVISION	08.10.19
5	ISSUE / REVISION	08.10.19
6	ISSUE / REVISION	08.10.19
7	ISSUE / REVISION	08.10.19
8	ISSUE / REVISION	08.10.19
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13	ISSUE / REVISION	08.10.19
14	ISSUE / REVISION	08.10.19
15	ISSUE / REVISION	08.10.19
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19	ISSUE / REVISION	08.10.19
20	ISSUE / REVISION	08.10.19

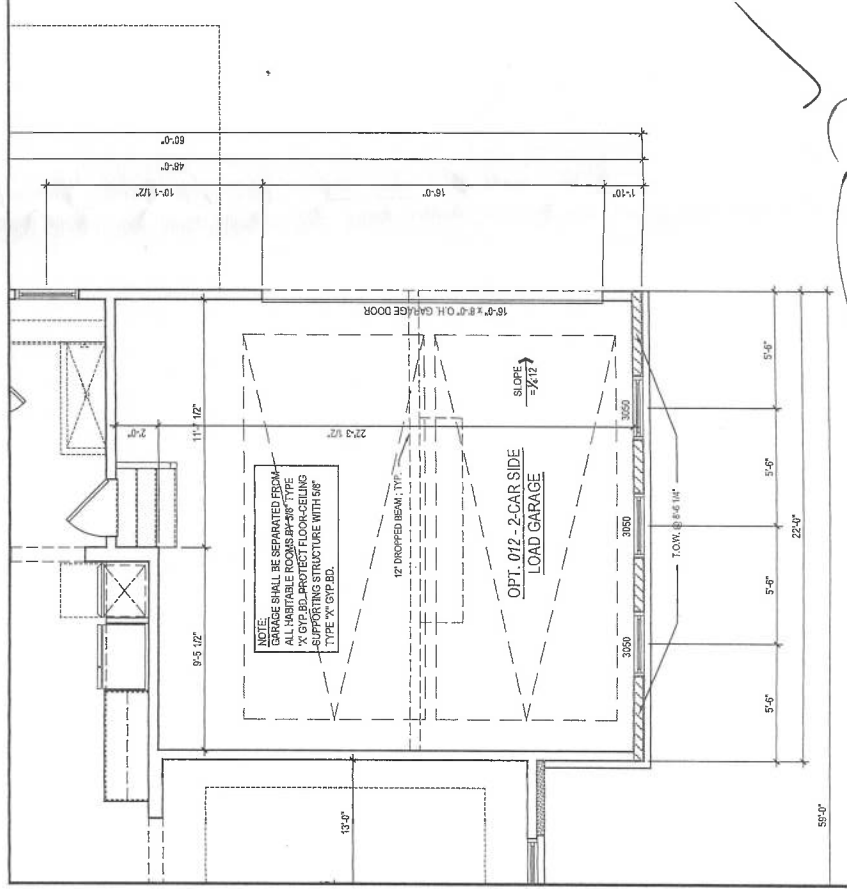
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CHECKED BY: AP
PLOT DATE: Sep. 11, 2019
FILE NAME: TOL081a_A170.dwg

A-170

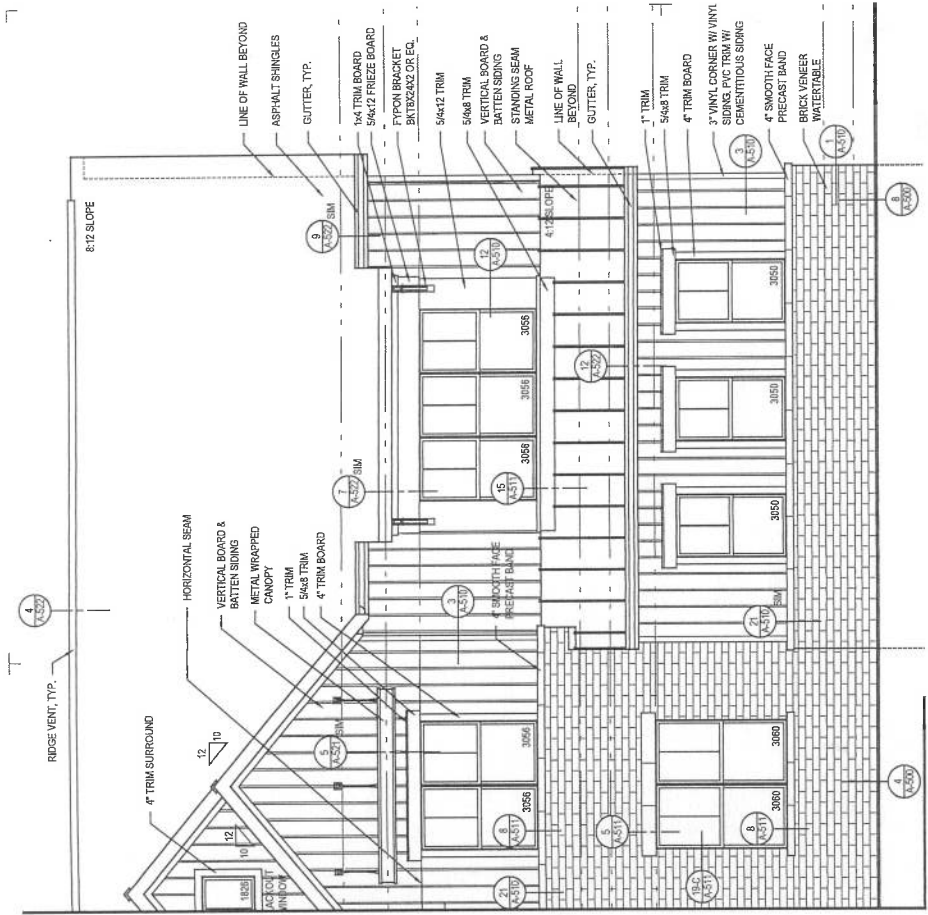
- GENERAL PLAN NOTES
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/12 FOR INTERIOR AND 5/12 FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL BE PROTECTED BY A 1/2" GYPSUM BOARD ENCLOSED SURE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 6'-0" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



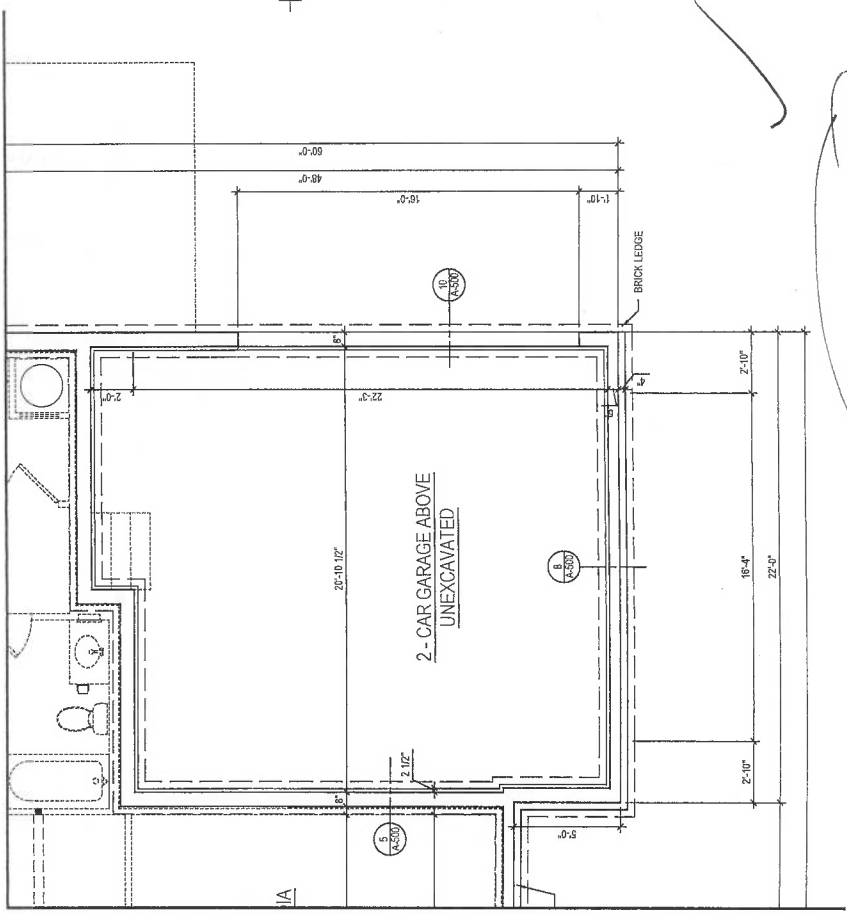
4 PART. RIGHT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
A-400d SCALE: 1/4"=1'-0"
TOLBROS, ANCHORS
ELEV. 5 - FAIRVIEW - SHOWN



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - SIDE LOAD GARAGE
A-400d SCALE: 1/4"=1'-0"
TOLBROS, ANCHORS
ELEV. 5 - FAIRVIEW - SHOWN



3 PART. FRONT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
A-400d SCALE: 1/4"=1'-0"
TOLBROS, ANCHORS
ELEV. 5 - FAIRVIEW - SHOWN



1 PART. BASEMENT PLAN w/ OPT. 012 - SIDE LOAD GARAGE
A-400d SCALE: 1/4"=1'-0"
TOLBROS, ANCHORS
ELEV. 5 - FAIRVIEW - SHOWN

ARCHITECT:

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SEAL & SIGNATURE:

OWNER:

TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
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CONTACT: MARK NCIAL
mncial@tollbrothersinc.com

PROJECT NAME:

WILLOW CREEK
HOWARD COUNTY, MD

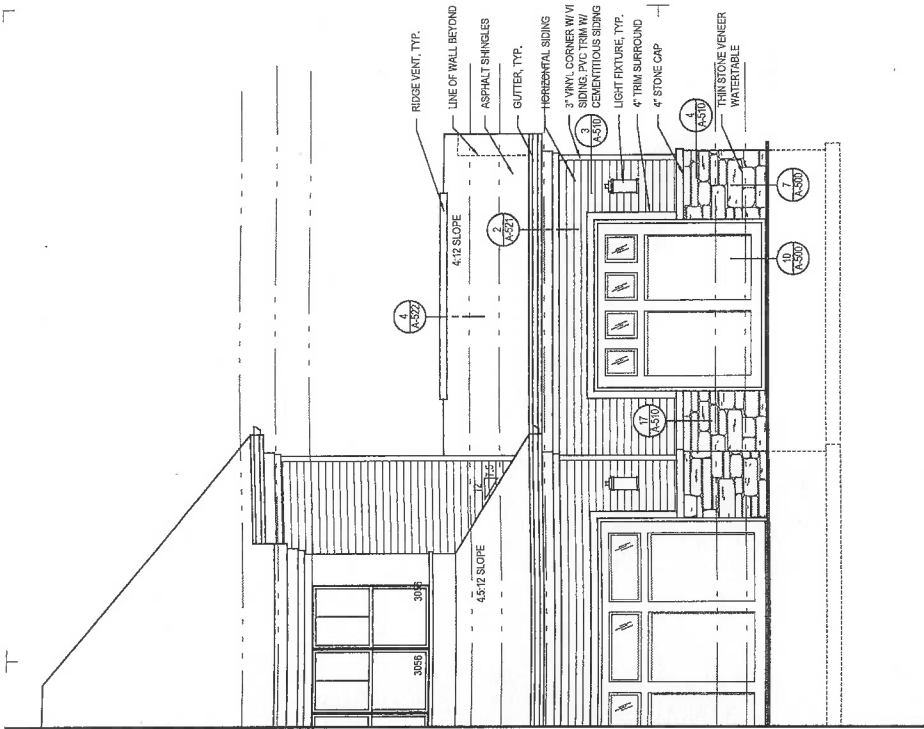
SHEET TITLE:

RENRICK
OPTIONS

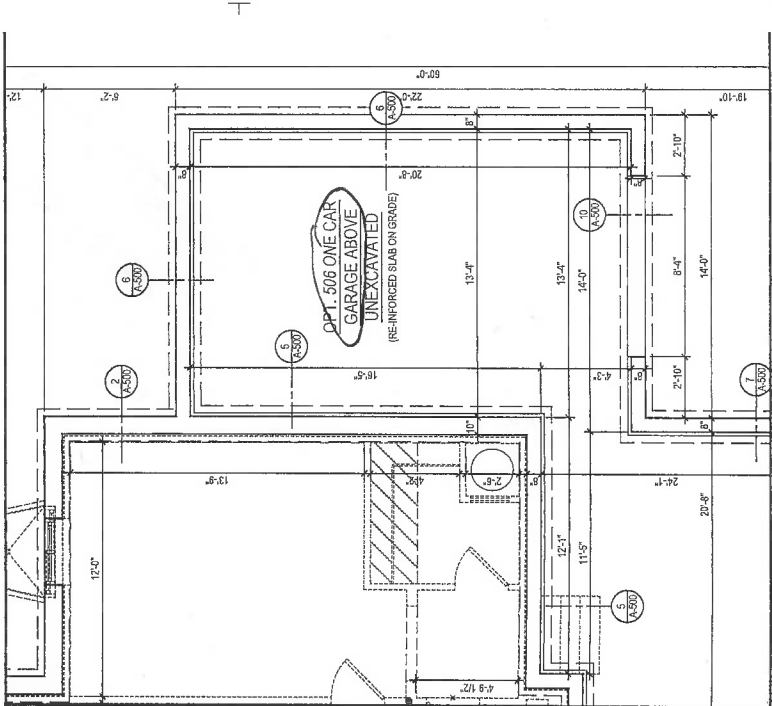
NO.	ISSUE / REVISION	DATE
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20	ISSUE / REVISION	DATE

PROJECT NO: TOL081
DRAWN BY: A2/RL
CHECKED BY: AL
PLOT DATE: Sep. 13, 2018
FILE NAME: TOL081A_A400.dwg

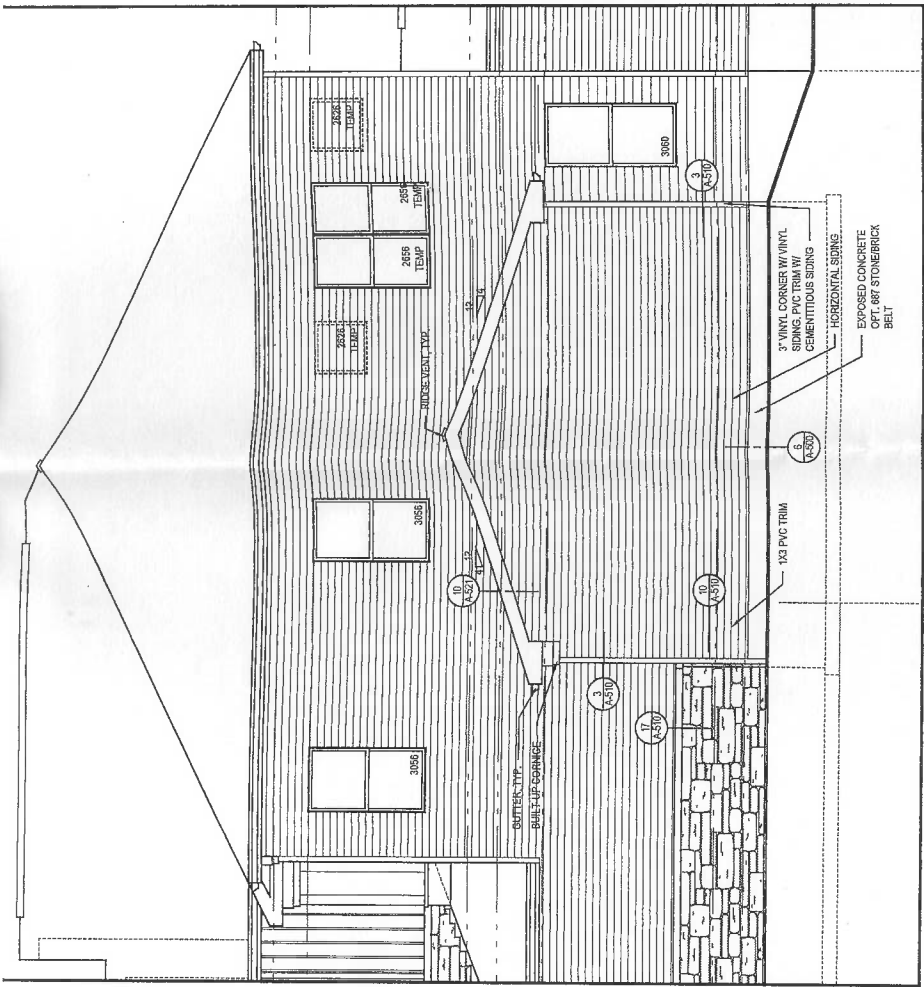
A-400d



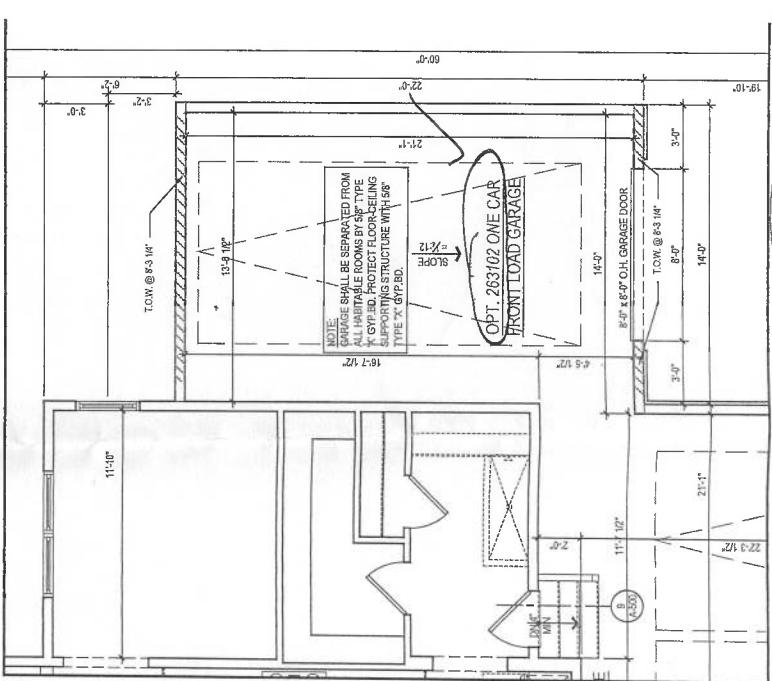
4 PART. FRONT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg



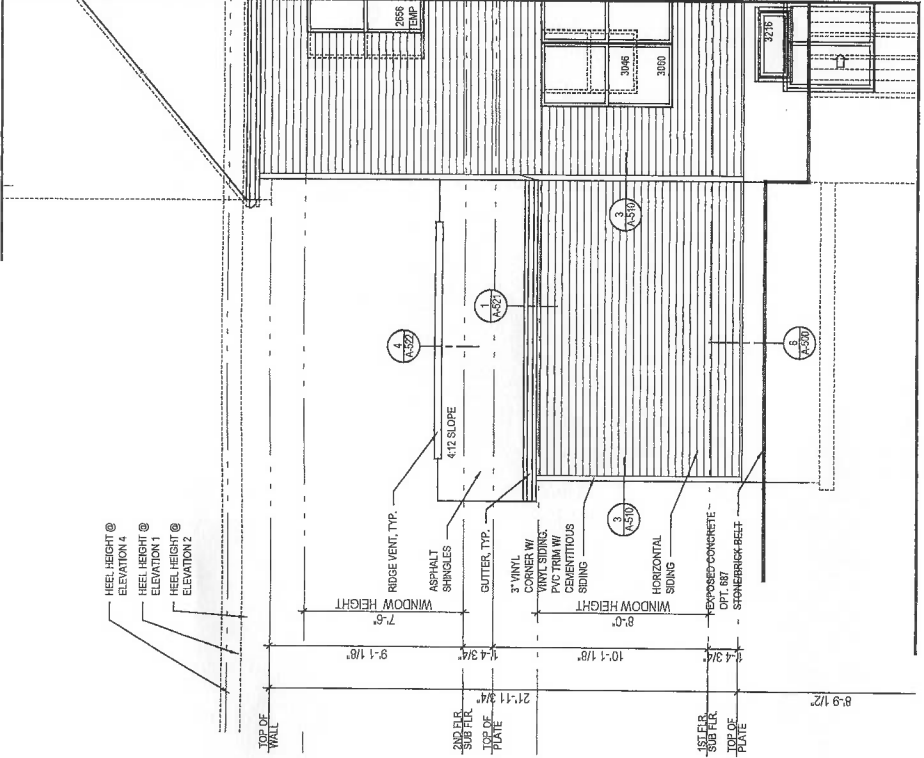
1 PART. BASEMENT PLAN w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg



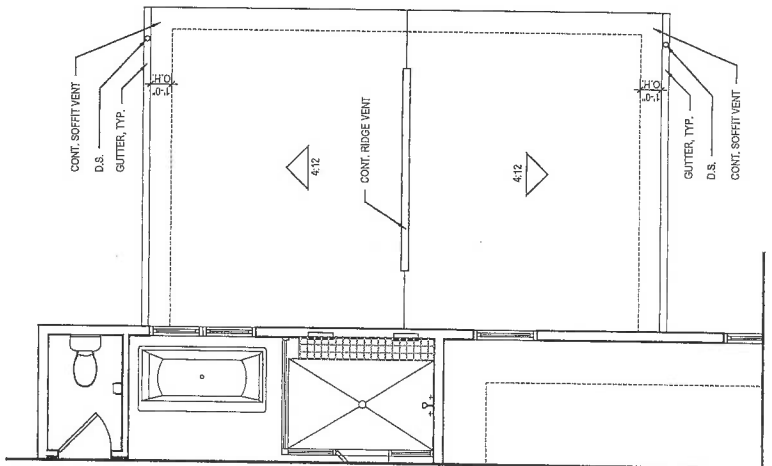
5 PART. RIGHT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg



2 PART. FIRST FLR PLAN w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg



6 PART. REAR ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg



3 PART. SECOND FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE
A-401 / SCALE: 1/4"=1'-0"
TOL081a_A401.dwg

GENERAL PLAN NOTES

- ALL WOOD STUD PARTITIONS NOT DIMENSIONED SHALL BE 16\"/>
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- ALL DIMENSIONS GOVERN OVER SCALE.
- ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES WITH 1/2\"/>
- ALL WINDOWS ARE TO BE MEASURED IN FEET + INCHES AS MEASURED FROM FINISH TO FINISH.
- ALL DOORS ARE TO BE 6'-8\"/>
- ALL DOORS ARE TO BE 6'-8\"/>
- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - ONE CAR GARAGE ROOF	
ROOF AREA	= 275.92 SQ. FT.
/ 300	= 0.92 SQ. FT.
x 12 x 12	= 132.44 SQ. IN.
50% INTAKE	= 66.22 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 5.9 SQ. IN. / FT.)	= 11.22 FT.
SOFFIT VENT - PROVIDED	= 51.06 FT.
50% OUTTAKE	= 66.22 SQ. IN.
RIDGE VENT - REQUIRED (OUTTAKE @ 14.1 SQ. IN. / FT.)	= 4.70 FT.
RIDGE VENT - PROVIDED	= 9.50 FT.

GENERAL PLAN NOTES

A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.

B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.

C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.

D. ALL DIMENSIONS GOVERN OVER SCALE.

E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL DEACTIVATE ALL OTHERS.

F. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS AND SLOTTES PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.

G. ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM FINISH TO FINISH.

H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.

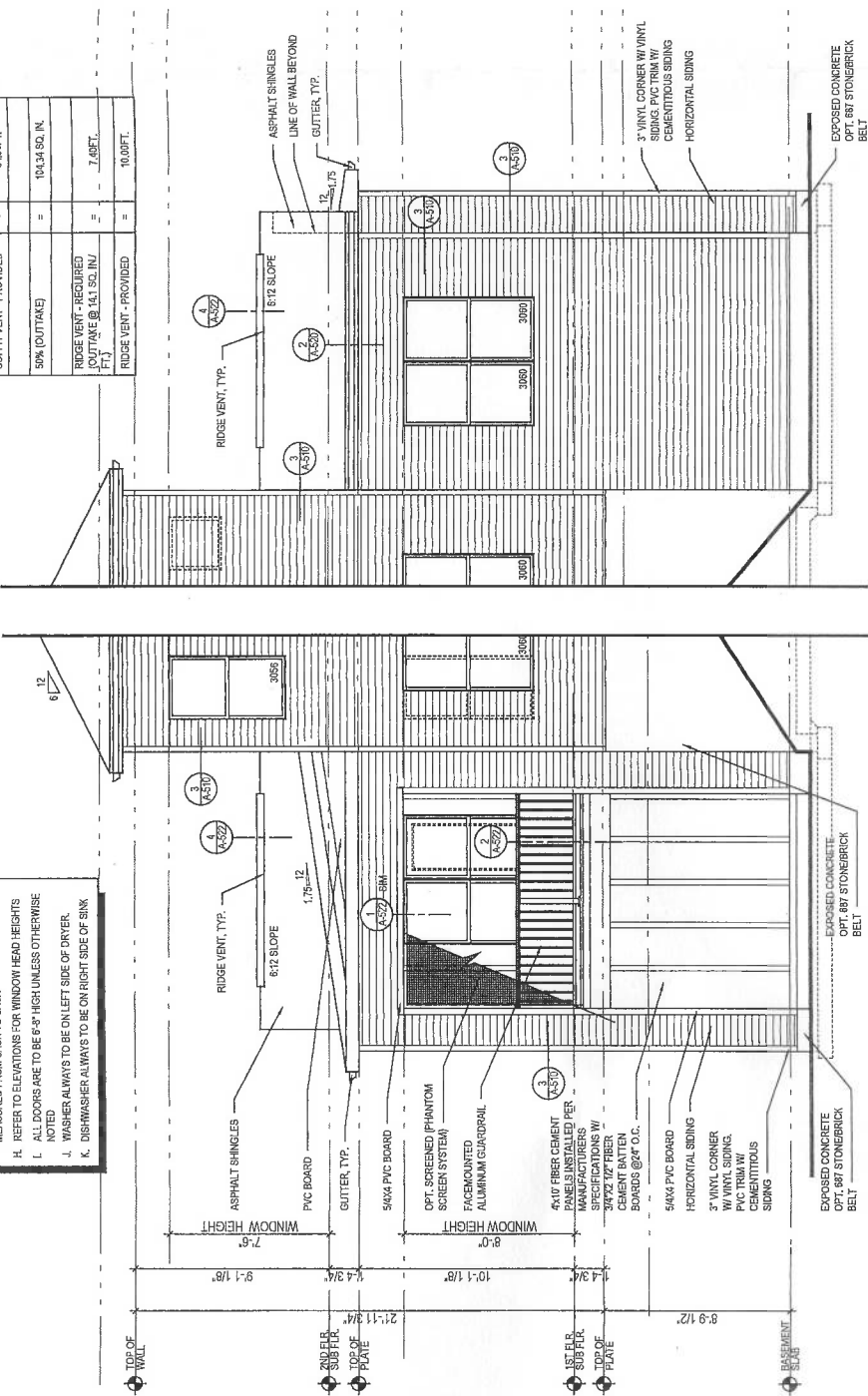
I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.

J. WASHERS ALWAYS TO BE ON LEFT SIDE OF DRYER.

K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - REAR ROOF

ROOF AREA	=	424.75 SQ. FT.
7/300	=	1.45 SQ. FT.
4" x 12" x 12"	=	208.08 SQ. IN.
5/8" (INTAKE)	=	104.34 SQ. IN.
SOFFIT VENT - REQUIRED	=	17.58 FT.
INTAKE @ 5.9 SQ. IN. / FT ²	=	84.38 FT.
SOFFIT VENT - PROVIDED	=	84.38 FT.
5/8" (OUTTAKE)	=	104.34 SQ. IN.
ROOF VENT - REQUIRED	=	7.48 FT.
OUTTAKE @ 14.1 SQ. IN. / FT ²	=	10.0 FT.
ROOF VENT - PROVIDED	=	10.0 FT.

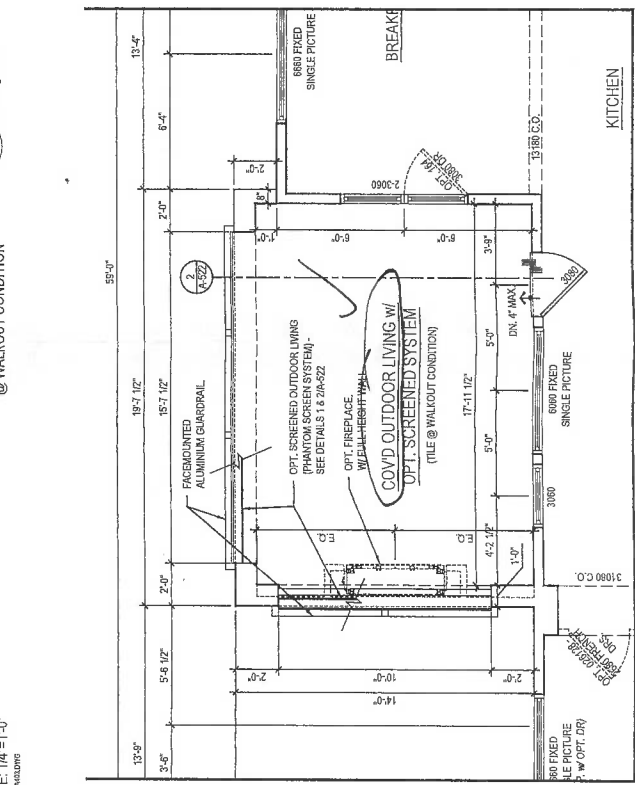


6 PART. LEFT ELEV. w/ OPT. 263165 - COVD OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

5 PART. RIGHT ELEV. w/ OPT. 263165 - COVD OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

4 REAR ELEVATION
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

w/ OPT. 263169 - COVD OUTDOOR LIVING
@ WALKOUT CONDITION

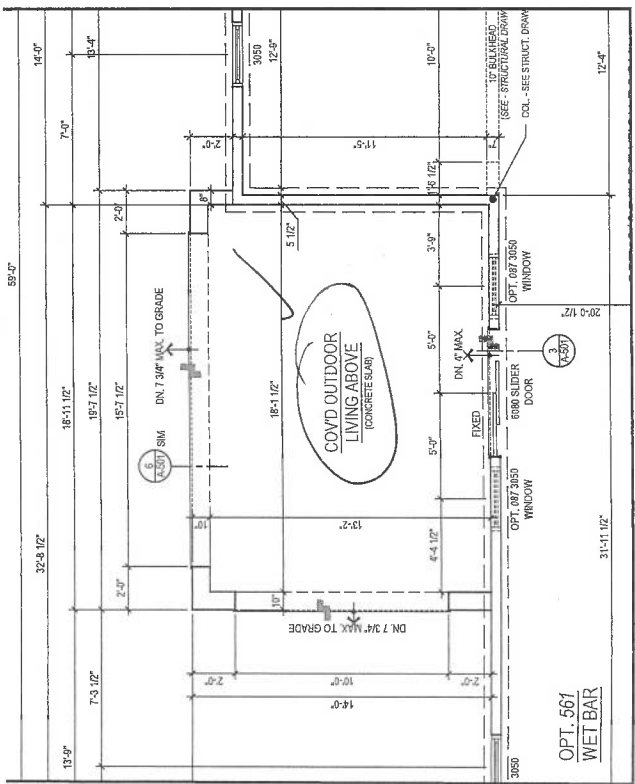


3 PART. SECOND FLOOR PLAN w/ OPT. COVD OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

2 PART. FIRST FLOOR PLAN w/ OPT. 263169 - COVD OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

1 PART. BASEMENT PLAN w/ OPT. 263169 - COVD OUTDOOR LIVING
A-403 SCALE: 1/4"=1'-0"
TOLSON, JENNIFER

w/ OPT. 263169 - COVD OUTDOOR LIVING
@ WALKOUT CONDITION



ARCHITECT:

lessard
DESIGN

8521 Leesburg Pike
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P: 571.650.1800 | F: 571.650.1801
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SEALED SIGNATURE:

OWNER:

TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
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CON: 410.872.3405
michael@tollbrothersinc.com

PROJECT NAME:

WILLOW CREEK
HOWARD COUNTY, MD

SHEET TITLE:

OPTIONS

PROJECT NO:

A-403

PROJECT NAME:

WILLOW CREEK

PROJECT NO:

A-403

PROJECT NAME:

WILLOW CREEK

ISSUE / REVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08.15.19
2	PERMIT SET	09.15.19

PROJECT NO:

A-403

PROJECT NAME:

WILLOW CREEK

PROJECT NO:

A-403

PROJECT NAME:

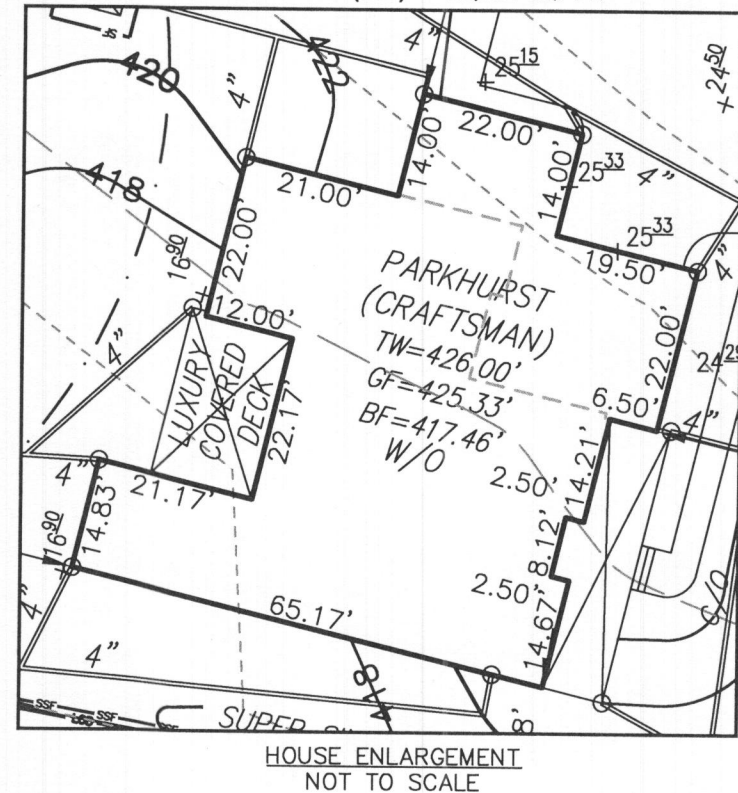
WILLOW CREEK

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

LEGEND:

- BRL BUILDING RESTRICTION LINE
W WELL LOCATION
T.W. TOP OF WALL
G.F. GARAGE FLOOR
B.F. BASEMENT FLOOR
PASSED PERC LOCATION
FAILED PERC LOCATION
SILT FENCE
SUPER SILT FENCE
STONE CONSTRUCTION ENTRANCE
SCE
WELL BOX AREA
PROPOSED TREE
PROPOSED TREE
PROPOSED TREE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 28,324 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE
DEVELOPMENT PLAN SETBACK DISTANCES SHOWN
HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: PARKHURST (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE
FINISHED BASEMENT
WALK-OUT BASEMENT
POWDER ROOM - FINISHED LOWER LEVEL
MULTI GENERATIONAL SUITE ADDITION
OPTIONAL DROP ZONE
ADDITIONAL ONE CAR FRONT ENTRY
LUXURY WALK-OUT COVERED DECK
BEDROOM - FINISHED LOWER LEVEL
DAYLIGHT WINDOW/WELL
WET BAR - FINISHED LOWER LEVEL
MEDIA ROOM - FINISHED LOWER LEVEL
DOUBLE WIDE DRIVEWAY TAIL
WELL NUMBER: HO-18-0150

ADDRESS: 10528 PUDDING LANE
ELLICOTT CITY, MD 21042

OPTION NO. 012
OPTION NO. 013
OPTION NO. 017
OPTION NO. 263036
OPTION NO. 263073
OPTION NO. 263081
OPTION NO. 263102
OPTION NO. 263169
OPTION NO. 263216
OPTION NO. 543
OPTION NO. 561
OPTION NO. 562
OPTION NO. 851

PLOT PLAN
LOT 21
KINGS FOREST
LIBER 11372, FOLIO 431
PLAT NO. 25767
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
T: 410-872-9105

DATE: 05/09/2022 SCALE: 1" = 40' FILE: PP LOT 21 - PARKHURST CRAFTS.
CHK'D: M.J.B. JOB NO: 3502 DRAWN: V.X.P.