
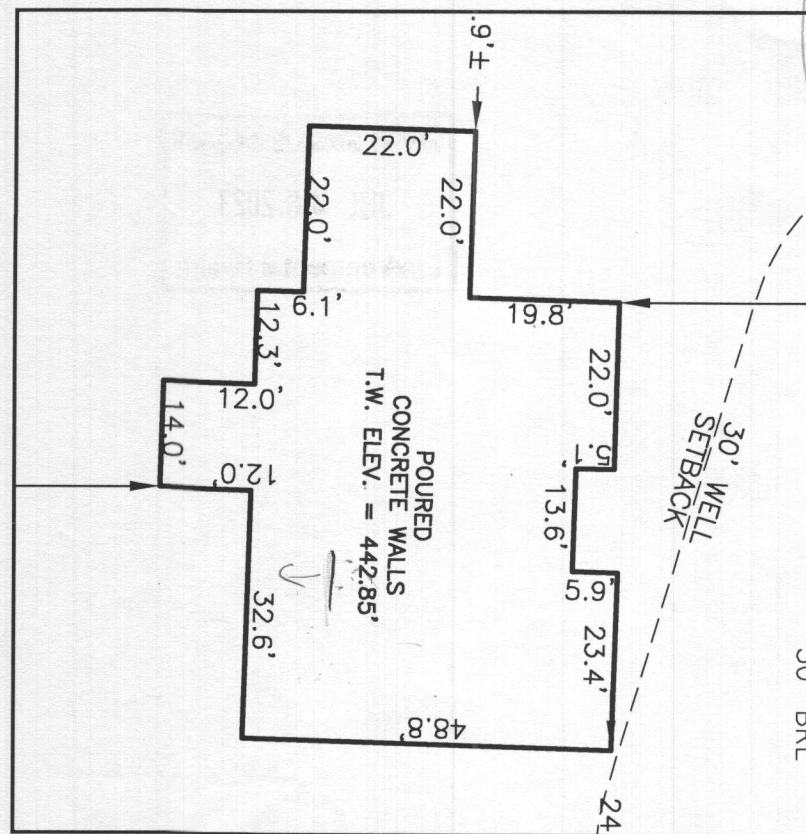


LEGEND:

BRL	BUILDING RESTRICTION LINE
(W)	WELL LOCATION
T.W.	TOP OF WALL
	WELL BOX AREA



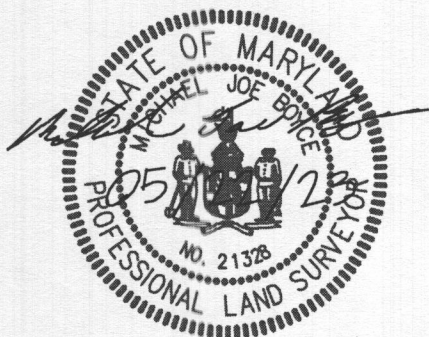
HOUSE ENLARGEMENT
NOT TO SCALE

WELL NUMBER: H0-18-0138

ADDRESS: 10609 REYNOLDS COURT
ELLICOTT CITY, MD 21042

PERMIT No.: B22002723

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT PLAN
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

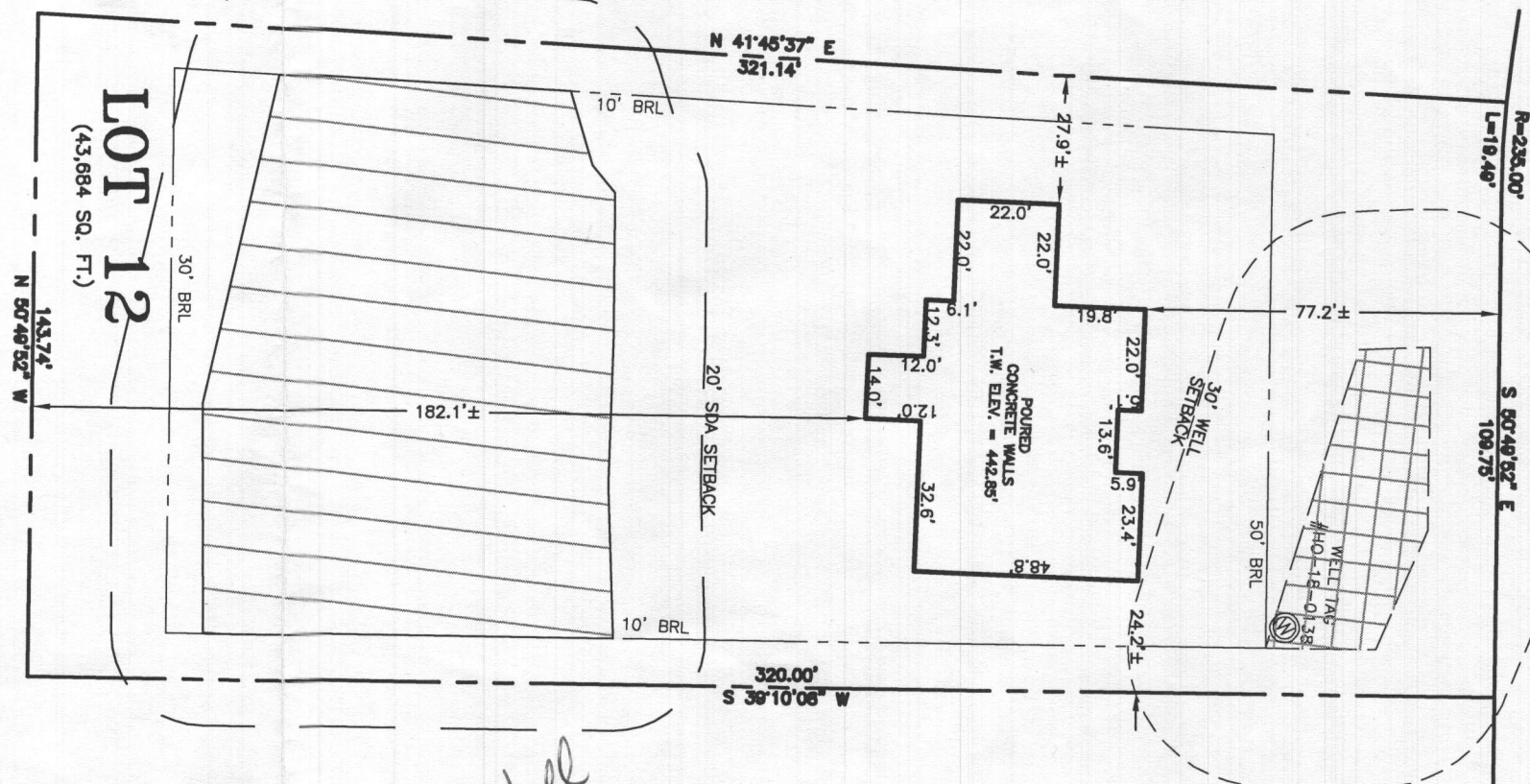


SURVEYOR'S CERTIFICATE

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.

THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

SIGNATURE: MICHAEL JOE BOYCE MD. LIC NO. 21328 DATE 05/22/23



REYNOLDS COURT

Wall
Check
OK
D.D.
7-20-83

WALLCHECK
LOT 12
KINGS FOREST
LIBER 20039, FOLIO 212
PLAT NO. 25766
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
T: 410-872-9105

DATE: 05/22/2023
CHK'D: M.J.B.

SCALE: 1" = 40'
JOB NO: 3502

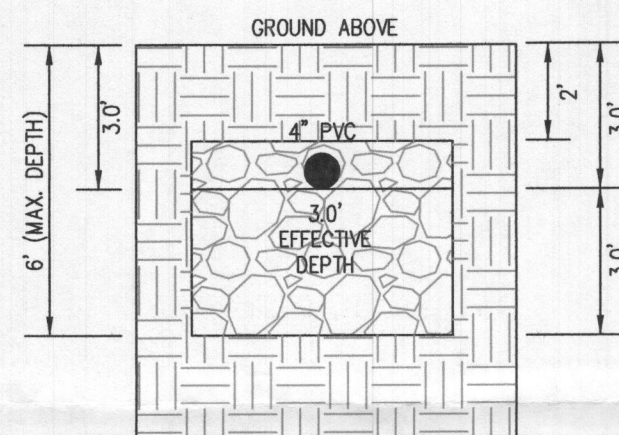
FILE: WC LOT 12
DRAWN: V.X.P.

LEGEND:

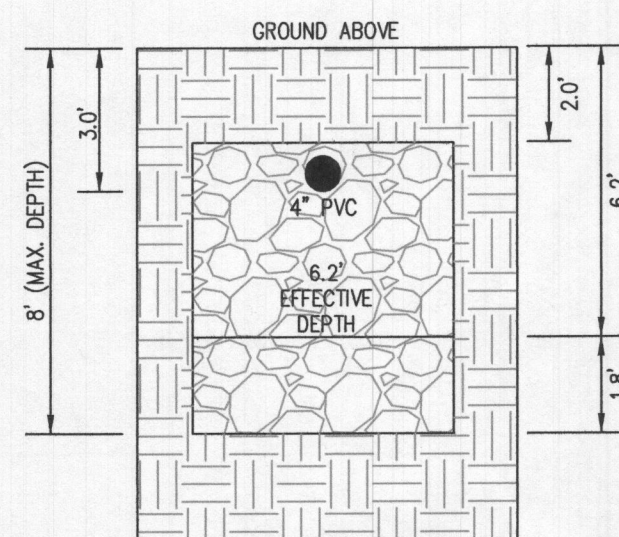
- BRL BUILDING RESTRICTION LINE
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PERC PASSED PERC LOCATION
- PERC FAILED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE

INITIAL TRENCH DATA

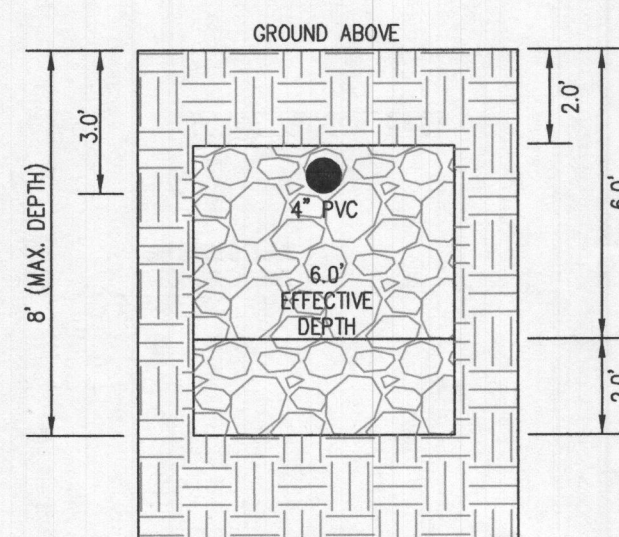
- BOTTOM MAX. DEPTH (6")
- TRENCH 1 (T1): 39.25 LF**
GROUND ABOVE = 438.05'
INV. IN = 435.05'
BOTTOM TRENCH = 432.05'
- TRENCH 2 (T2): 39.25 LF**
GROUND ABOVE = 437.44'
INV. IN = 434.44'
BOTTOM TRENCH = 431.44'
- TRENCH 3 (T3): 39.25 LF**
GROUND ABOVE = 436.87'
INV. IN = 433.87'
BOTTOM TRENCH = 430.87'
- TRENCH 4 (T4): 39.25 LF**
GROUND ABOVE = 435.95'
INV. IN = 432.95'
BOTTOM TRENCH = 429.95'



INITIAL SYSTEM
TRENCH DETAIL (T1 THRU T4)
(NOT TO SCALE)



2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T5 THRU T7)
(NOT TO SCALE)

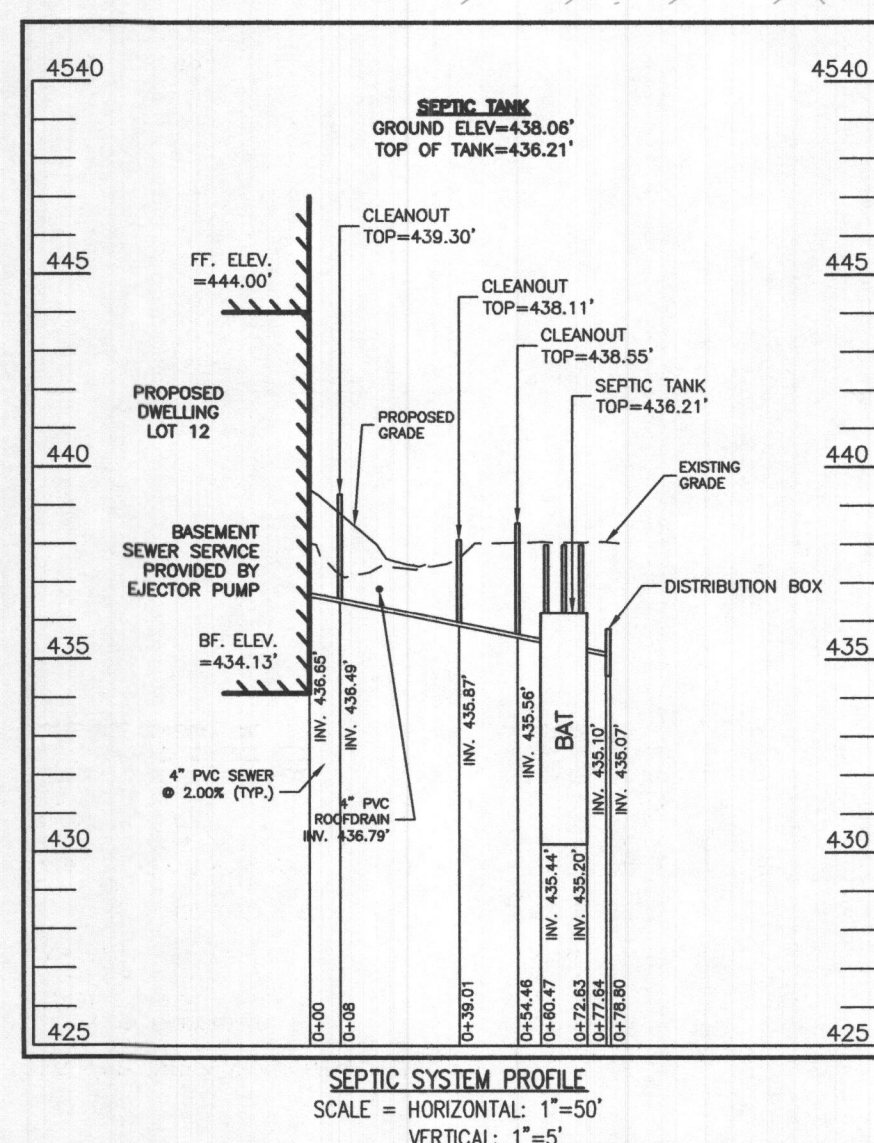
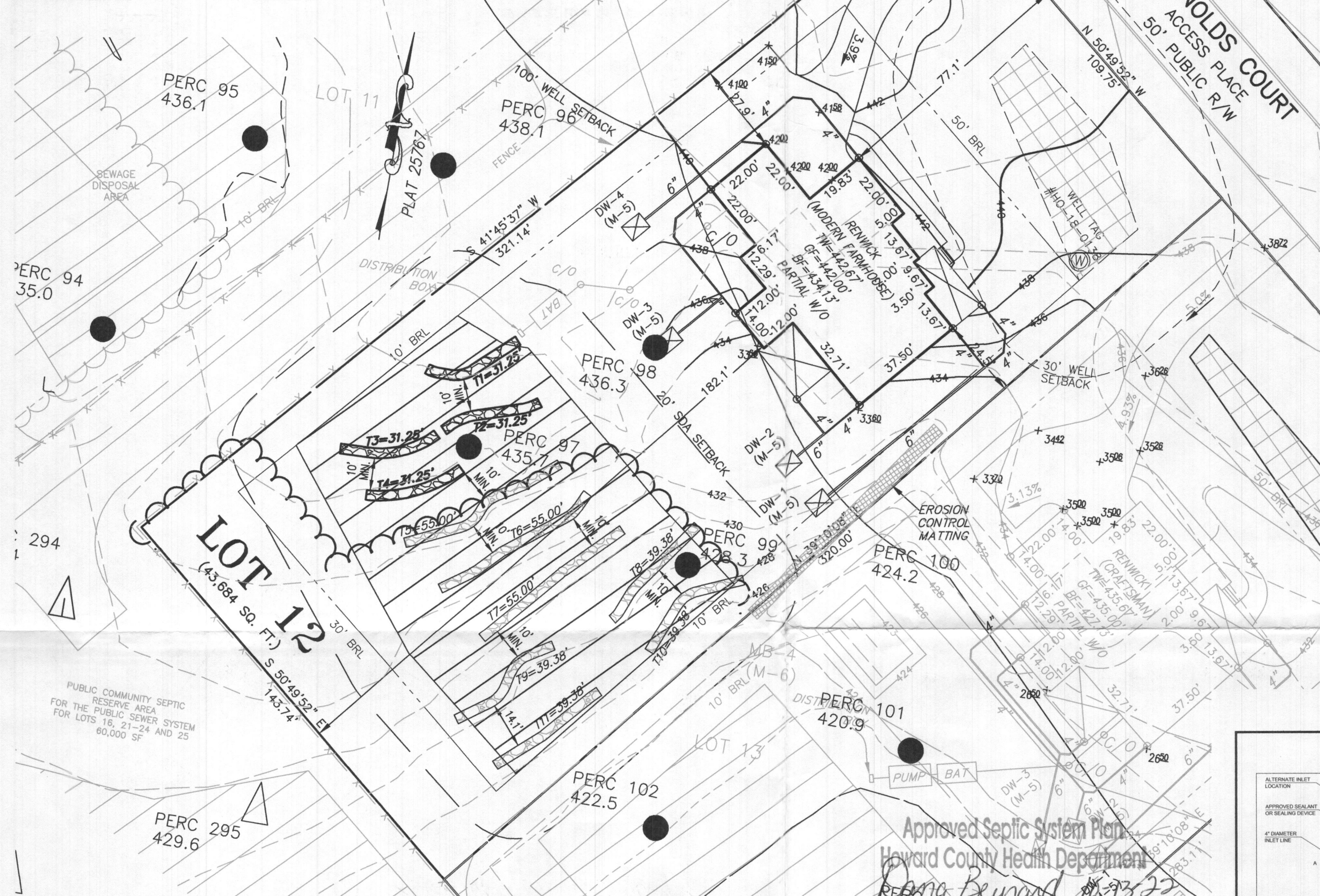


2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T8 THRU T11)
(NOT TO SCALE)

HOUSE TYPE: RENWICK (MODERN FARMHOUSE)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- LUXURIOUS PRIMARY BATH PACKAGE
- ADDITIONAL BATH
- WET BAR - FINISHED LOWER LEVEL
- MEDIA ROOM - FINISHED LOWER LEVEL
- ADDITIONAL TWO CAR FRONT ENTRY GARAGE
- POWDER ROOM - FINISHED LOWER LEVEL
- OPTIONAL DROP ZONE
- PREP KITCHEN
- BEDROOM - FINISHED LOWER LEVEL
- WALK-OUT LUXURY COVERED DECK
- DOUBLE WIDE DRIVEWAY TAIL

- OPTION No. 012
- OPTION No. 017
- OPTION No. 055
- OPTION No. 367
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- OPTION No. 562
- OPTION No. 263019
- OPTION No. 263036
- OPTION No. 263081
- OPTION No. 263158
- OPTION No. 263216
- OPTION No. 263169
- OPTION No. 851



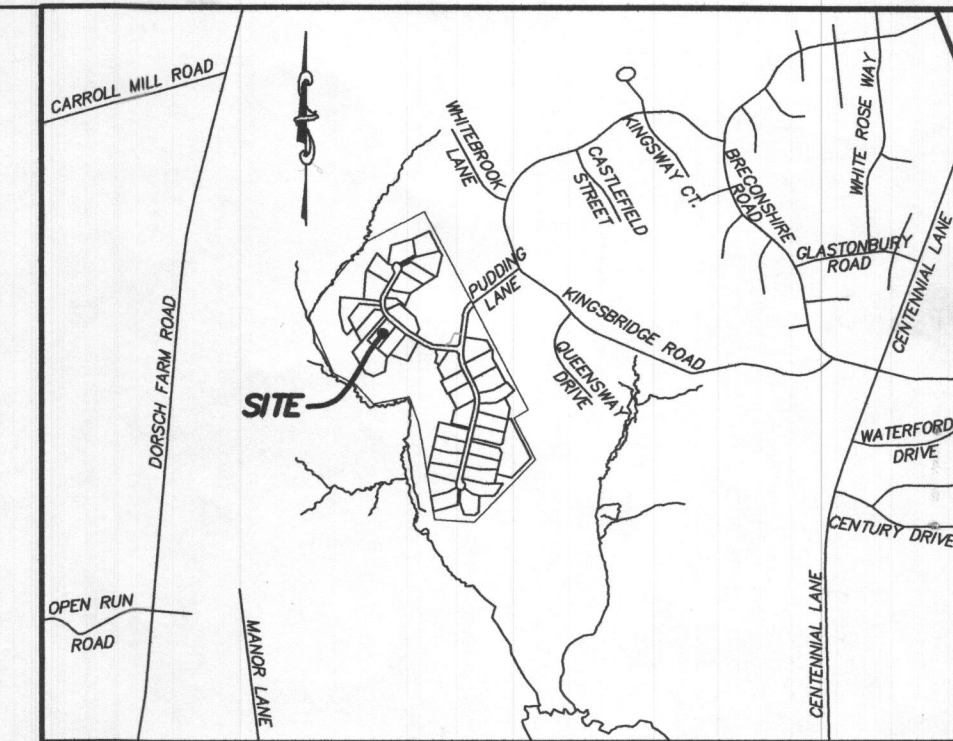
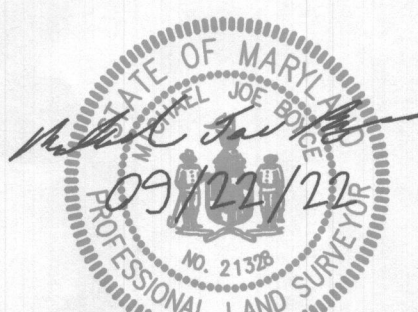
WELL LOCATION CERTIFICATION:

THE EXISTING WELL SHOWN FOR LOT 12 (TAG NO. HO-18-0138) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

SEWAGE DISPOSAL SYSTEM DATA (4 BDRM):

- PROPOSED INVERT AT FOUNDATION WALL: 436.35'
- EX. GRADE OVER TANK: 438.06'
PROPOSED GRADE OVER TANK: N/A
INVERT IN: 435.44' INVERT OUT: 435.20'
 - DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 438.05'
PROPOSED GRADE OVER TANK: N/A
INVERT IN: 435.10' INVERT OUT: 435.07'
 - INITIAL TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 36" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3' WIDTH = 250 LF x 0.50 (SIDEWALL REDUCTION) = 125 LF MIN.
USE 4 31.25' LONG TRENCHES = 125.00 LF
 - 1ST REPLACEMENT TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3' WIDTH = 250 LF x 0.66 (SIDEWALL REDUCTION) = 165 LF MIN.
USE 3 55.0' LONG TRENCHES = 165.00 LF
 - 2ND REPLACEMENT TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
600 GPD ÷ 0.8 APP. RATE = 750 SF
USE 3" WIDE TRENCH WITH 60" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
750 SF ÷ 3' WIDTH = 250 LF x 0.63 (SIDEWALL REDUCTION) = 157.50 LF MIN.
USE 4 39.38' LONG TRENCHES = 157.50 LF

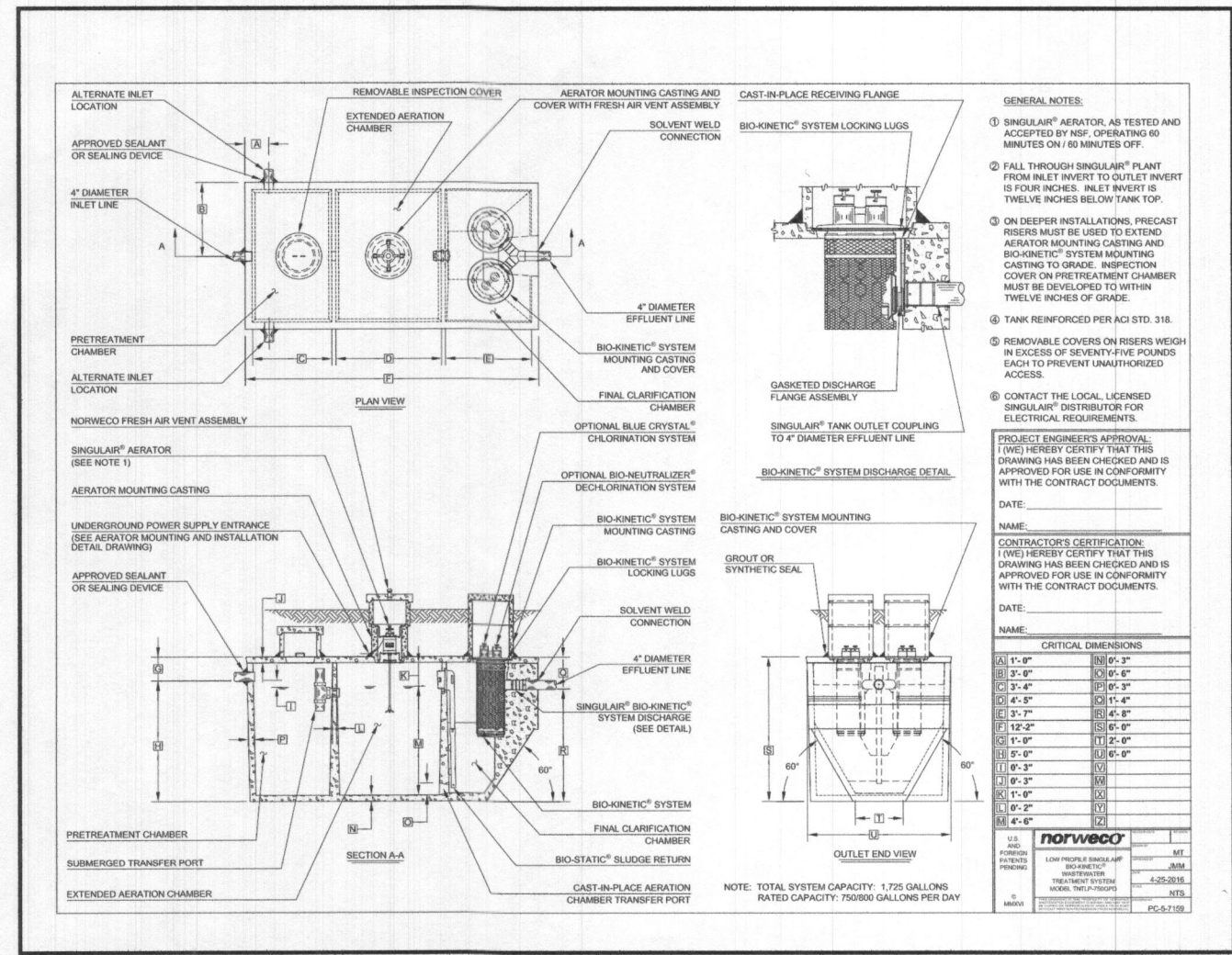
Approved Septic System Plan
Howard County Health Department
Dana Beard
Signature Date



VICINITY MAP
1" = 1000'

GENERAL NOTES:

- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
- ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY BENCHMARK ENGINEERING, INC., IN FEBRUARY 2014.



SITE PLAN FOR BAT INSTALLATION
LOT 12
KINGS FOREST
LIBER 20039, FOLIO 212
PLAT NO. 25767
ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND
ADDRESS: 10609 REYNOLDS COURT
ELLICOTT CITY, MARYLAND 21042

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ESE Consultants, Inc.
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
T: 410-872-9105

DATE: 08/30/2022 SCALE: 1" = 30' FILE: LOT 12 OSDS
CHK'D: M.J.B. JOB NO: 3502 DRAWN: R.P.S.

LEGEND:

- BRL BUILDING RESTRICTION LINE
- WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PERC PASSED PERC LOCATION
- PERC FAILED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE

INITIAL TRENCH DATA

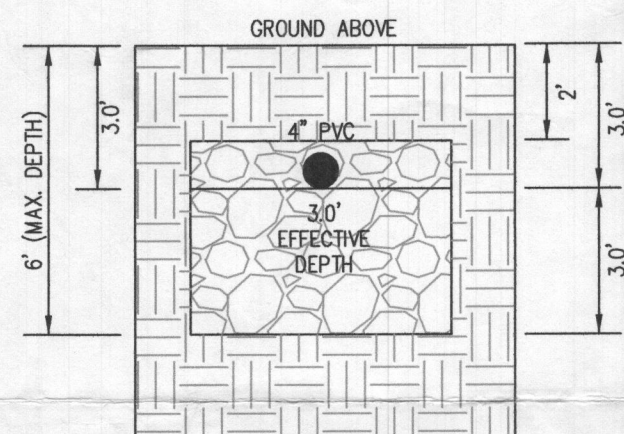
BOTTOM MAX. DEPTH (6")

TRENCH 1 (T1): 39.25 LF
GROUND ABOVE = 438.05'
INV. IN = 435.05'
BOTTOM TRENCH = 432.05'

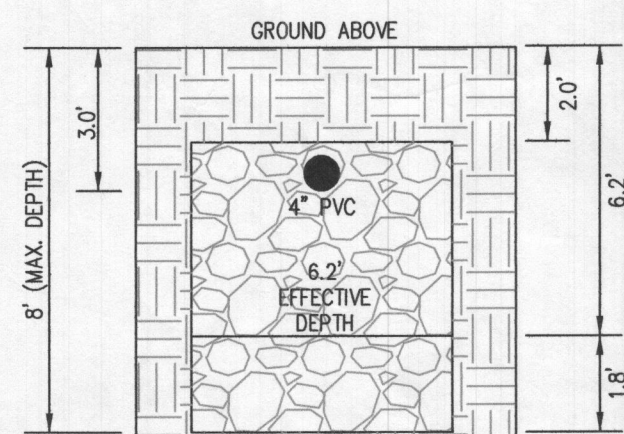
TRENCH 2 (T2): 39.25 LF
GROUND ABOVE = 437.44'
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GROUND ABOVE = 436.87'
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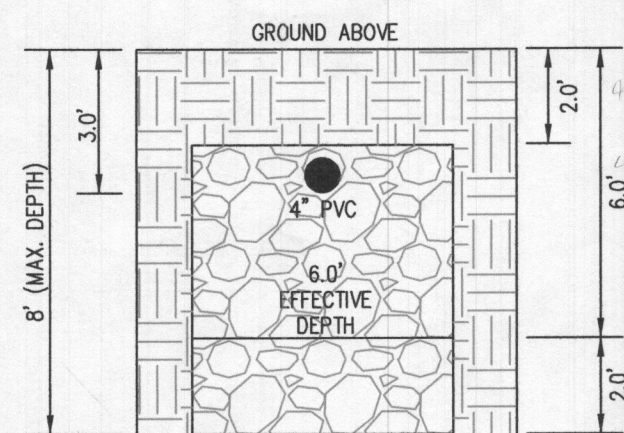
TRENCH 4 (T4): 39.25 LF
GROUND ABOVE = 435.95'
INV. IN = 432.95'
BOTTOM TRENCH = 429.95'



INITIAL SYSTEM
TRENCH DETAIL (T1 THRU T4)
(NOT TO SCALE)



2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T5 THRU T7)
(NOT TO SCALE)

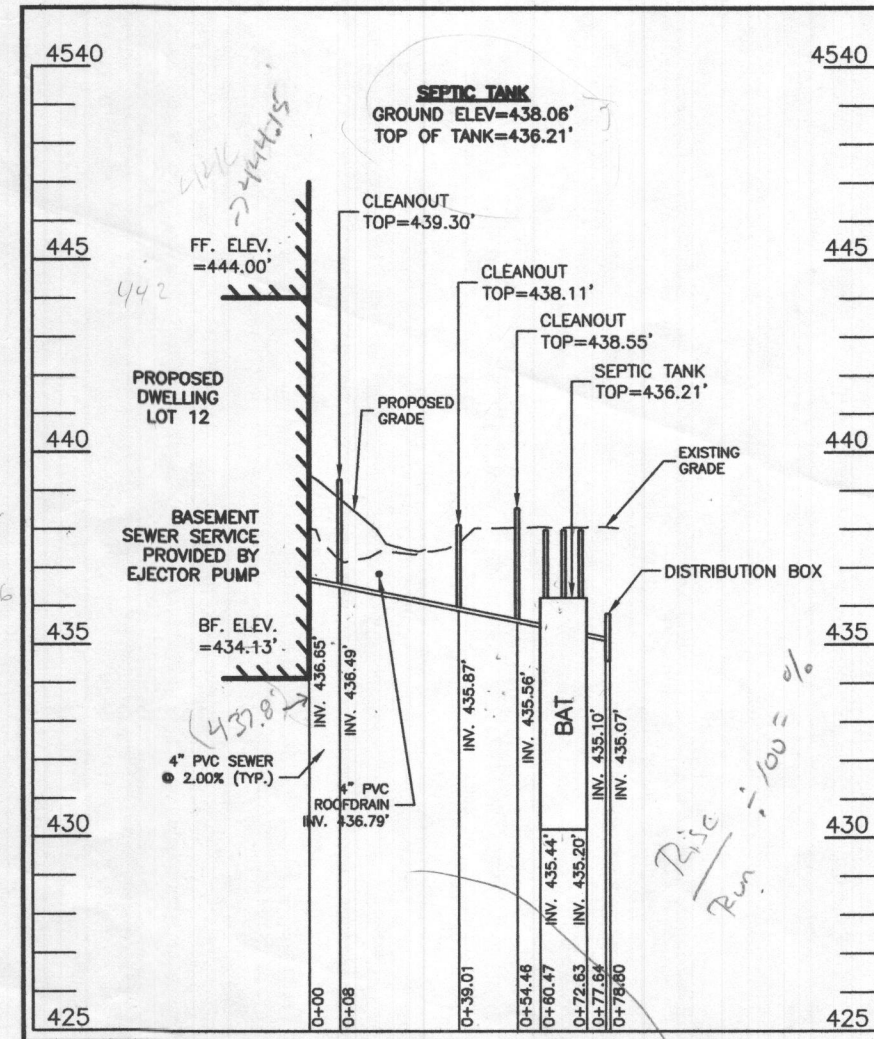
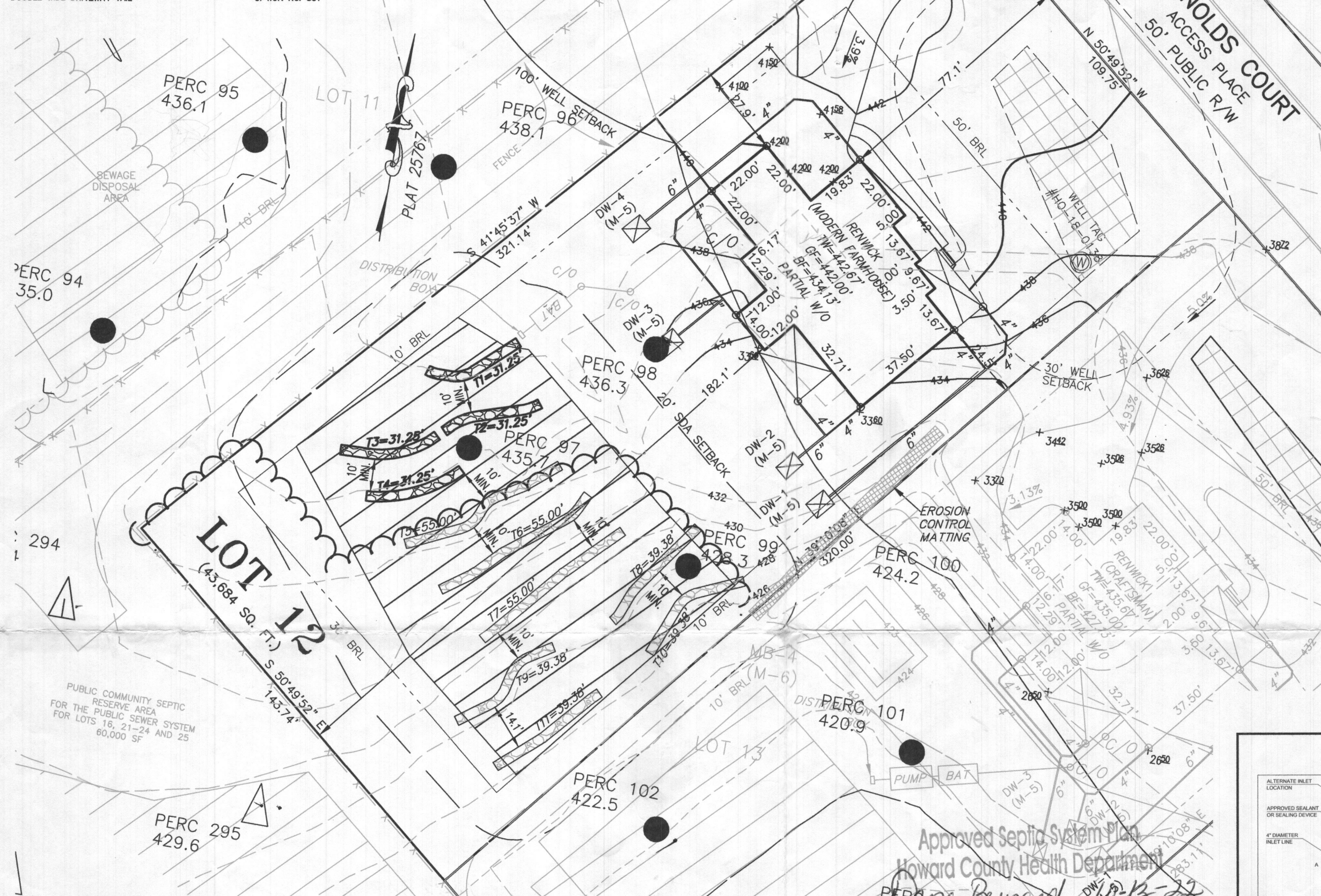


2ND REPLACEMENT SYSTEM
TRENCH DETAIL (T8 THRU T11)
(NOT TO SCALE)

HOUSE TYPE: RENICK (MODERN FARMHOUSE)

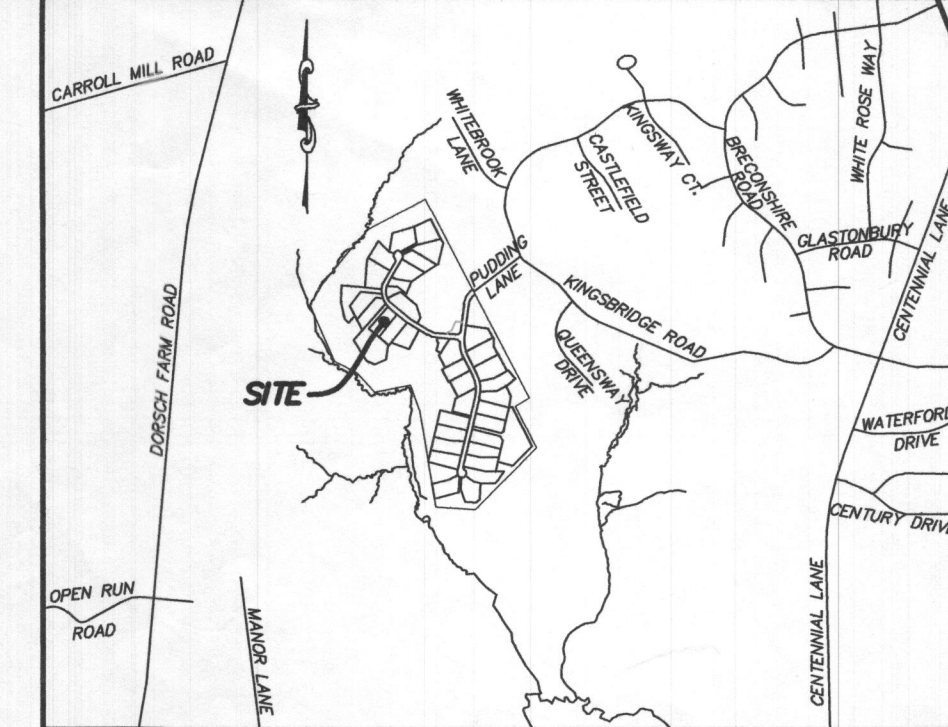
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OPTION No. 263081
OPTION No. 263158
OPTION No. 263216
OPTION No. 263169
OPTION No. 851



SEPTIC SYSTEM PROFILE
SCALE = HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.



VICINITY MAP
1" = 1000'

GENERAL NOTES:

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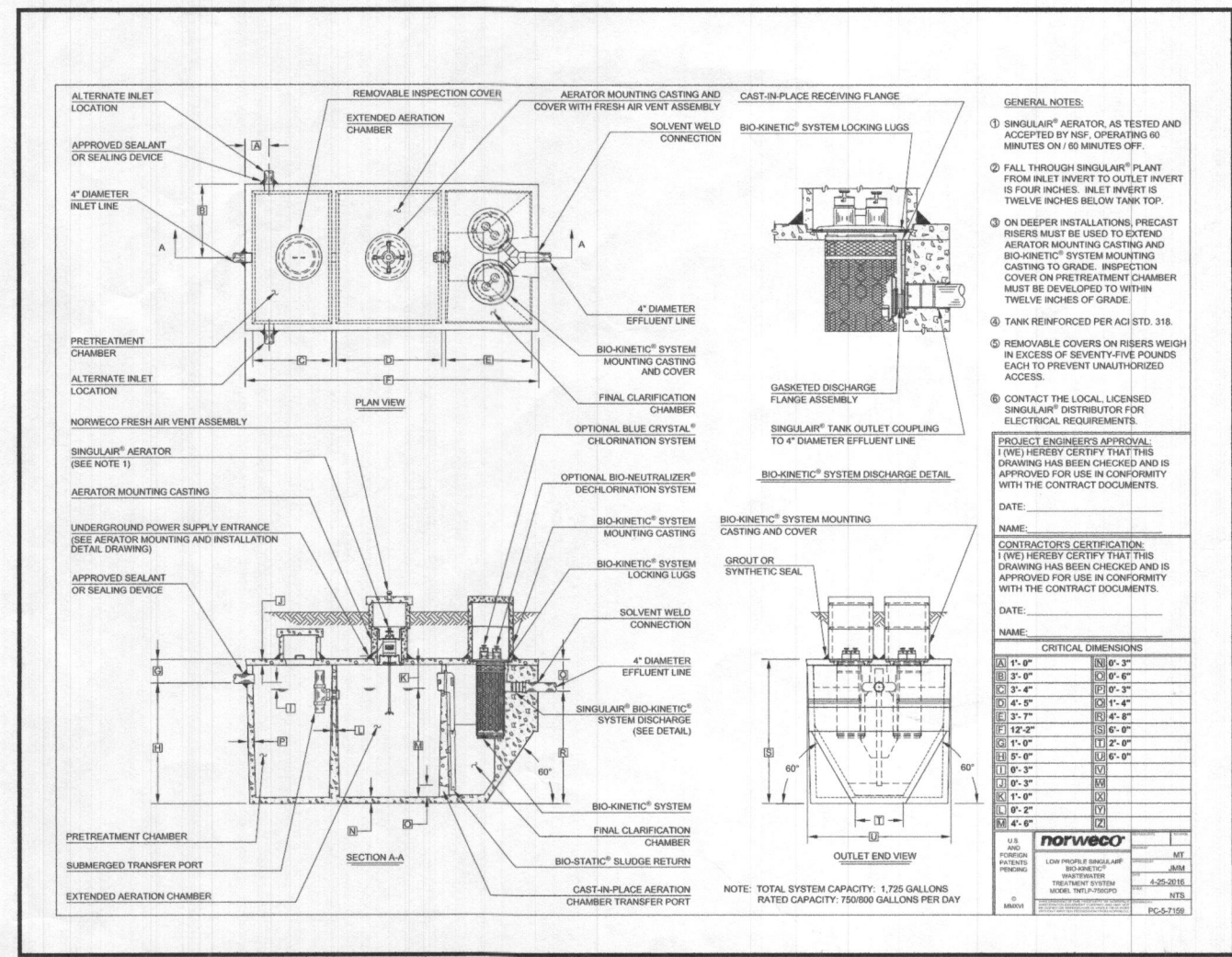
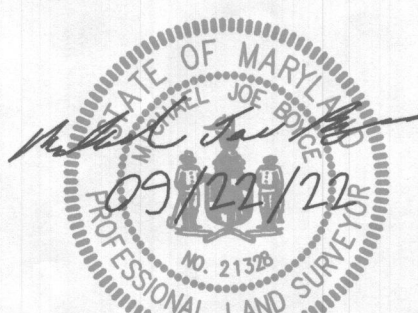
WELL LOCATION CERTIFICATION:

THE EXISTING WELL SHOWN FOR LOT 12 (TAG NO. HO-18-0138) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

SEWAGE DISPOSAL SYSTEM DATA (4 BDRM):

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1. EX. GRADE OVER TANK: 438.06'
PROPOSED GRADE OVER TANK: N/A
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600 GPD ÷ 0.8 APP. RATE = 750 SF
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10' MIN. SPACING BETWEEN TRENCH EDGES
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USE 4 31.25' LONG TRENCHES = 125.00 LF
- 1ST REPLACEMENT TRENCH DESIGN (4 BDRM x 150 GPD/BDRM = 600 GPD)
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Approved Septic System Plan
Howard County Health Department
Rana Burard
Signature
Date 10-13-22



SITE PLAN FOR BAT INSTALLATION
LOT 12
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LIBER 20039, FOLIO 212
PLAT NO. 25767
ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND
ADDRESS: 10609 REYNOLDS COURT
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DATE: 08/30/2022 SCALE: 1" = 30' FILE: LOT 12 OSDS
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