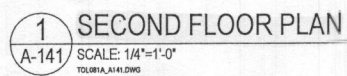


- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 1 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GP CYSPUM BOARD.
- G. ALL WINDOWS SIZE TO BE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-4" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



✓

lessard
DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
P:571.830.1800 | F:571.830.1801
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SEAL & SIGNATURE:

OWNER:

TOLL BROTHERS

7164 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
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CONTACT: MARK NOSAL
mnosal@tollbrothersinc.com

EXECUTIVE SERIES

WILLOW CREEK
HOWARD COUNTY, MD

RENWICK

FLOOR PLANS

PROJECT NAME:

SHEET TITLE:

[illegible]

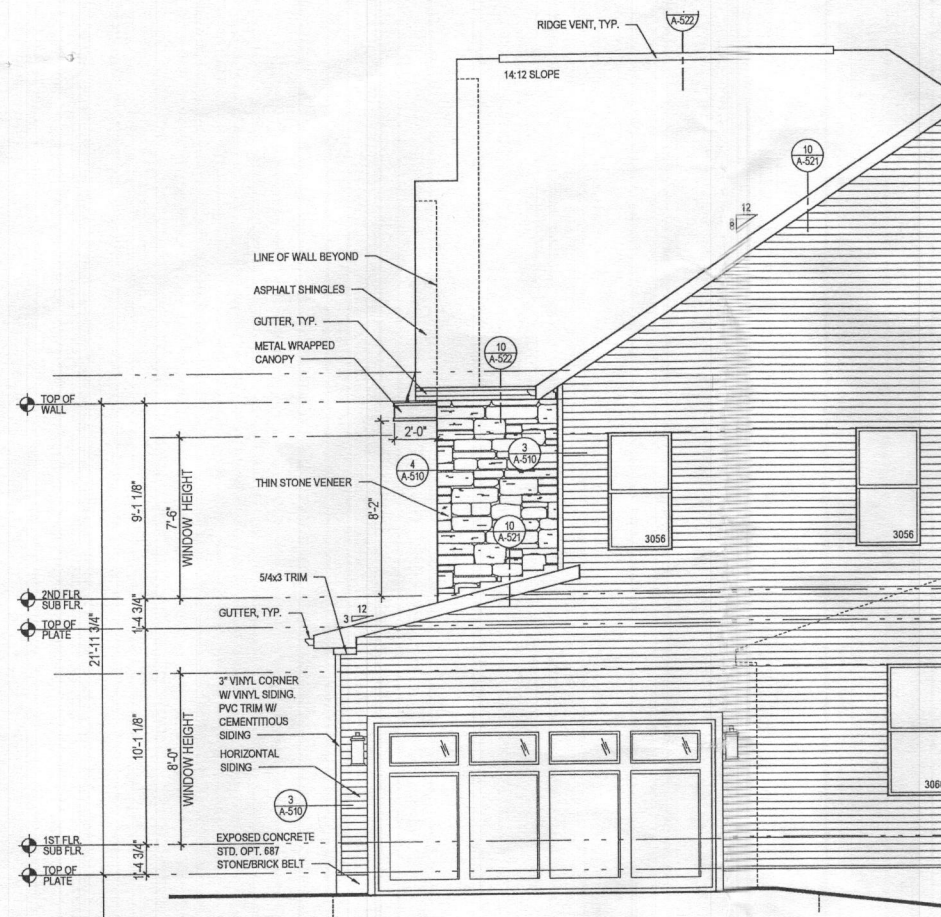
PROJECT No:	TOL081
DRAWN BY:	AC/R
CHECKED BY:	A
PLOT DATE:	Sep. 13, 201
FILE NAME:	TOL081a_A141.dwg

A-141

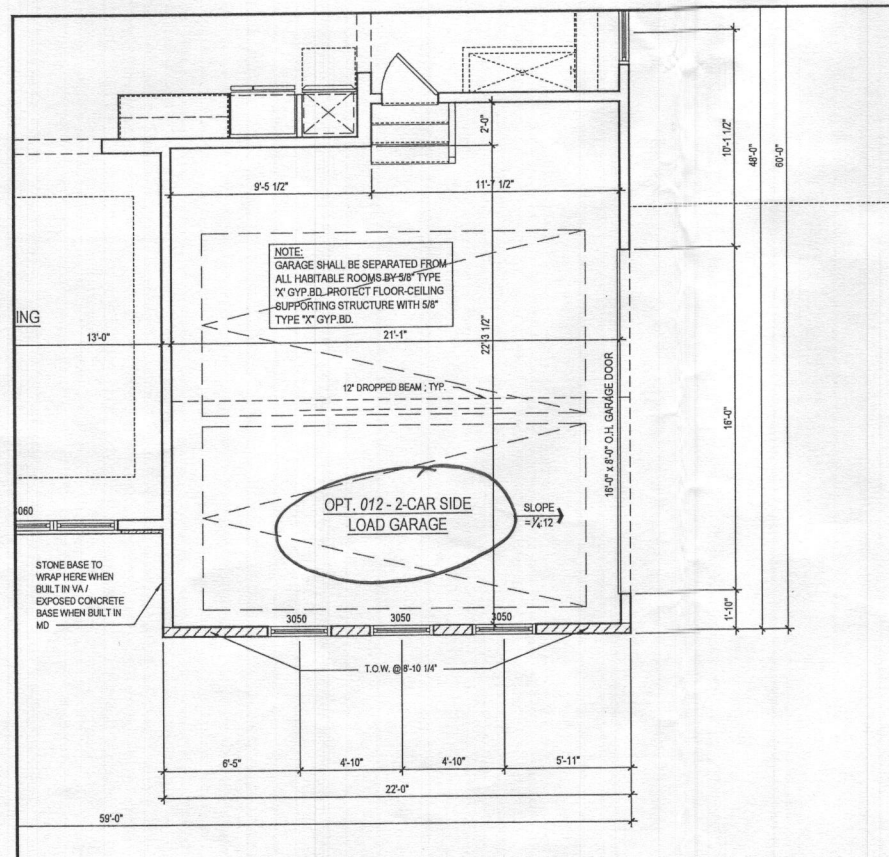
Plot By: anaik

GENERAL PLAN NOTES

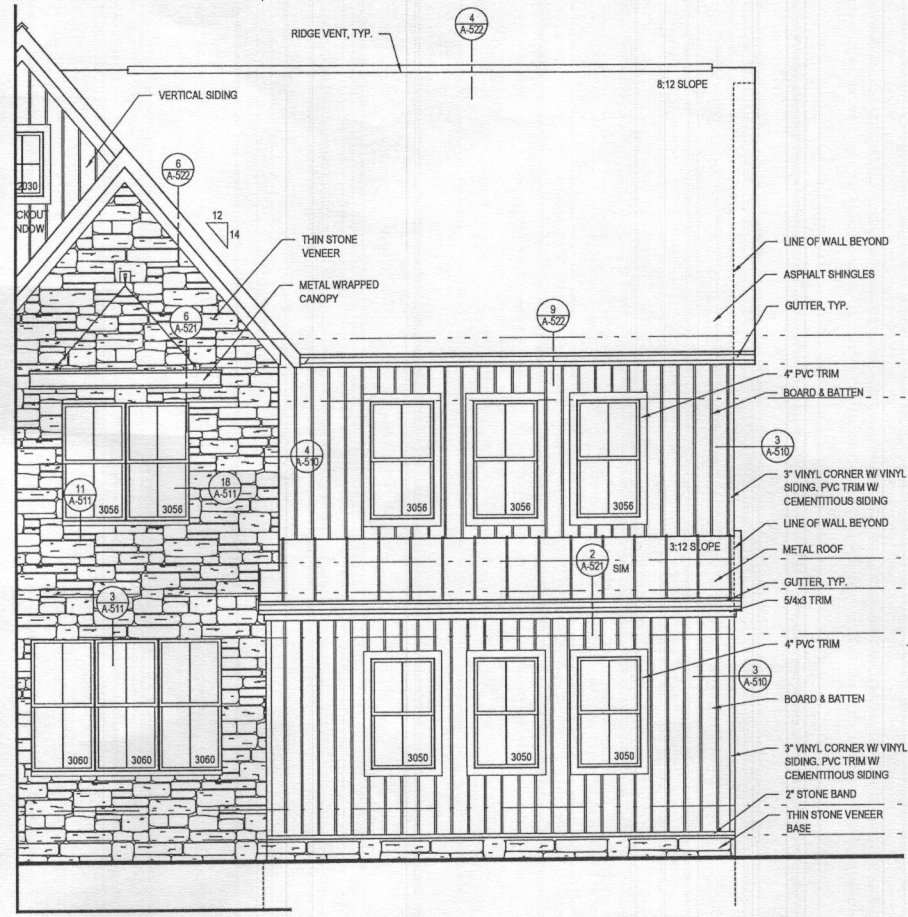
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- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
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- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



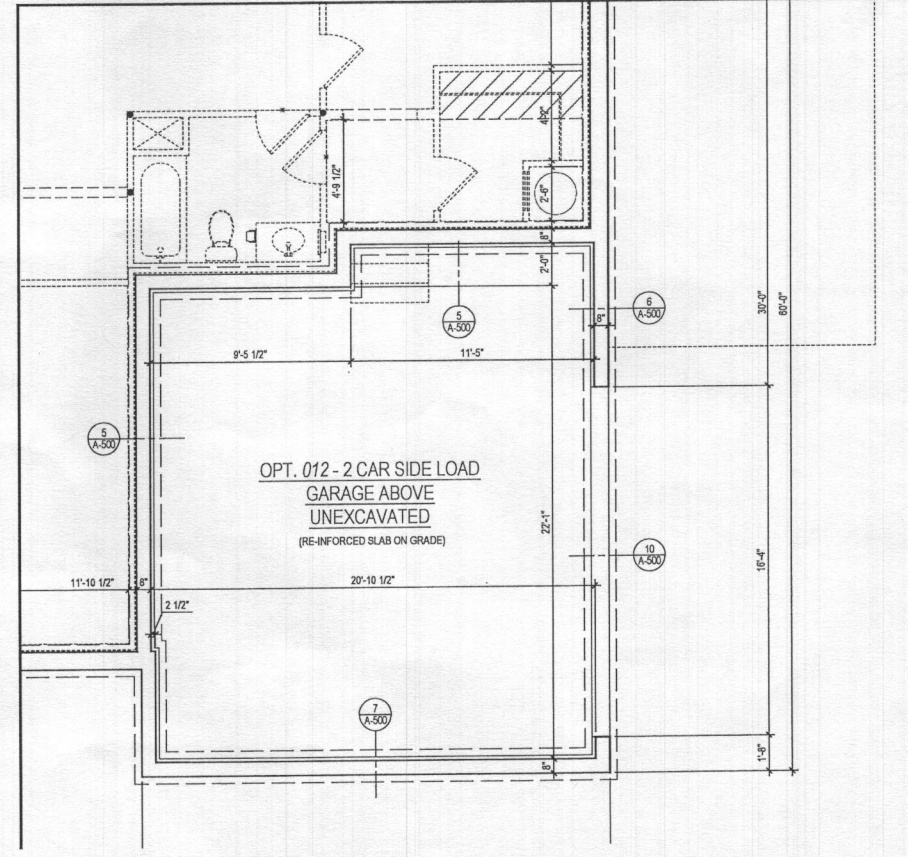
4 PART. RIGHT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 2 - MODERN FARMHOUSE - SHOWN



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 2 - MODERN FARMHOUSE - SHOWN

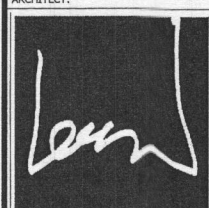


3 PART. FRONT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 2 - MODERN FARMHOUSE - SHOWN



1 PART. BASEMENT PLAN w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 2 - MODERN FARMHOUSE - SHOWN

ARCHITECT:



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 mnosal@tollbrothersinc.com

PROJECT NAME:
 WILLOW CREEK
 HOWARD COUNTY, MD

RENWICK
OPTIONS

SHEET TITLE:

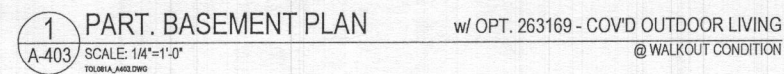
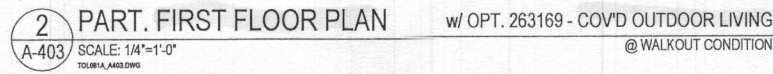
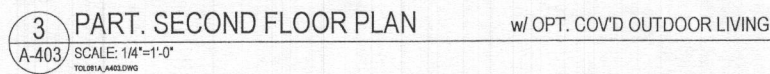
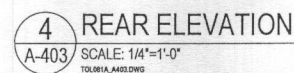
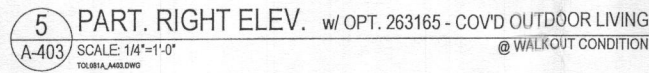
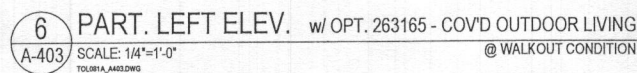
ISSUE / REVISION		
NO.	DESCRIPTION	DATE
BID SET		08.19.19
PERMIT SET		09.16.19

PROJECT NO: TOL081a_A400.dwg
 DRAWN BY: AC/RN
 CHECKED BY: AP
 PLOT DATE: Sep. 13, 2019
 FILE NAME: TOL081a_A400.dwg

A-400b

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 1 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK

ROOF AREA	=	434.75 SQ. FT.
/ 300	=	1.45 SQ. FT.
x 12 x 12	=	208.68 SQ. IN.
50% (INTAKE)	=	104.34 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 5.9 SQ. IN./ FT.)	=	17.68FT.
SOFFIT VENT - PROVIDED	=	64.90FT.
50% (OUTTAKE)	=	104.34 SQ. IN.
RIDGE VENT - REQUIRED (OUTTAKE @ 14.1 SQ. IN./ FT.)	=	7.40FT.
RIDGE VENT - PROVIDED	=	10.00FT.



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mnosal@tollbrothersinc.com

EXECUTIVE SERIES

RENWICK OPTIONS

PROJECT NAME:

[illegible]

PROJECT No:	TOL081a
DRAWN BY:	AC/RN
CHECKED BY:	AF
PLOT DATE:	Sep. 13, 2015
FILE NAME:	TOL081a A403.dwg

A-403

GENERAL PLAN NOTES

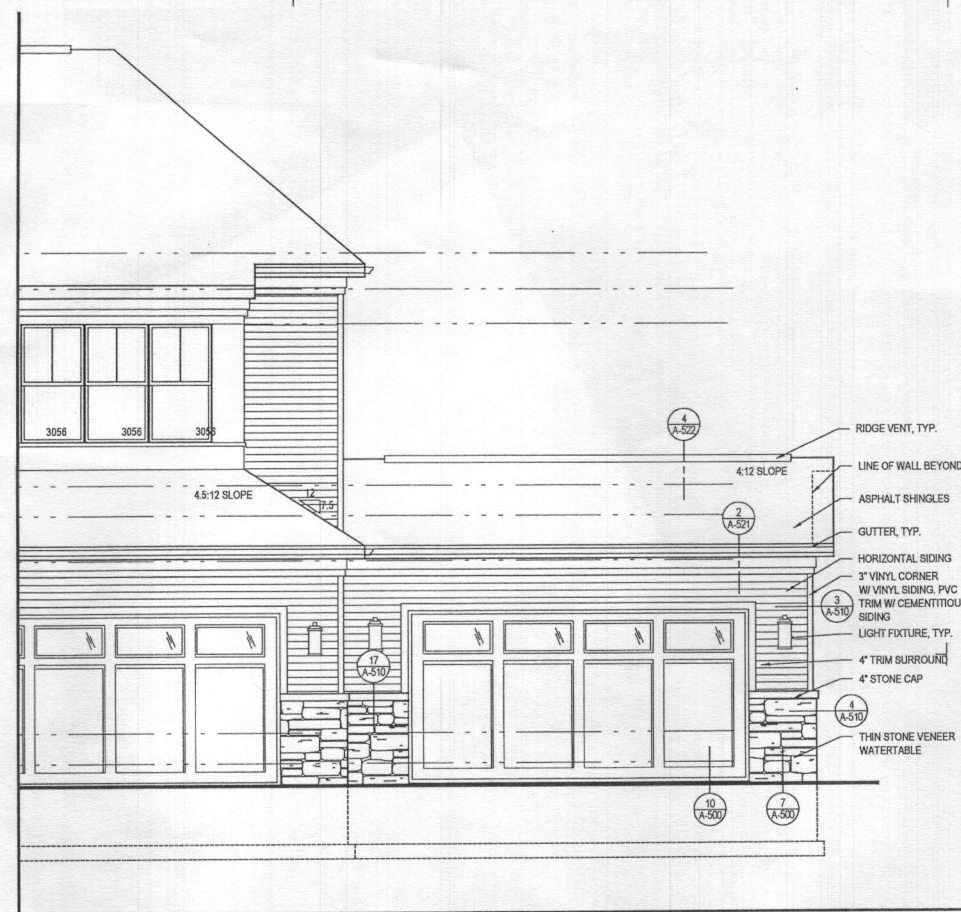
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
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- WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - TWO CAR GARAGE ROOF

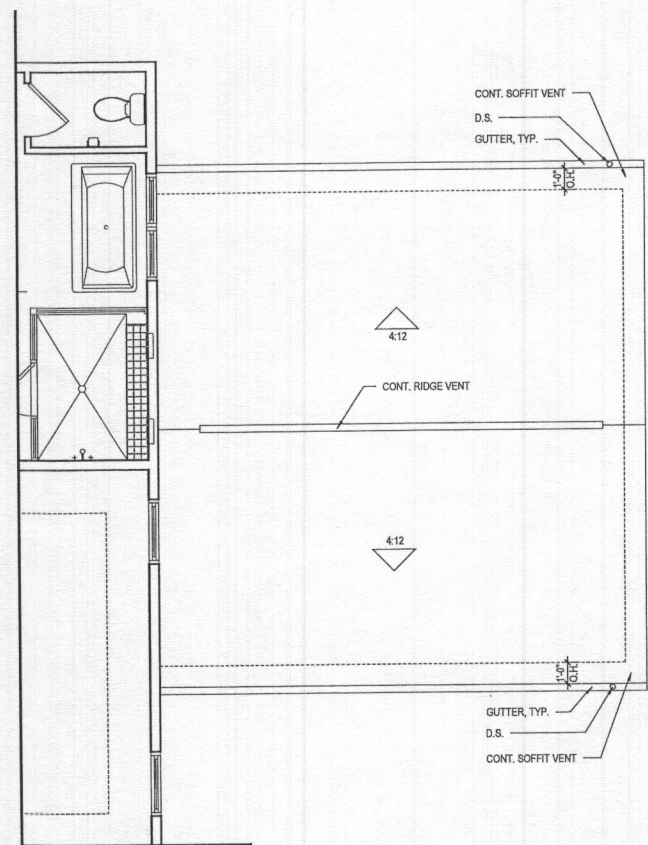
ROOF AREA	=	484.00 SQ. FT.
/ 300	=	1.61 SQ. FT.
x 12 x 12	=	232.32 SQ. IN.
50% (INTAKE)	=	116.16 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 5.9 SQ. IN. / FT.)	=	19.69 FT.
SOFFIT VENT - PROVIDED	=	70.00 FT.
50% (OUTTAKE)	=	116.16 SQ. IN.
RIDGE VENT - REQUIRED (OUTTAKE @ 14.1 SQ. IN. / FT.)	=	8.24 FT.
RIDGE VENT - PROVIDED	=	19.00 FT.



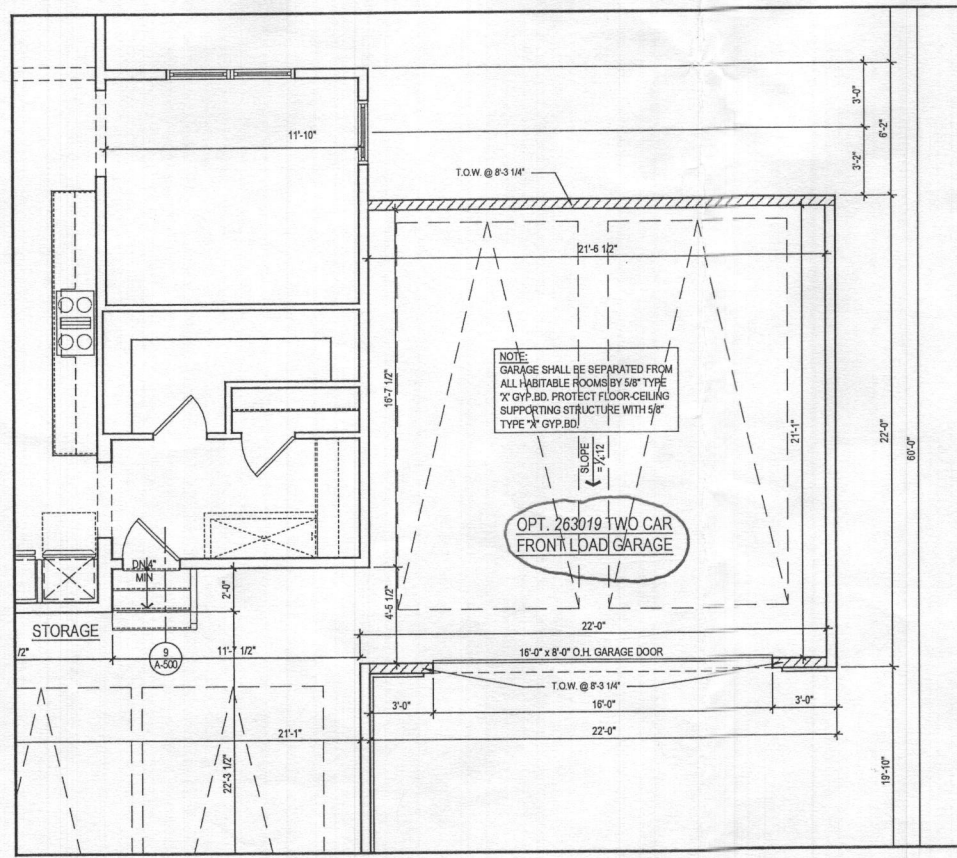
5 PART. REAR ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
A-404 SCALE: 1/4"=1'-0" ELEV. 1 - CRAFTSMAN - SHOWN



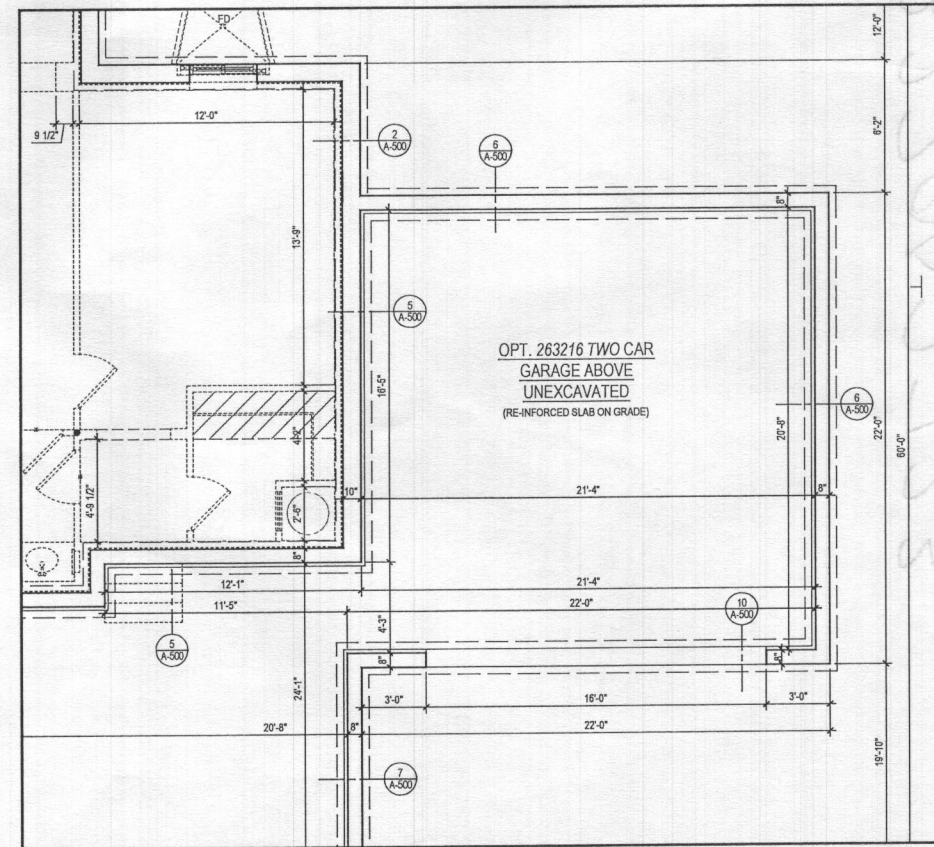
4 PART. FRONT ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
A-404 SCALE: 1/4"=1'-0" ELEV. 1 - CRAFTSMAN - SHOWN



3 P. SECOND FLOOR w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
A-404 SCALE: 1/4"=1'-0" TOL081a_A404.dwg



2 PART. FIRST FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
A-404 SCALE: 1/4"=1'-0" TOL081a_A404.dwg



1 PART. BASEMENT FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
A-404 SCALE: 1/4"=1'-0" TOL081a_A404.dwg

ARCHITECT:
lessard DESIGN
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EXECUTIVE SERIES

WILLOW CREEK
HOWARD COUNTY, MD

RENWICK

OPTIONS

PROJECT NAME:

NO.	DESCRIPTION	DATE
1	BID SET	08.19.19
2	PERMIT SET	09.16.19

PROJECT No: TOL081a
DRAWN BY: AC/RN
CHECKED BY: AP
PLOT DATE: Sep. 13, 2019
FILE NAME: TOL081a_A404.dwg

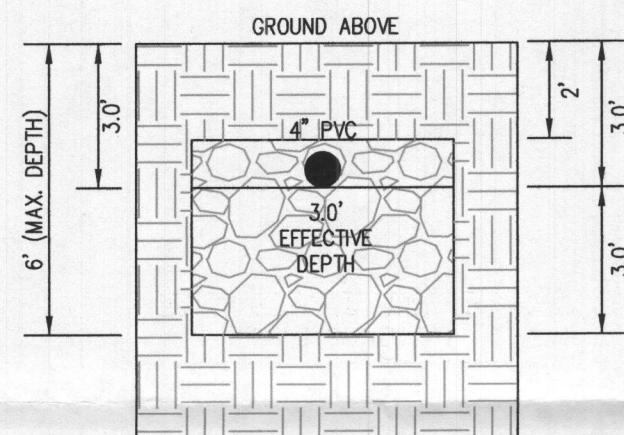
A-404

LEGEND:

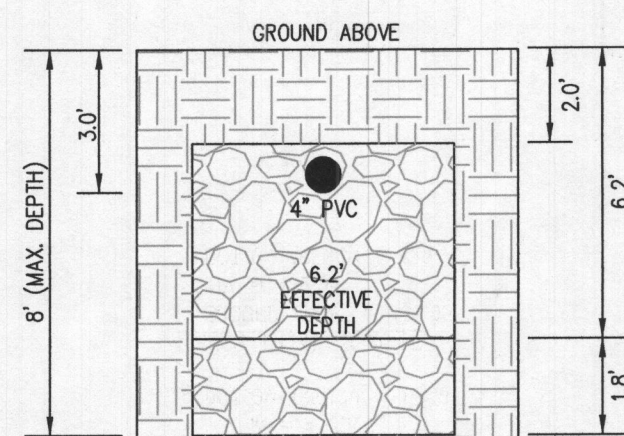
- BRL BUILDING RESTRICTION LINE
- T.W. WELL LOCATION
- G.F. TOP OF WALL
- B.F. GARAGE FLOOR
- BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE

INITIAL TRENCH DATA

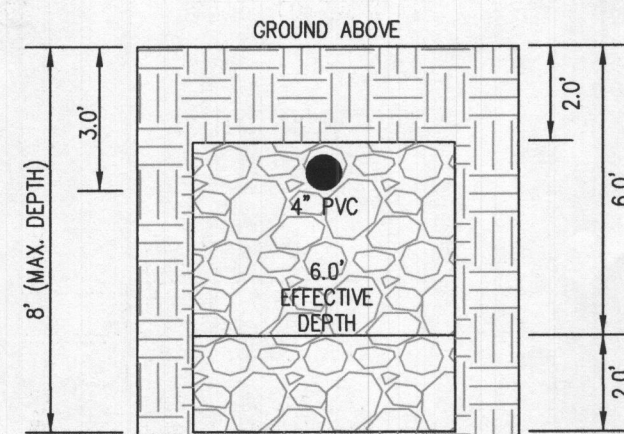
- BOTTOM MAX. DEPTH (6")
- TRENCH 1 (T1): 39.25 LF.**
GROUND ABOVE = 438.05'
INV. IN = 435.05'
BOTTOM TRENCH = 432.05'
- TRENCH 2 (T2): 39.25 LF.**
GROUND ABOVE = 437.44'
INV. IN = 434.44'
BOTTOM TRENCH = 431.44'
- TRENCH 3 (T3): 39.25 LF.**
GROUND ABOVE = 436.87'
INV. IN = 433.87'
BOTTOM TRENCH = 430.87'
- TRENCH 4 (T4): 39.25 LF.**
GROUND ABOVE = 435.95'
INV. IN = 432.95'
BOTTOM TRENCH = 429.95'



INITIAL SYSTEM
TRENCH DETAIL (T1 THRU T4)
(NOT TO SCALE)



2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T5 THRU T7)
(NOT TO SCALE)

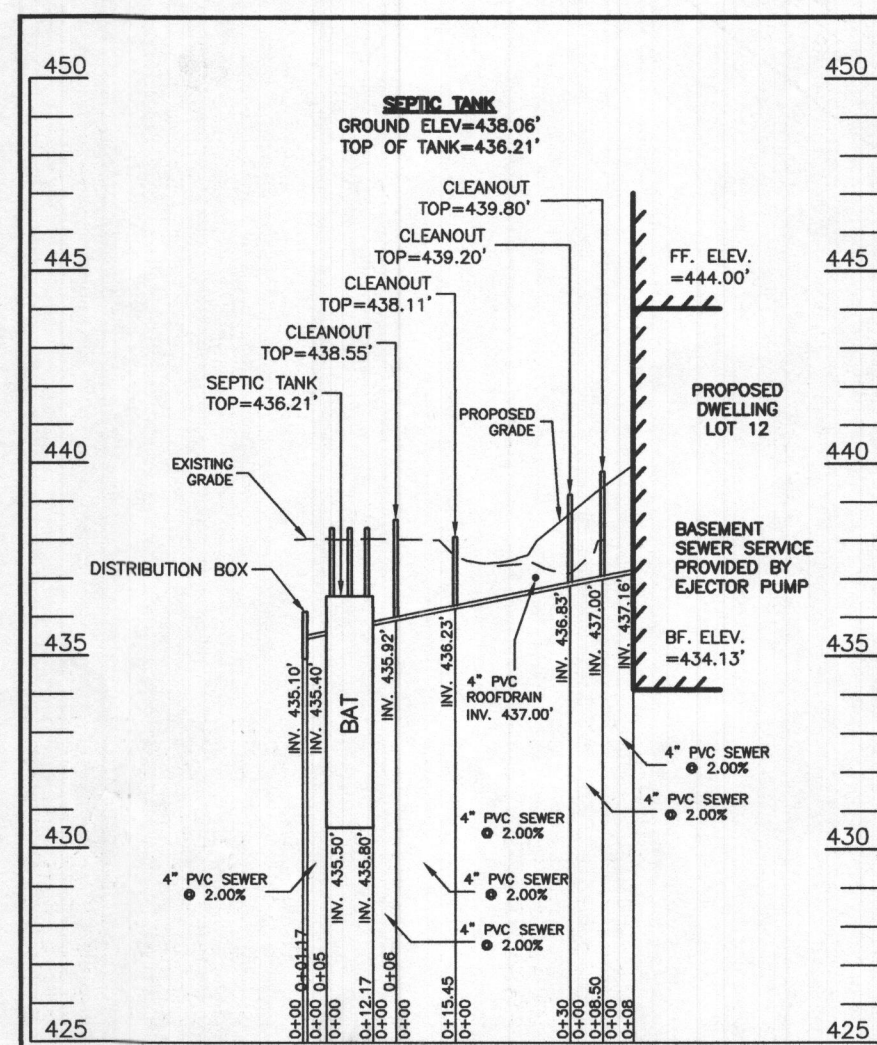
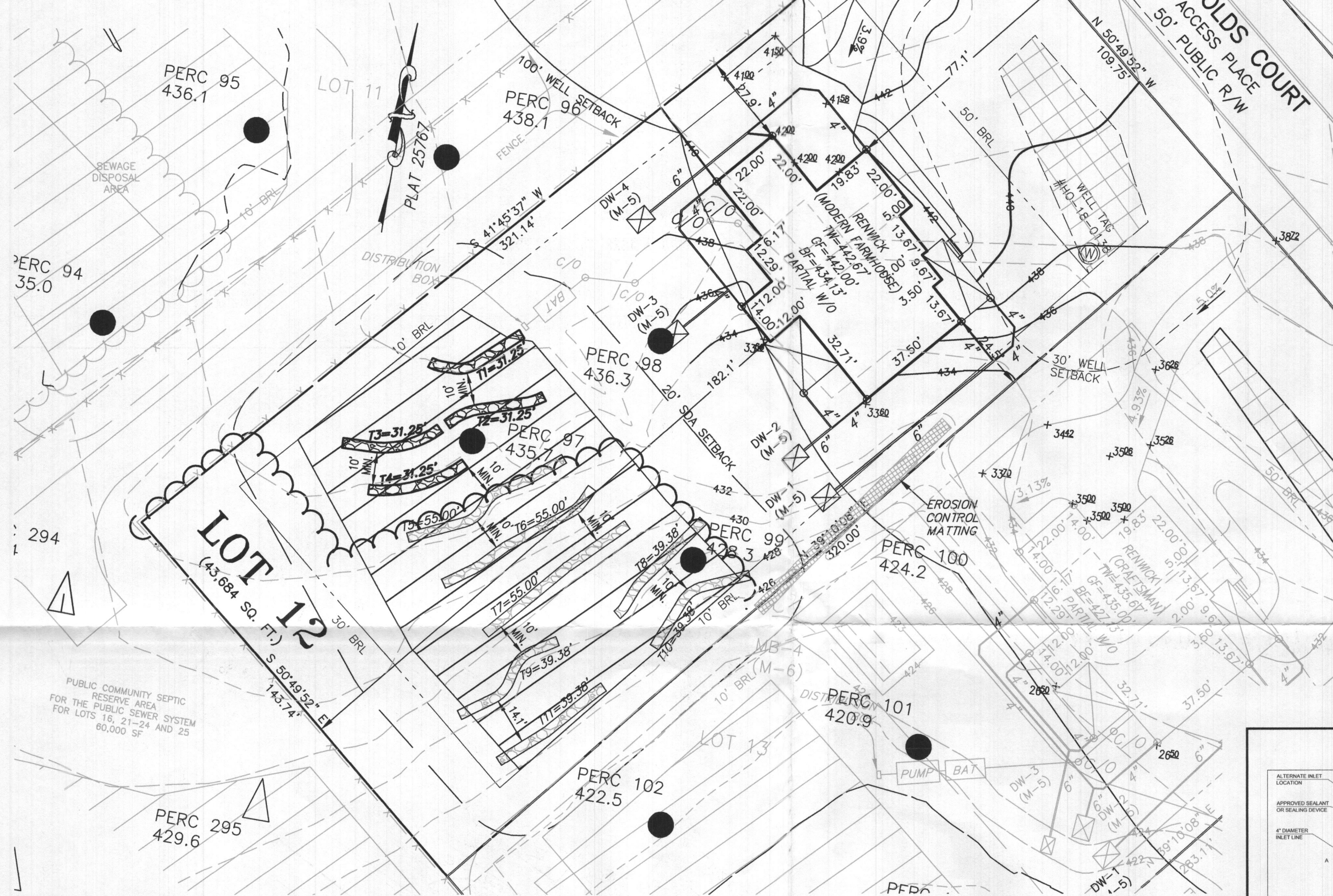


2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T8 THRU T11)
(NOT TO SCALE)

HOUSE TYPE: RENWICK (MODERN FARMHOUSE)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- LUXURIOUS PRIMARY BATH PACKAGE
- ADDITIONAL BATH
- WET BAR - FINISHED LOWER LEVEL
- MEDIA ROOM - FINISHED LOWER LEVEL
- ADDITIONAL TWO CAR FRONT ENTRY GARAGE
- POWDER ROOM - FINISHED LOWER LEVEL
- OPTIONAL DROP ZONE
- PREP KITCHEN
- BEDROOM - FINISHED LOWER LEVEL
- WALK-OUT LUXURY COVERED DECK
- DOUBLE WIDE DRIVEWAY TAIL

- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 055
- OPTION No. 367
- OPTION No. 561
- OPTION No. 562
- OPTION No. 263019
- OPTION No. 263036
- OPTION No. 263081
- OPTION No. 263158
- OPTION No. 263216
- OPTION No. 263169
- OPTION No. 851



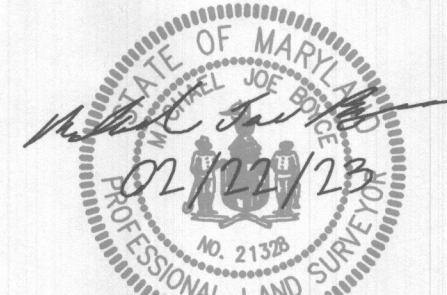
SEPTIC SYSTEM PROFILE
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

WELL LOCATION CERTIFICATION:

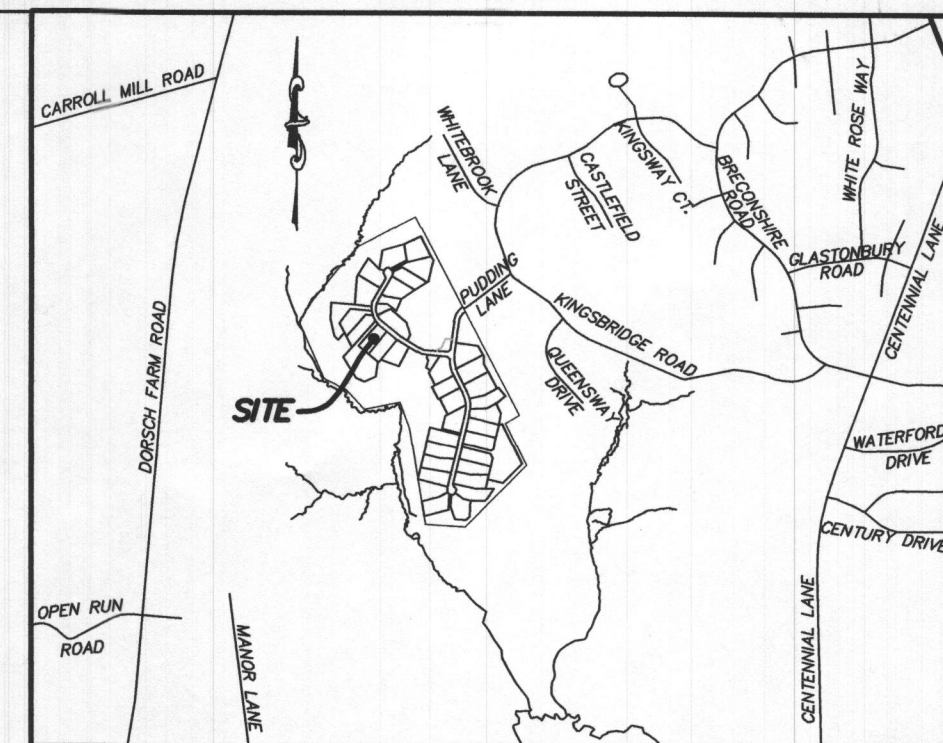
THE EXISTING WELL SHOWN FOR LOT 12 (TAG NO. HO-18-0138) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

SEWAGE DISPOSAL SYSTEM DATA (4 BDRM):

- PROPOSED INVERT AT FOUNDATION WALL: 437.16'
- EX. GRADE OVER TANK: 438.06'
PROPOSED GRADE OVER TANK: 438.06'
INVERT IN: 435.80' INVERT OUT: 435.50'
 - DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 438.05'
PROPOSED GRADE OVER TANK: 438.05'
INVERT IN: 435.40' INVERT OUT: 435.10'
 - INITIAL TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 36" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3" WIDTH = 250 LF x 0.50 (SIDEWALL REDUCTION) = 125 LF MIN.
USE 4 31.25' LONG TRENCHES = 125.00 LF
 - 1ST REPLACEMENT TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3" WIDTH = 250 LF x 0.66 (SIDEWALL REDUCTION) = 165 LF MIN.
USE 3 55.0' LONG TRENCHES = 165.00 LF
 - 2ND REPLACEMENT TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3" WIDTH = 250 LF x 0.63 (SIDEWALL REDUCTION) = 157.50 LF MIN.
USE 4 39.38' LONG TRENCHES = 157.50 LF



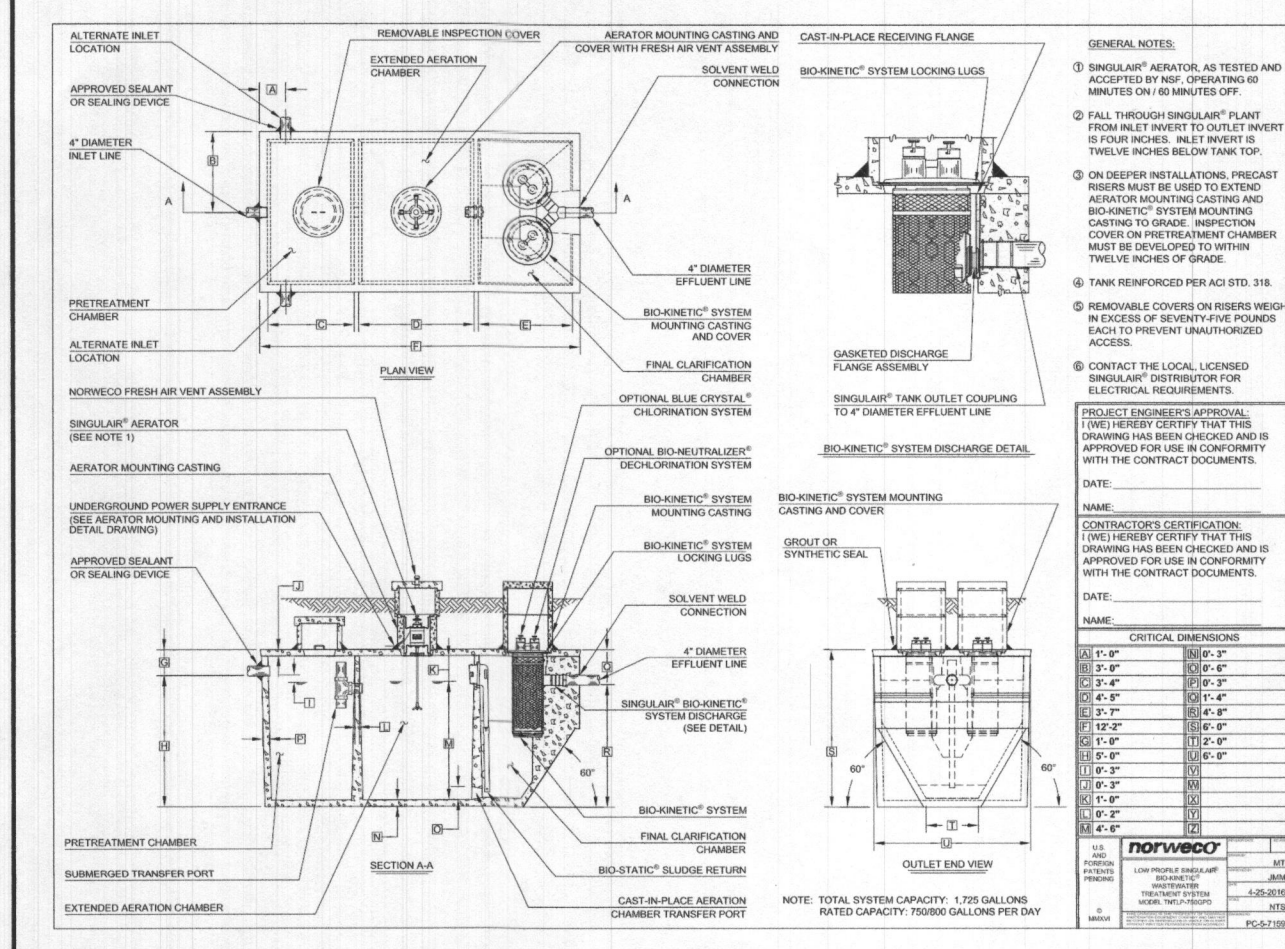
SITE PLAN FOR BAT INSTALLATION
LOT 12
KINGS FOREST
LIBER 20039, FOLIO 212
PLAT NO. 25767
ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND
ADDRESS: 10609 REYNOLDS COURT
ELLICITY CITY, MARYLAND 21042



VICINITY MAP
1" = 1000'

GENERAL NOTES:

- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE SYSTEM. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
- ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY BENCHMARK ENGINEERING, INC., IN FEBRUARY 2014.



ESE CONSULTANTS
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
T: 410-872-9105

DATE: 08/30/2022 SCALE: 1"= 30' FILE: LOT 12 OSDS_rev1
CHK'D: M.J.B. JOB NO: 3502 DRAWN: R.P.S.