



Howard County Health Department

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 03/02/2022 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 570978

APPROVAL DATE: 03/19/2022 **PERMIT: CONSTRUCTION**

A _____

PROPERTY ADDRESS: 12010 Simpson Road - Upgrade

SUBDIVISION: _____ LOT: _____ TAX ID: 05-344832

CONTRACTOR: South Carroll Backhoe EMAIL: Southcarroll@a-carroll.net

CONTRACTOR ADDRESS: 4410 Salem Bottom Rd, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Maria Van Buren EMAIL: _____

OWNER ADDRESS: 12010 Simpson Rd PHONE: _____

SEPTIC TANK SIZE (GALLONS): 1500 TANK MANUFACTURER: _____

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: ☒ GRAVITY ☐ PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 0.6

TRENCHES:	LINEAR FEET REQUIRED:	<u>187.5 FT</u>	INLET DEPTH:	<u>4 FT</u>
	TRENCH WIDTH:	<u>3 FT</u>	MAXIMUM BOTTOM DEPTH:	<u>8'</u>
	MINIMUM SPACE BETWEEN TRENCHES:	<u>10 FT</u>	EFFECTIVE AREA BEGINNING DEPTH:	<u>4.5'</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.			
NOTES:	<u>Install 3 trenches @ 62.5'</u> <u>RED LINED BY HOME OWNER 11/16/2021 TO LOWER SEWER OUT OF HOUSE</u> <u>BED LINE IN STONE OR ROCK DUST</u>			

ISSUED BY: CABAHUG 001997 ISSUE DATE: 03/10/2022 EXPIRATION DATE: 03/10/2023

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

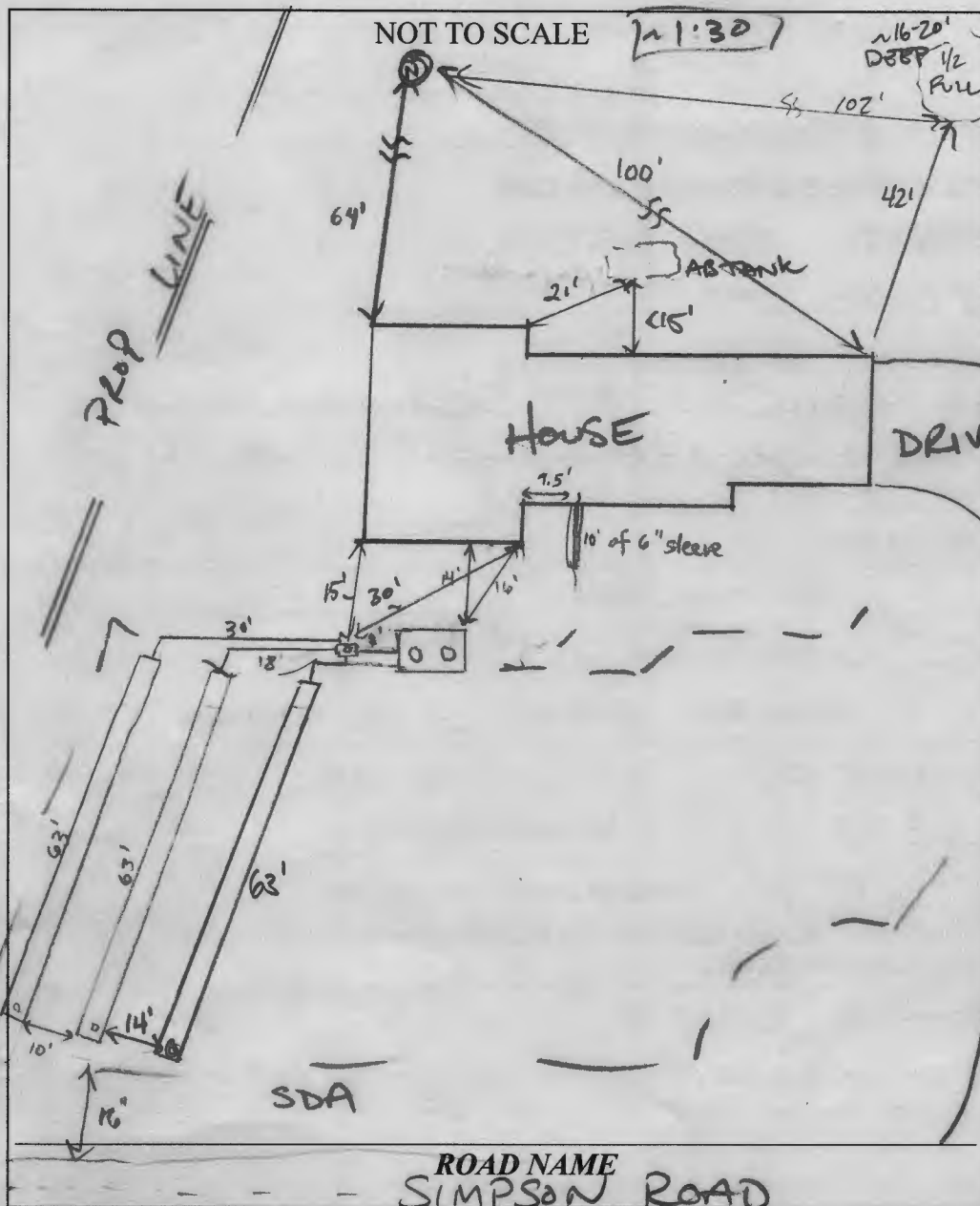
☐ ELECTRICAL PERMIT ISSUED E _____

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES	3	
TOTAL LENGTH	189 F	
ABSORPTION AREA	567 SF + 3.5' SIDE WALL	
DISTRIBUTION BOX LEVEL	SPEED	
DISTRIBUTION BOX BAFFLE	CONCRETE	
DISTRIBUTION BOX PORT	485	

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	1500 GAL
SEAM LOC	top
TANK LID DEPTH	2'
BAFFLES	+ Outlet
BAFFLE FILTER	-
MANHOLE LOC	inlet + Outlet
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	yes
DATE ON LID	2-10-22

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

03/10/2022 LAID OUT 3x 63' TRS ON CENT. OK TO MOVE D Box TO T3. *PD*

INSTALLATION: 03/18/2022 INSTALLED UPPER TRENCH. *CP* 2/21/22 SHC constructed, SL partially installed. 10' of SL coming out of house is sleeved in 6" and bedded in stone. Tank set, d-box set and second 63' trench installed. *SP*
 03/29/2022 EX DN + TANK PUMPED @ INSPECTION BY AJ McDONALD (13-13)
 FINAL TR COMPLETE D BOX LEVELLED W/ SPEED LEVELS. *CP*

FINAL INSPECTOR

Joseph Calahorra

DATE OF APPROVAL

03/29/2022

Oswald, Hank

From: Oswald, Hank
Sent: Wednesday, September 1, 2021 8:54 AM
To: Brian Johnson; Randy Bachtel
Subject: RE: OSDS Plan_12010 Simpson Road

Hi Brian:

Good morning. The OSDS Plan has been approved. There was no need for the variance request to reduce the septic tank setback to the foundation since the proposed tank met the 10 ft setback to the house w/o the basement & 20 ft to the house w/ the basement. Moving forward, we need the well abandonment report for the old well prior to issuing the septic permit for the installation of the new septic system.

Let me know if you have any questions.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
(410) 313 - 1786
hoswald@howardcountymd.gov

From: Brian Johnson <bjohnson@bprsurveying.com>
Sent: Monday, August 16, 2021 5:05 PM
To: Randy Bachtel <rbachtel@bprsurveying.com>; Oswald, Hank <hoswald@howardcountymd.gov>
Subject: RE: OSDS Plan_12010 Simpson Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good Afternoon Mr. Oswald,

Below are comment responses in red to your comments from April.

A General statement of revisions is as follows:

A new well was dug within the well envelope. The new well has been shown on the OSDS Design Plan and the envelope has been removed. I met the contractor on-site on 8/16/2021. We staked the trench locations and took a rod shots. Field Elevations have been labeled on the plan. After shifting the septic tank closer to the trenches and having actual rod shots, it was determined that gravity could be achieved.

Please use this link to access the latest revised plan. I will mail hardcopies tomorrow.

Thanks,

Brian S. Johnson

Land Development Practice Leader



150 Airport Drive, Unit #4

Westminster, MD 21157

(O) 410-857-9030

From: Randy Bachtel <rbachtel@bprsurveying.com>

Sent: Monday, April 26, 2021 10:34 AM

To: Brian Johnson <bjohnson@bprsurveying.com>

Subject: FW: OSDS Plan_12010 Simpson Road

Randy Bachtel, President

BPR, Inc.

150 Airport Drive Unit 4

Westminster, MD 21157

Office Number: 410-857-9030

From: Oswald, Hank <hoswald@howardcountymd.gov>

Sent: Monday, April 26, 2021 10:04 AM

To: Randy Bachtel <rbachtel@bprsurveying.com>

Cc: Maria Van Buren <mariavanburen125@gmail.com>

Subject: OSDS Plan_12010 Simpson Road

Hi Randy:

The following comments pertain to the review of the OSDS Plan for 12010 Simpson Road.

- 1.) Show approved SDA on OSDS Plan. The SDA has been slightly modified near tanks. (See attached plan). Any changes to the SDA shall require a revised perc cert plan.
The approved SDA has been shown on the OSDS Plan.
- 2.) Show emergency storage calculation. "The pump chamber must have the capacity to accommodate a pump positioned on a six inch riser, one dose volume, and one day's design flow storage capacity above the high water alarm."
Not Applicable. Gravity Septic achieved.
- 3.) Show pump tank 20 feet from house foundation. Pump tank is within 20 feet of the setback to the house. The homeowner may ask for a waiver to the setback if that portion of the house is on crawlspace. Simplified floor plans will be needed for the waiver.
A Waiver has been included with this submission.
- 4.) Raise trench inverts to 2 feet for better use and design of the trench.
Not Applicable. Gravity Septic achieved.
- 5.) Change FM to 2 inch for lower friction loss/within the table limits. (See attached Table 4.4; 2.62)
Not Applicable. Gravity Septic achieved.
- 6.) Minimum dose is $1/6^{\text{th}}$ design flow. $7 \times 150/\text{room} = 750/6 = 125$ gallons.

Not Applicable. Gravity Septic achieved.

7.) Show total dynamic head calculation.

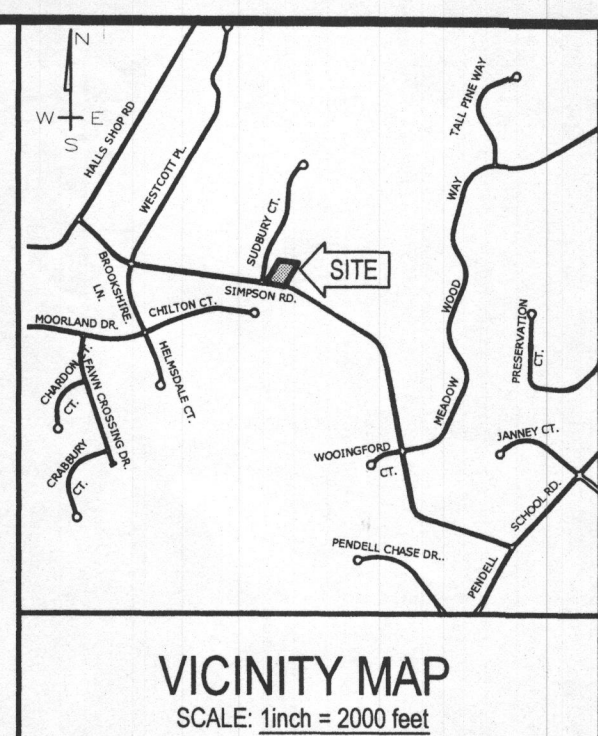
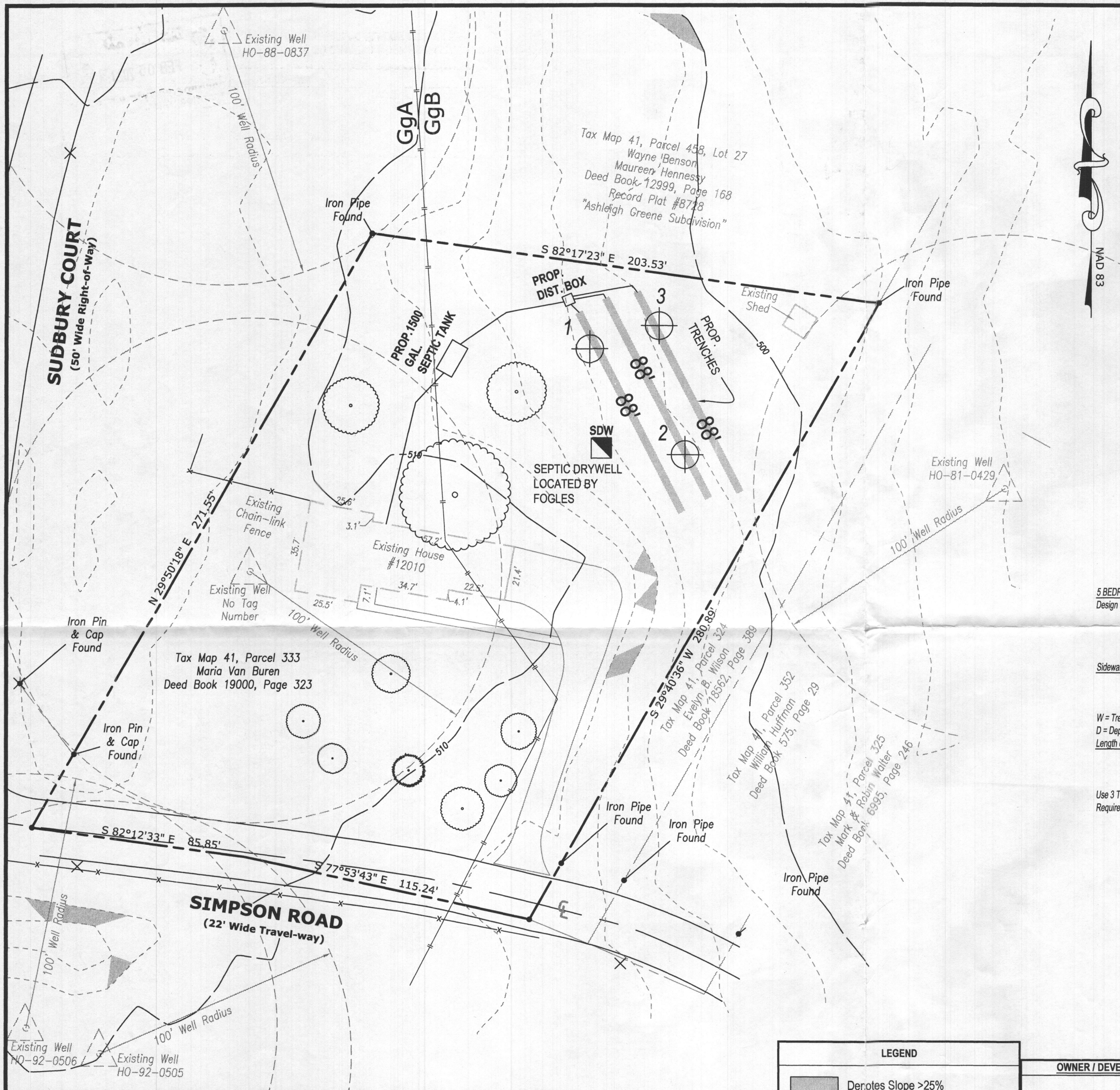
- Not Applicable. Gravity Septic achieved.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

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Columbia, MD 21045
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- GENERAL NOTES**
- Current Title Reference
Owner - Maria Van Buren
Deed reference - Liber 19000 Folio 323
Date - October 31, 2019
Grantor - Eva E. Bryan
- This area designates a private sewage area of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
 - The lot shown herein complies with the minimum ownership, width, and lot area as required by the Maryland Department of the Environment.
 - Existing wells, septic systems, and sewage disposal areas within 100' of the property and those wells within 200' down gradient of existing or proposed septic systems or sewage disposal areas have been shown.
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 - It is the responsibility of the homeowner to coordinate a backhoe onsite the day of the percolation test to perform the excavations (a list of contractors who do perc testing may be made available upon request). Test locations must be adequately staked prior to testing.
 - Per deed history this parcel was created prior to March 1972 (Liber 455 Folio 224), therefore a 10,000 Sq. Ft. Septic reserve area is not required. A septic reserve area large enough to accommodate one (1) initial and two (2) replacements systems must be proposed.

5 BEDROOM DESIGN
Design flow - 150 Gal./Br.
5br. x 150 Gal. = 750 Gal. = Design Flow
Application Rate of 1.2
DF ÷ AR =
750 ÷ 1.2 = 625 Sq. Ft. of Drain Field
Sidewall Reduction Credit
 $\frac{W+2}{W+1+2(D)} \times 100\% = \frac{3+2}{3+1+2(4)} = 12\%$
 $0.42 \times 100 = 42\%$
W = Trench Width
D = Depth
Length of Trench
DF Sq. Ft. = 625 X Sidewall Reduction 42%
 $625 \text{ Sq. Ft.} \times 0.42 = 262.5 = 263 \text{ Ft. Length of Trench}$
 $\frac{263}{3} = 87.6 \text{ (Each System)}$
Use 3 Trenches - 88 Ft. Each
Requires 3 systems

- DATA BLOCK**
- Zoning District : RR-DEO
 - Number of Lots: 1
 - Total area of Lot: 1.1800 Acres

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND				
SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP	K-VALUE
GgA		B	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	0.2
GgB		B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	0.2

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

HEALTH OFFICER, HOWARD COUNTY HEALTH DEPARTMENT

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: [Signature] DATE: 2/05/20

- LEGEND**
- Denotes Slope >25%
 - Denotes sewage disposal areas
 - Denotes Proposed Well
 - Denotes Existing Well
 - Denotes Percolation Test
 - Denotes Percolation Test Passed
 - Denotes Percolation Test Failed
 - Denotes Septic Dry Well

PERCOLATION TESTING PLAN
12010 SIMPSON RD
5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP - 41 GRID - 1 PARCEL - 333

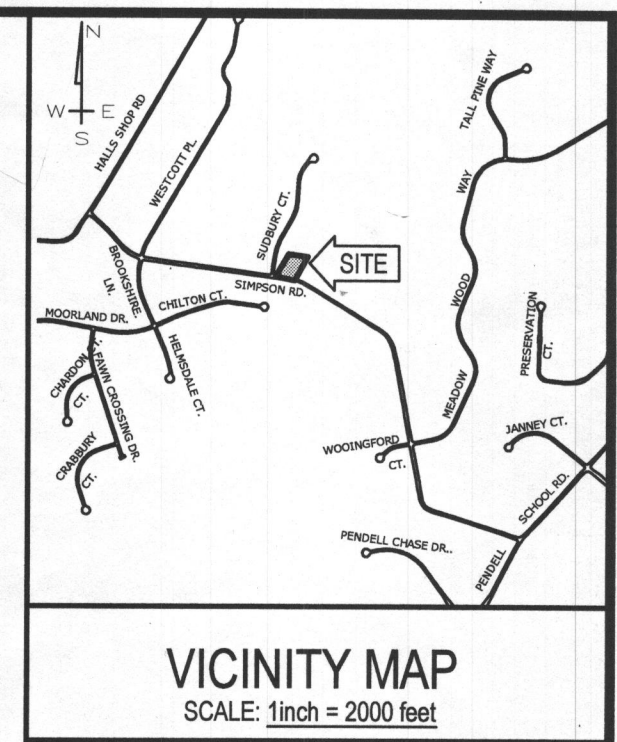
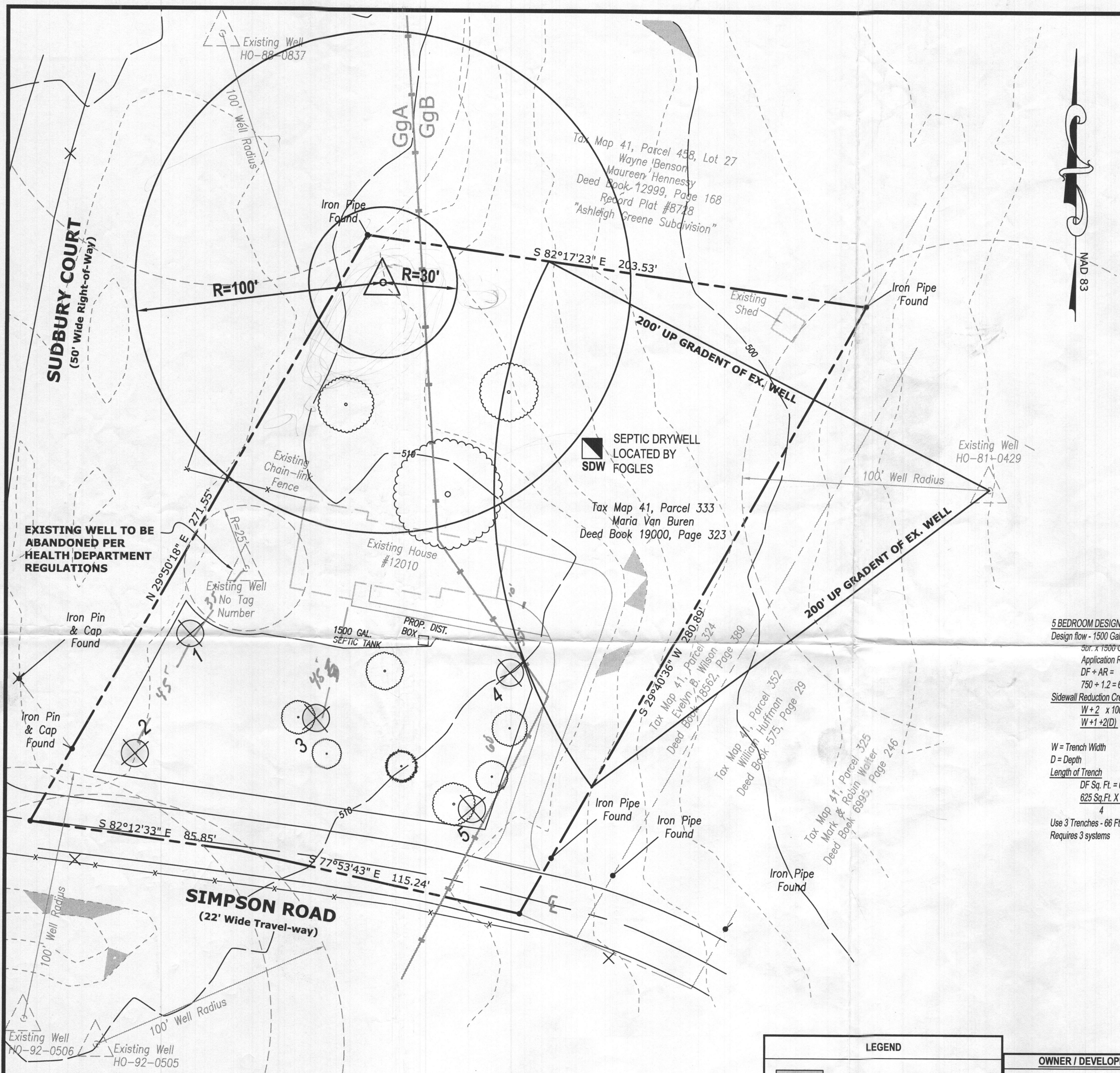
OWNER / DEVELOPER	DATE	REVISIONS	BY
Maria Van Buren 12010 Simpson Road Clarksville, MD 21029-1722			

Surveyed By M. T. Ashley/A. Leppo Computed By S. M. Landis Drawn By S. M. Landis Checked By R. L. Bachtel BPR Job No. 19-099-000	
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BPR INC
SURVEYORS - LAND PLANNERS
150 Airport Drive
Suite 4
Westminster, Maryland 21157
Phone: (410)-857-9030
or (410)-876-0333
Fax: (410)-876-1532
www.bprsurveying.com

Date: January 8, 2020 Scale: 1 inch = 30 feet

A licensed Maryland Surveyor either personally prepared the Survey as shown hereon, or was in responsible charge over its preparation and the surveying work reflected in it, in compliance with the Maryland Minimum Standards of Practice for Land Surveyors.



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W = Trench Width
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$$\frac{625 \text{ Sq. Ft.} \times 0.42}{4} = 262.5 = 263 \text{ Ft. Length of Trench}$$

= 66' (Each System)
Use 3 Trenches - 66 Ft. Each
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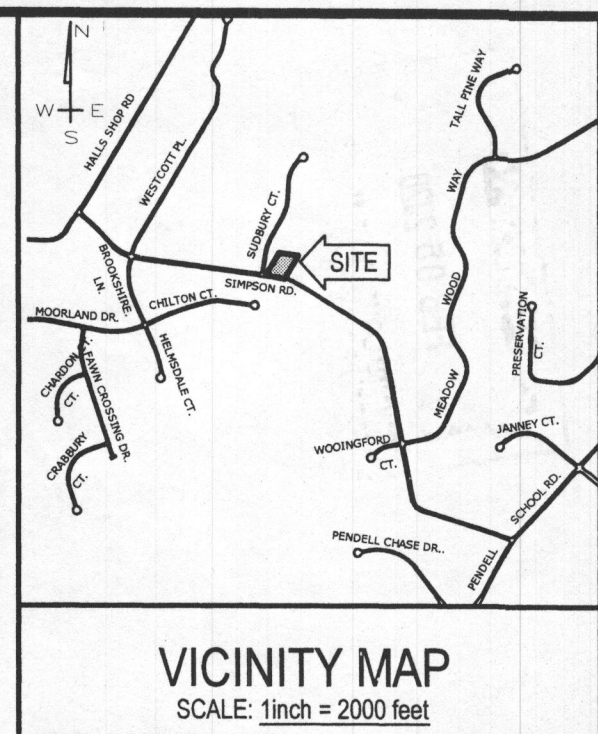
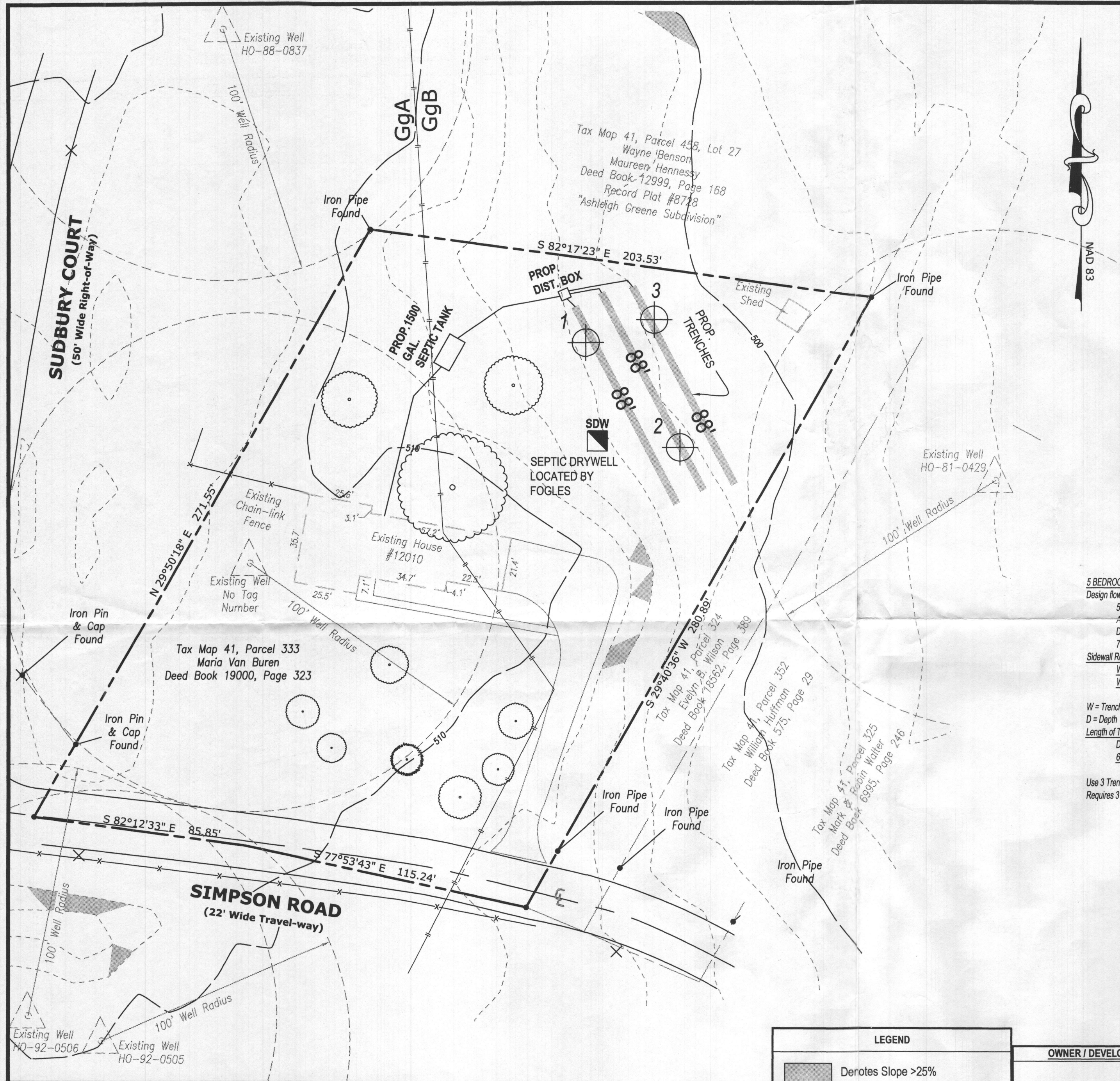
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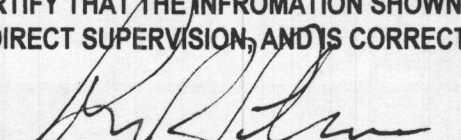
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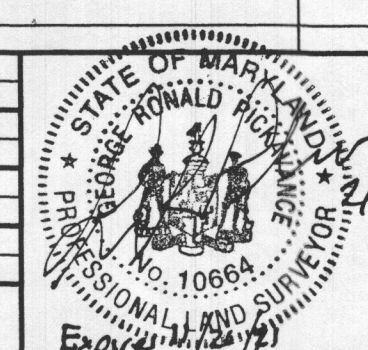
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Date: January 8, 2020 Scale: 1 inch = 30 feet

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Z:\19-099-000 - 12010 Simpson Road\Drawings\12010 Simpson Road\Locations.dwg PERC TEST 18 X 24, 1/6/2020 9:13:38 AM
Bath