

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Porch	B23004836	12/13/2023

Description of Work

SFD/CONSTRUCT 20 X 20 SCREENED PORCH ON RAISED DECK FRAME W GABLE ROOF COVER TO TIE- IN TO EXISTING HOUSE ROOF, PAVER PATIO EXTENSION OF PATIO

[check spelling](#)

Assigned to DB for review.
7/8 12/20/23

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
15221	SWEETBAY	ST	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.04303	39.2865
City	State	Zip Code	Primary
WOODBINE	MD	21797	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
926403	66	1.13	152400	886400	734000	RURAL

Legal Description
IMPSLOT 43 1.033 A[]15221 SWEETBAY STREET[]BELLE HAVEN ESTATES

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	43	605601	5				
Plan Area	State Tax Id	Subdivision Name					
	1404374118	Belle Haven Estates					
Section	Area	Tax Map					
		14					
Grid	Zoning District	ADC Map					
14-20	RC-DEO	4812-D5					
SDP No.	Final Plan No.	WP File No.					
	F-07-038						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19948-1995			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2016	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-08	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

AMIR MURTAZA

Address Line 1

920 BISHOP WALSH RD

Address Line 2

Address Line 3

Mail City

CUMBERLAND

Mail State

MD

Mail Zip Code

20902

Approved Septic System Plan
Howard County Health Department
Dana Beinard 12-20-23
Signature Date
B23004836

301-325-2371

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

License # 6078109
 License Type MHIC Ind
 Primary Yes

Business Name GRAND SOLUTIONS LLC
 First Name Middle Name Last Name
 Address Line 1 910 CARRIAGE HOUSE LN
 Address Line 2
 City UPPER MARLBORO State MD ZIP Code 20774
 Phone 1 301-257-1780 Phone 2 Fax
 E-mail LUIS.MUNOZ@GRANDSOLUTIONSLLC.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Applicant
 Relationship Applicant
 Primary Yes

First Name Ruben MI Last Name Mejia
 Full Name Ruben Mejia
 Organization Name R&G Premier
 Street Address 2777 Lynn St
 Address Line 2
 City Frederick State MD Zip Code 21704
 Phone 301-325-2371 Cell 301-325-2371 Fax
 E-mail randg.premier@gmail.com

Addtl Info

Est Construction Cost 26000 Housing Units 0 Number of Buildings 0 Public Owned No
 Construction Type 434 - Additions, Alterations and Conversions - Residential

PORCH INFORMATION

PORCH INFORMATION

Capital Project-No Fee Yes No Capital Project Number Fee Exempt Yes No Roadside Tree Project Permit Yes No Roadside Tree Project Permit #
 Existing Use Mobile Home Type of Porch Open and Screened Porch Type of Porch Foundation Reconstruct Existing Deck Total Square Footage 400 SQFT
 Water Supply Private Sewage Disposal Private Expiration Date 6/16/2024

Submit Cancel

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d.b.a. Archadeck of DMV

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DESIGN LOAD CRITERIA

FOOTING/FOUNDATION LOADS	P.S.F.	CEILING	P.S.F.
LIVE LOAD	40	WITH STORAGE (L/240)	20
DEAD LOAD	10	WITHOUT STORAGE (L/240)	10
TOTAL DESIGN LOAD	50		
DECK LOADS (L/240)	P.S.F.	WITH STORAGE (L/360)	20
(DECK FRAMING)		WITHOUT STORAGE (L/360)	10
FRAMING DESIGN LIVE LOAD	60	DEAD LOAD	10
FRAMING DESIGN DEAD LOAD	10		
TOTAL FRAMING DESIGN LOAD	70	ROOF LOADS (L/240)	P.S.F.
FLOOR LOADS (L/360)	P.S.F.	SNOW LOAD	20
LIVE LOAD (LIVING)	40	DEAD LOAD	10
LIVE LOAD (SLEEPING)	30	TOTAL DESIGN LOAD	30
DEAD LOAD	10	PERGOLA LOADS (L/240)	P.S.F.
SPA LOADS (L/240)	P.S.F.	LIVE LOAD	10
LIVE LOAD	100	DEAD LOAD	5
DEAD LOAD	10	TOTAL DESIGN LOAD	15
TOTAL DESIGN LOAD	110		

ASSUMED SPA LOADING, VERIFY w/ SPA MANUFACTURER

ASSUMED OPEN FRAMED PERGOLA, NOT DESIGNED FOR SNOW LOADS

DESIGN CRITERIA: NOTES:

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE).
- WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- IN-GRADE DESIGN VALUES BASED ON AF&PA
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY = 2000 PSF
- FROST LINE = 24"
- CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

LUMBER:

- ALL FRAMING LUMBER TO BE #1 S.P. (SOUTHERN PINE) OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.
- ALL GLULAM ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: GLULAM STRESS CLASS (24F - 1.7E) P.S.I.
- ALL LVL/MICROLLAM ENGINEERED TYPE LUMBER TO BE INTERIOR USE ONLY: LVL STRESS CLASS (2.0E, 2600Fb) P.S.I.
- ALL PWT LVL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: LVL STRESS CLASS (2.0E, 2800Fb) P.S.I.
- ALL PSL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: PSL STRESS CLASS (2.0E, 2900Fb) P.S.I.

CONCRETE:

- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 3000 PSI.

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:

GRAND SOLUTIONS, LLC
7240 Parkway Drive, Unit 150, Hanover, MD, 21076
PHONE: (301) 761-3181

AMIR

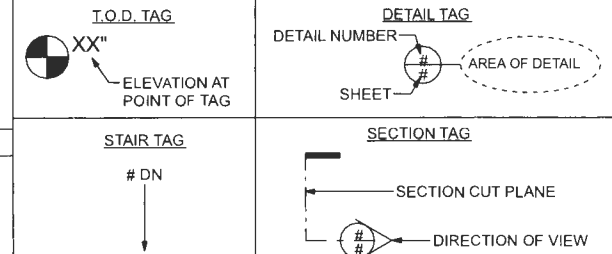
30-20231311

15221 SWEETBAY ST
WOOBINE, MD, 21797

ABBREVIATIONS:

#B	- BEAM	GLU.	- GLULAM
#BB	- BAND BOARD	H.D.G.	- HOT DIPPED GALVANIZED
#C	- RAIL CAP LENGTH	HDR.	- HEADER
#CB	- COLLAR BEAM	INT.	- INTERIOR
#DB	- DOUBLE BAND	IN.	- INCH
#DJ	- DOUBLE JOIST	LBS.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#G	- GIRDER	LWR.	- LOWER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#KB	- KING BEAM	MIN.	- MINIMUM
#QJ	- QUAD JOIST	MOD.	- MODIFIED
#RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
#RP	- ROOF PLATE	O.C.	- ON CENTER
#TB	- TRIPLE BAND	OPT.	- OPTIONAL
#TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUM.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APPROX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
B.O.B.	- BOTTOM OF BEAM	P.S.L.	- PARALLEL STRAND LUMBER
C.	- CENTER LINE	P.T.	- PRESSURE TREATED
CJ	- CEILING JOIST	P.T.T.	- POUR TO TOP
C.M.U.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RBD.	- RIDGE BOARD
CONT.	- CONTINUOUS	REQD.	- REQUIRED
DBL.	- DOUBLE	R.O.	- ROUGH OPENING
DIA.	- DIAMETER	RSW	- RIDGE SUPPORT WALL
DIM.	- DIMENSION	S.F.	- SQUARE FOOT/FEET
D.L.	- DEAD LOAD	S.S.	- STAINLESS STEEL
DN.	- DOWN	SQ.	- SQUARE
DTL.	- DETAIL	T&G	- TONGUE & GROOVE
ELEC.	- ELECTRICAL	T.O.B.	- TOP OF BEAM
ELEV.	- ELEVATION (SEE T.O.D.)	T.O.C.	- TOP OF CONCRETE
EQUIV.	- EQUIVALENT	T.O.D.	- TOP OF DECK
EXT.	- EXTERIOR	TYP.	- TYPICAL
FIN.	- FINISH	U.N.O.	- UNLESS NOTED OTHERWISE
FLR.	- FLOOR	UPR.	- UPPER
FND.	- FOUNDATION	W/	- WITH
FT.	- FOOT/FEET	W/O	- WITHOUT
F.V.	- FOUNDATION VENT		

SYMBOL LEGEND



SHEET INDEX

S101 - FOUNDATION PLAN	S301 - WALL SECTION(S)
S103 - FRAMING PLAN	
S105 - FLOOR PLAN	S501-S504 - DETAIL(S)
S109-S110 - ROOF PLAN	
S201 - FRONT ELEVATION	
S202 - RIGHT ELEVATION	
S203 - LEFT ELEVATION	

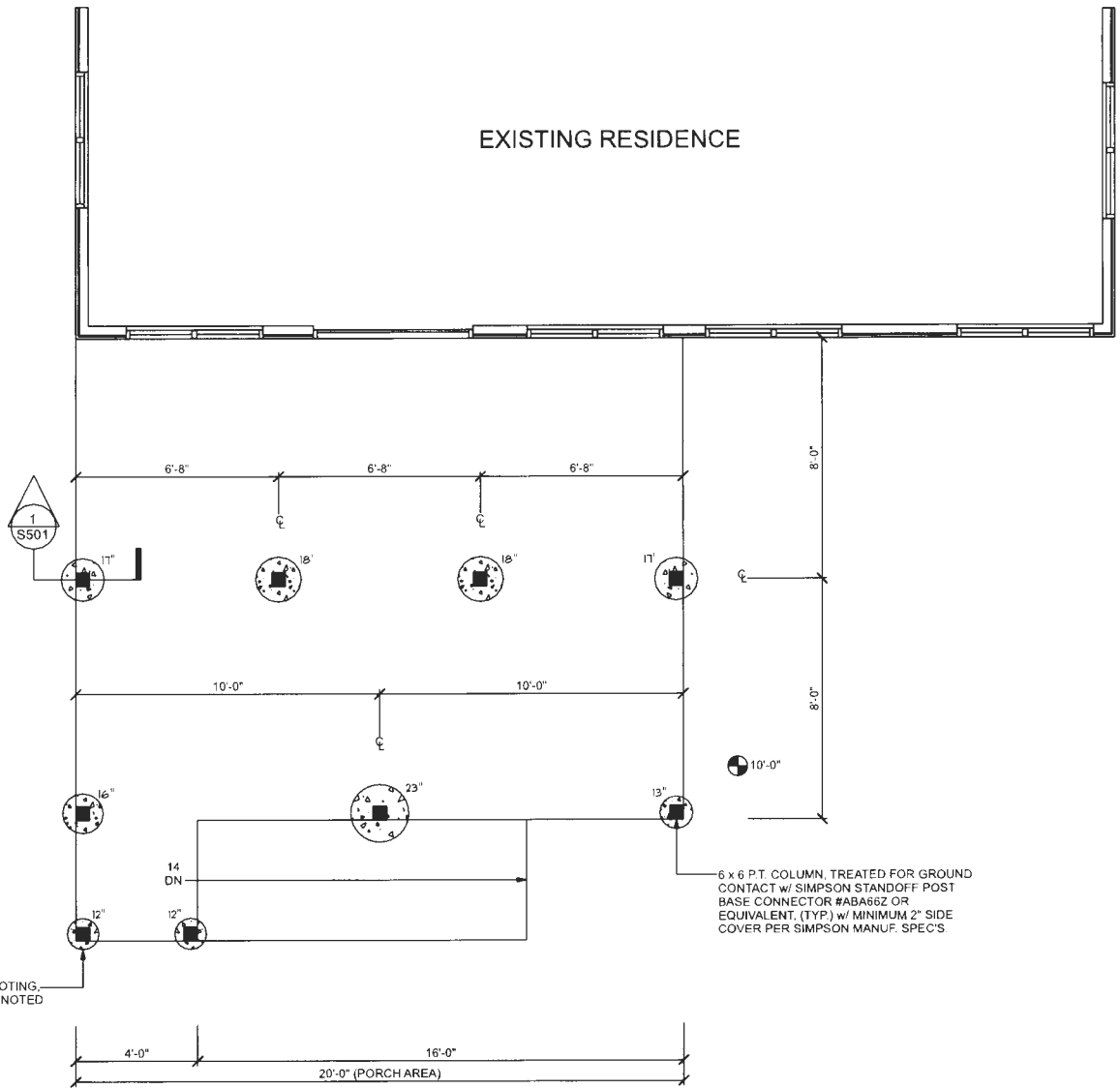
SCOPE OF WORK

ADDING SCREENED PORCH ON RAISED DECK FRAME w/
GABLE ROOF COVER TO TIE-IN TO EXISTING HOUSE
ROOF, PAVER PATIO EXTENSION OF EXISTING PATIO

ENGINEER OF RECORD
(AS APPLICABLE)

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CONSTRUCTION & DRAFTING DEPARTMENT
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GLEN ALLEN, VA 23060

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EXISTING RESIDENCE

20'-0"
16'-0" (PORCH AREA)
4'-0"

POURED TO GRADE FOOTING,
SIZE AT FROST LINE AS NOTED
(TYP.)

6 x 6 P.T. COLUMN, TREATED FOR GROUND
CONTACT w/ SIMPSON STANDOFF POST
BASE CONNECTOR #BA662 OR
EQUIVALENT. (TYP.) w/ MINIMUM 2" SIDE
COVER PER SIMPSON MANUF. SPEC'S.

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SCALE: 1/4" = 1'-0"

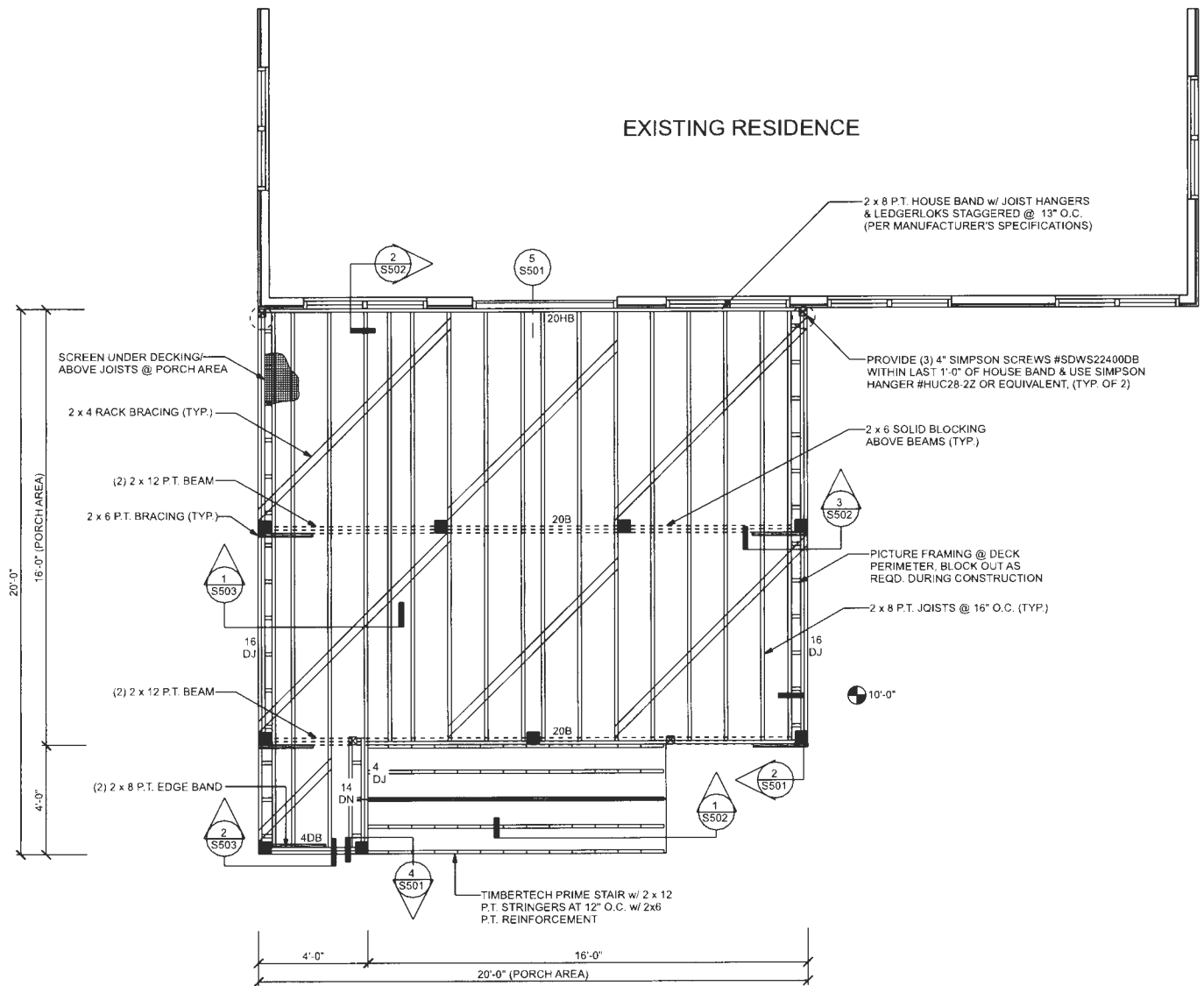
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SHEET # SHEET TITLE

FOUNDATION PLAN

S101



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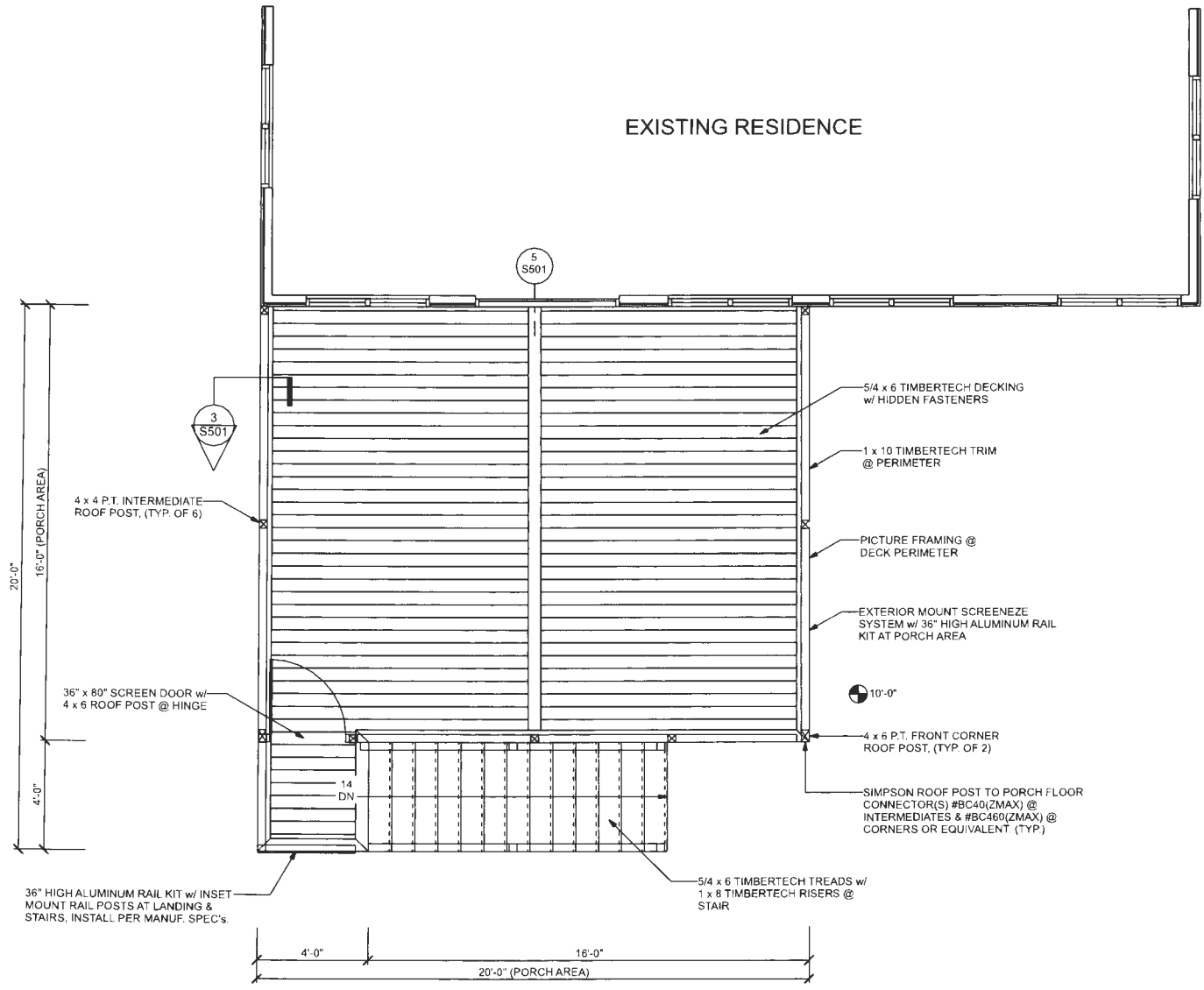
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SHEET # SHEET TITLE
FRAMING PLAN
S103



EXISTING RESIDENCE

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SHEET # SHEET TITLE
 FLOOR PLAN
 S105

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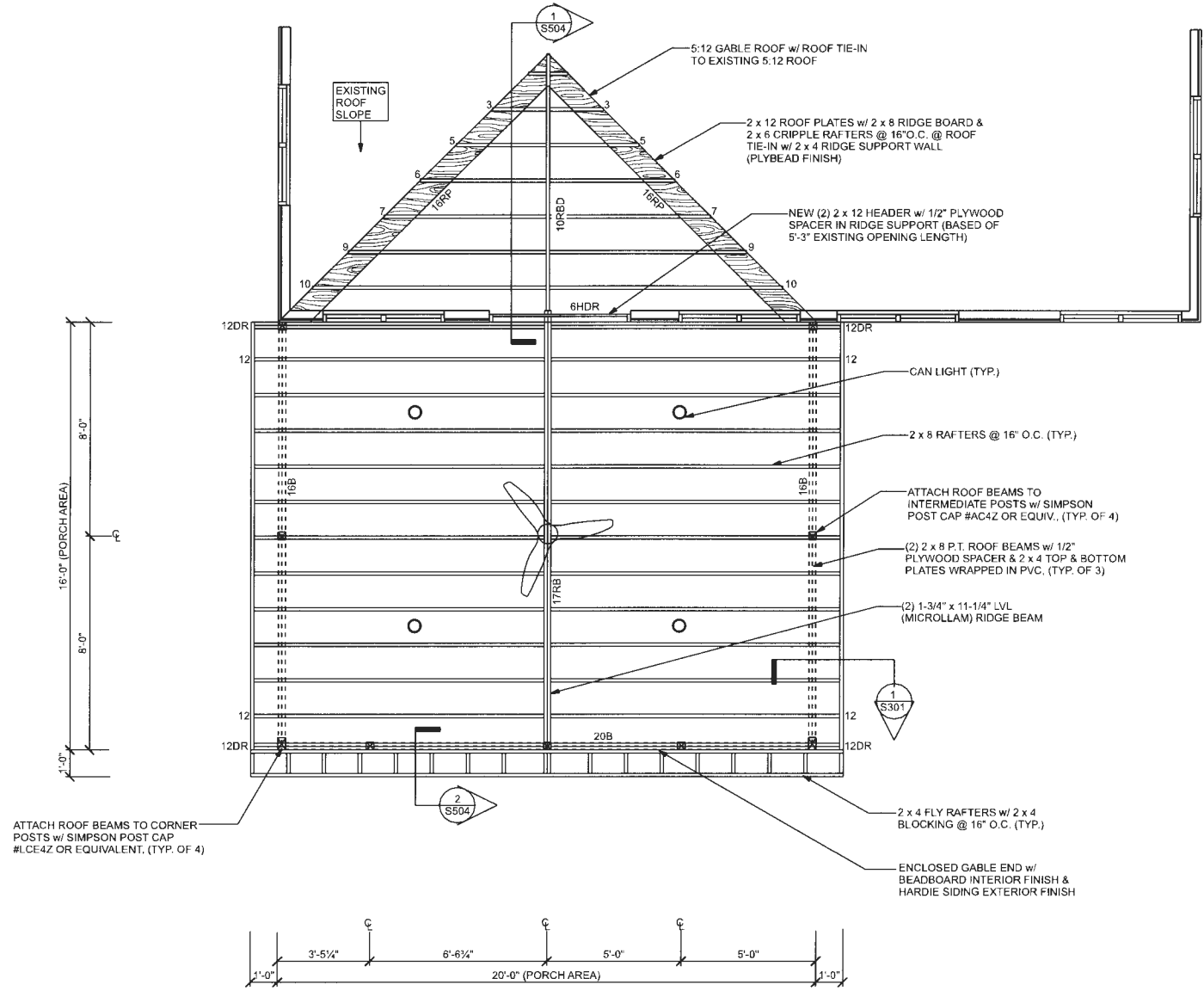
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SHEET TITLE
 ROOF PLAN
 SHEET #
 S109



ATTACH ROOF BEAMS TO CORNER POSTS w/ SIMPSON POST CAP #LCE4Z OR EQUIVALENT. (TYP. OF 4)

2 x 4 FLY RAFTERS w/ 2 x 4 BLOCKING @ 16" O.C. (TYP.)

ENCLOSED GABLE END w/ BEADBOARD INTERIOR FINISH & HARDIE SIDING EXTERIOR FINISH

CAN LIGHT (TYP.)

2 x 8 RAFTERS @ 16" O.C. (TYP.)

ATTACH ROOF BEAMS TO INTERMEDIATE POSTS w/ SIMPSON POST CAP #AC4Z OR EQUIV., (TYP. OF 4)

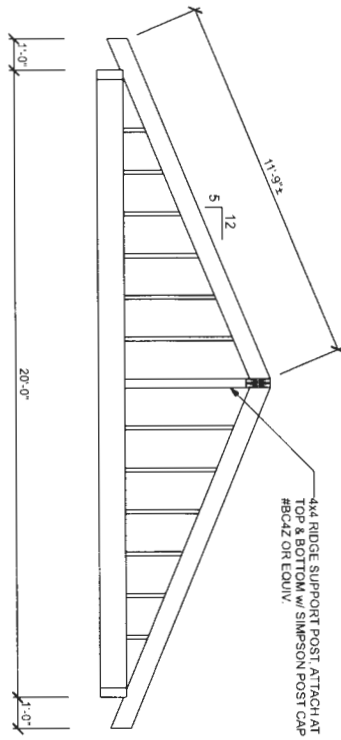
(2) 2 x 8 P.T. ROOF BEAMS w/ 1/2" PLYWOOD SPACER & 2 x 4 TOP & BOTTOM PLATES WRAPPED IN PVC, (TYP. OF 3)

(2) 1-3/4" x 11-1/4" LVL (MICROLLAM) RIDGE BEAM

5-12 GABLE ROOF w/ ROOF TIE-IN TO EXISTING 5.12 ROOF

2 x 12 ROOF PLATES w/ 2 x 8 RIDGE BOARD & 2 x 6 CRIPPLE RAFTERS @ 16" O.C. @ ROOF TIE-IN w/ 2 x 4 RIDGE SUPPORT WALL (PLYBEAD FINISH)

NEW (2) 2 x 12 HEADER w/ 1/2" PLYWOOD SPACER IN RIDGE SUPPORT (BASED OF 5'-3" EXISTING OPENING LENGTH)



GABLE ROOF ELEVATION

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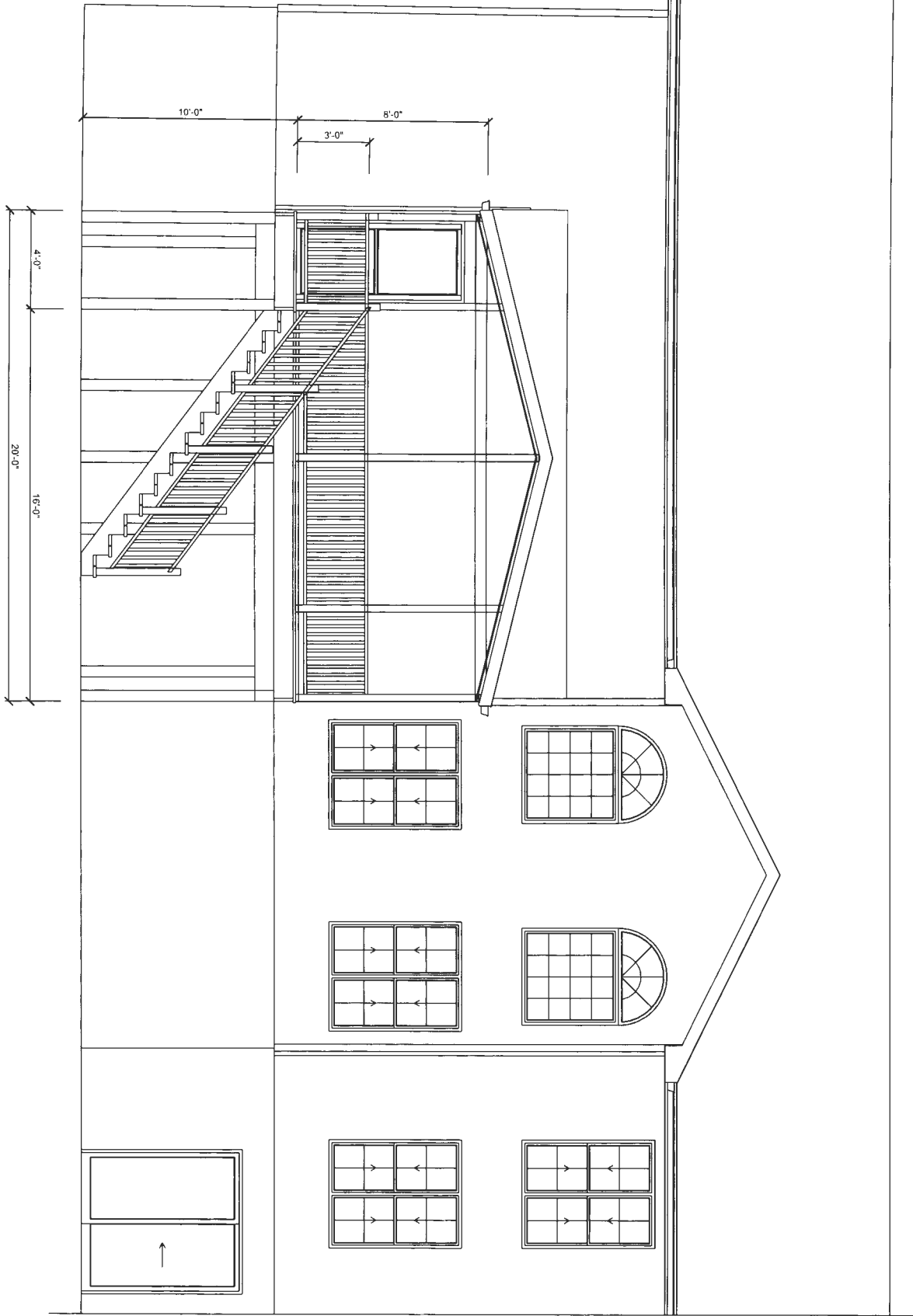
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SHEET # SHEET TITLE
 ROOF PLAN
 S110



SHEET # S201	SHEET TITLE FRONT ELEVATION	DATE DECEMBER 5, 2023 ISSUE REVISION:	SCALE: 1/4" = 1'-0" PAGE 7/14	Prepared by Archadeck Franchising Corporation 2628 Old Back Rd. Columbia, MD 21046 ©2022 Archadeck Franchising Corporation All rights reserved. Unauthorized reproduction or distribution without written permission is prohibited by law.	PROJECT NAME AND ADDRESS 30-AMIR-20231311 15221 SWEETBAY ST WOODBINE, MD 21797 DRAWN BY: DEW EXT: 238	
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SHEET # SHEET TITLE

S202
LEFT ELEVATION

DATE

DECEMBER 5, 2023
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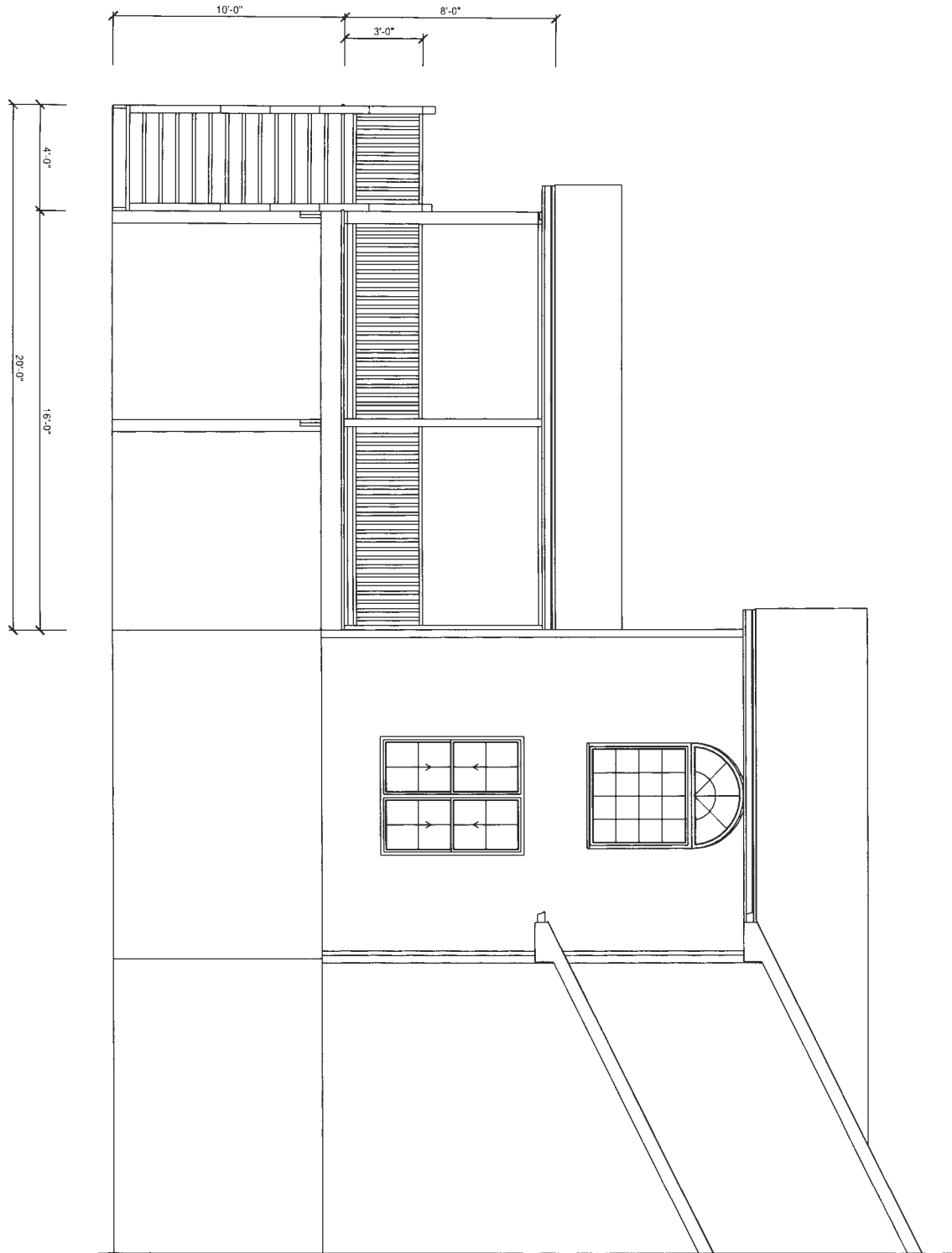
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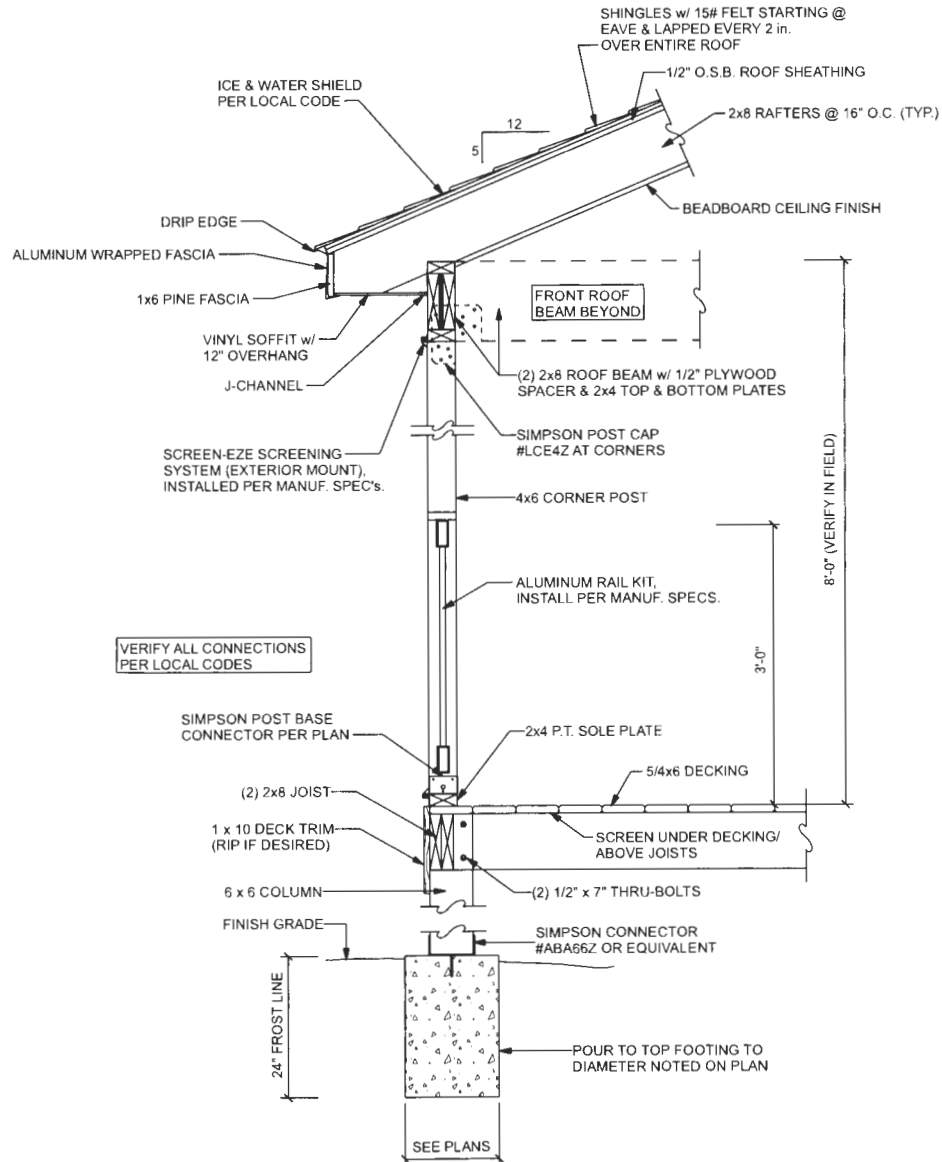
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<p>SHEET # S203</p> <p>SHEET TITLE RIGHT ELEVATION</p>	<p>DATE DECEMBER 5, 2023</p> <p>ISSUE REVISION:</p> <p>SCALE: 1/4" = 1'-0"</p> <p>PAGE 9/14</p>	<p>Prepared by: Archadeck Finishing Corporation 7425 Old Brick Rd Crown Point, IN 46032 ©2023 Archadeck Finishing Corporation All rights reserved. Unauthorized copying or reuse of any part of this document is prohibited. See all applicable laws.</p>	<p>PROJECT NAME AND ADDRESS</p> <p>30-AMIR-20231311 15221 SWEETBAY ST WOOBINE, MD 21797 DRAWN BY: DEW EXT: 238</p>	<p>archadeck[®] outdoor living of DMV</p>
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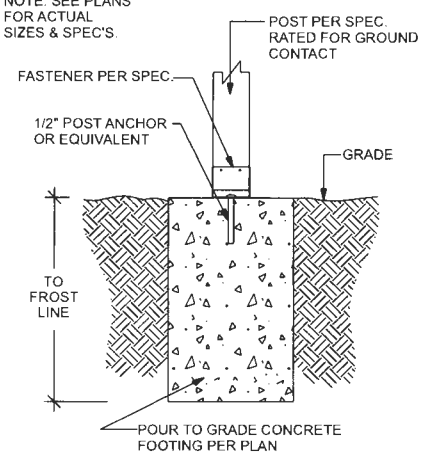
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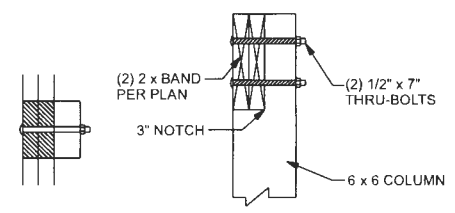
SHEET TITLE
 SECTIONS

SHEET #
 S301

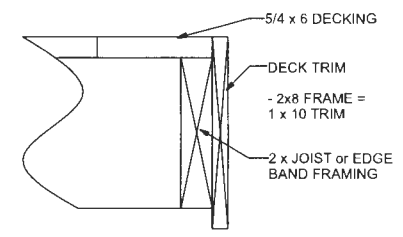
NOTE: SEE PLANS FOR ACTUAL SIZES & SPEC'S.



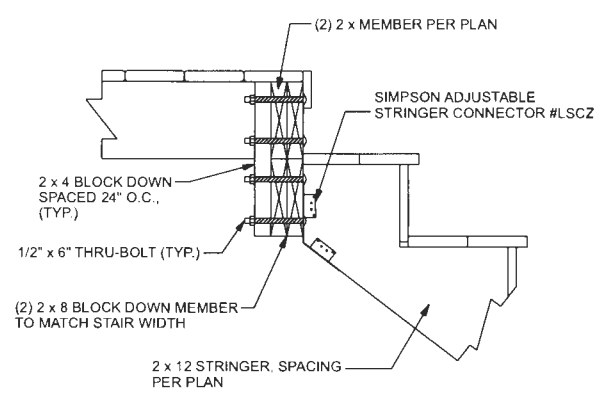
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S501 DECK COLUMN TO POURED TO GRADE CONCRETE FOOTING
SCALE: 3/4" = 1'-0"



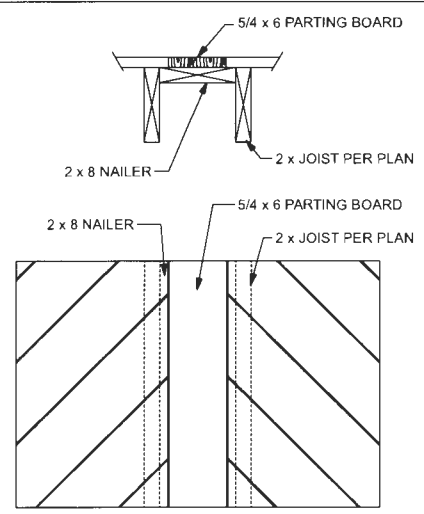
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S501 COLUMN NOTCH FOR DOUBLE MEMBERS
SCALE: 1" = 1'-0"



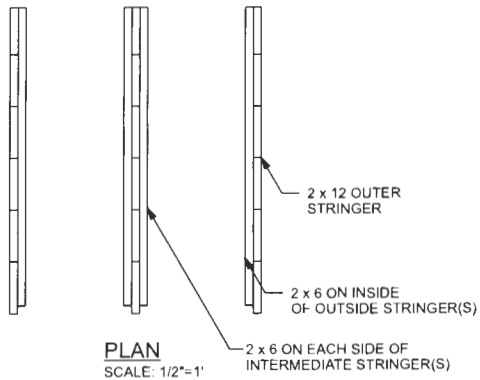
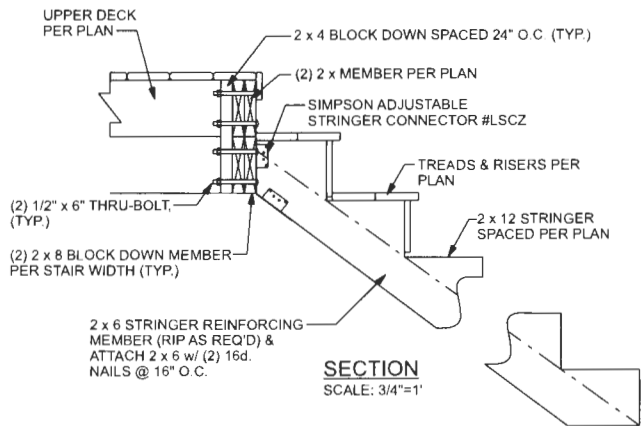
3
S501 FULL CONCEAL FRAME DECK TRIM
SCALE: 2" = 1'-0"



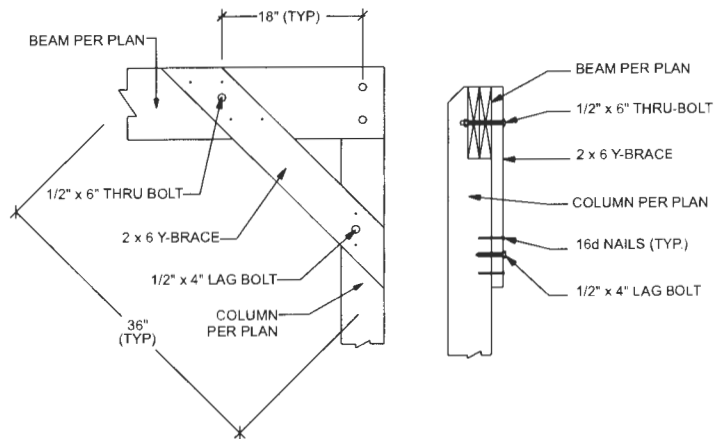
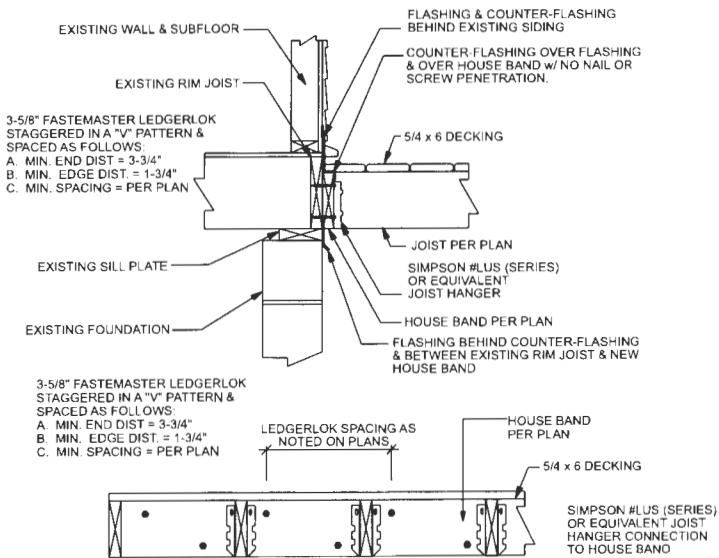
4
S501 STRINGER ATTACHMENT @ DOUBLE MEMBERS
SCALE: 1" = 1'-0"



5
S501 PARTING BOARD w/ FULL 5/4 x 6
SCALE: 1" = 1'-0"



1 REINFORCED STRINGERS
SCALE: 3/4" = 1'-0"



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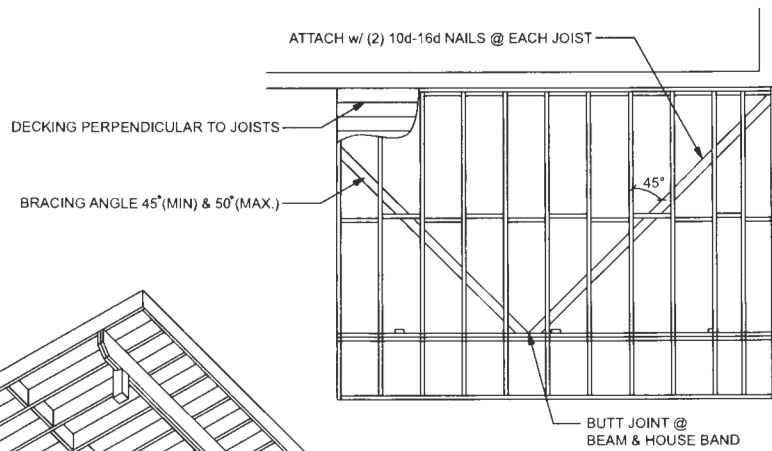
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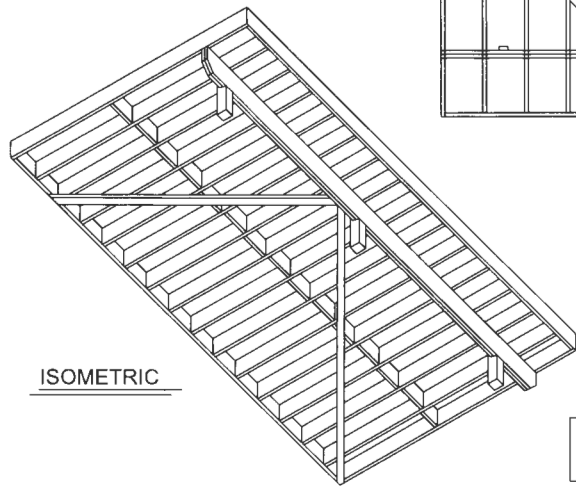
DETAILS

SHEET # S502

SEE PLAN FOR RACK BRACING LAYOUT

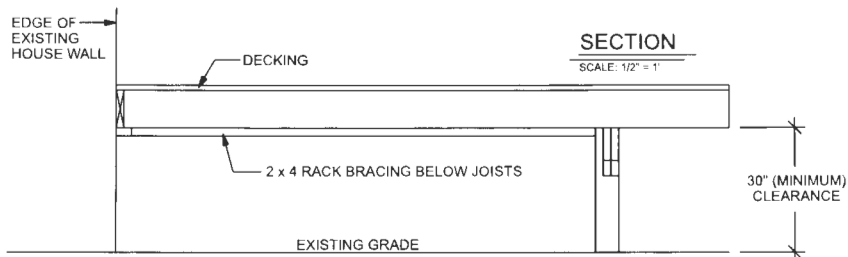


PLAN
SCALE: 1/4" = 1'



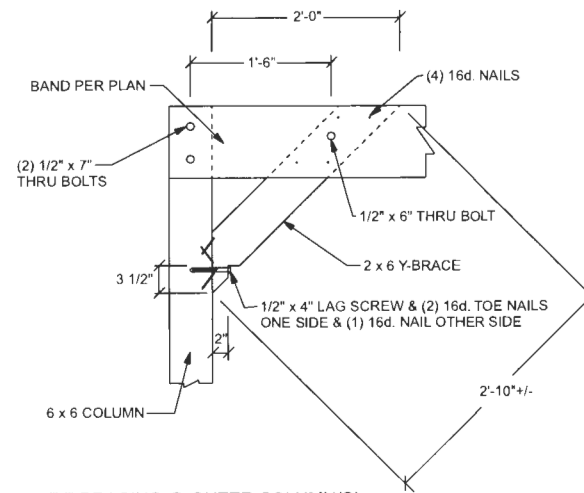
ISOMETRIC

NOTE:
- RACK BRACING IS ONLY REQUIRED IF
DECKING IS PERPENDICULAR TO JOISTS

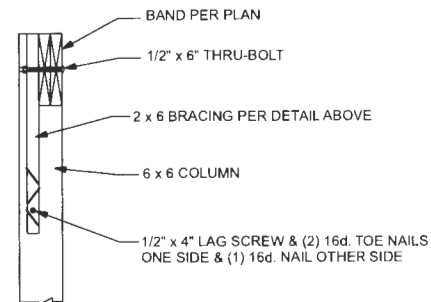


SECTION
SCALE: 1/2" = 1'

1 RACK BRACING
S503 SCALE: VARIES



"Y"-BRACING @ OUTER COLUMN(S)



2 BRACING @ DOUBLE BAND
S503 SCALE: 3/4" = 1'-0"

archadeck
outdoor living
of DMV

PROJECT NAME AND ADDRESS
30-AMIR-20231311
15221 SWEETBAY ST
WOOBINE, MD 21797
DRAWN BY: DEW EXT: 238

Prepared by:
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Glen Allen, VA 23060
Construction & Drafting Department
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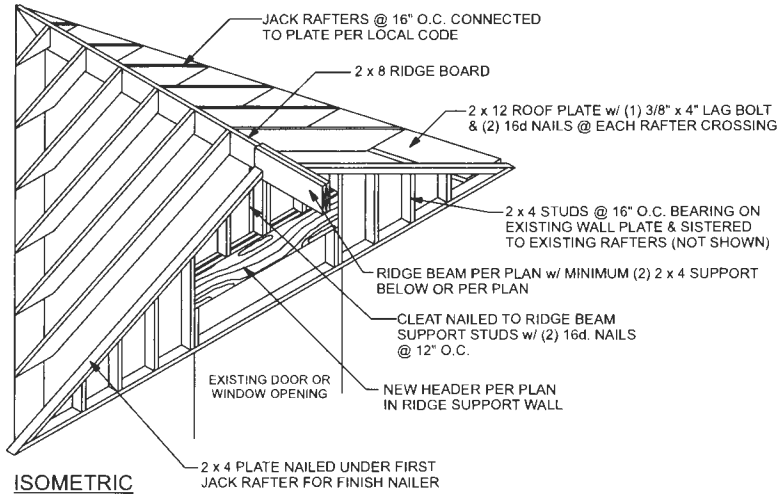
PAGE
13/14

SCALE: 1/4" = 1'-0"

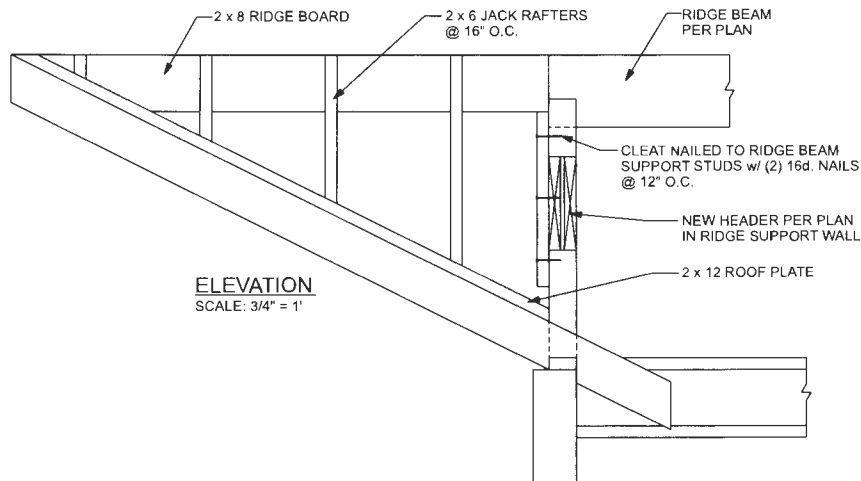
ISSUE
DECEMBER 5, 2023
REVISION:

SHEET # SHEET TITLE
DETAILS

S503

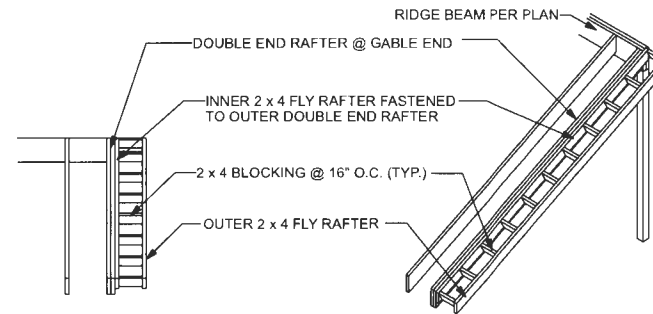


ISOMETRIC



ELEVATION
SCALE: 3/4" = 1'

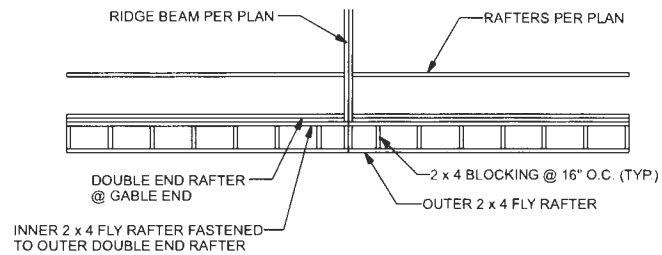
1 STRUCTURAL HEADER IN RIDGE SUPPORT WALL
S504 SCALE: 3/4" = 1'-0"



SECTION ELEVATION:
SCALE: 1/4" = 1'

ISOMETRIC

NOTE:
- CONSTRUCT FLY RAFTER THEN FASTEN TO END RAFTER



PLAN VIEW:
SCALE: 1/4" = 1'

2 FLY RAFTERS @ GABLE END w/ 6" - 20" OVERHANG
S504 SCALE: 1/4" = 1'-0"

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of DMV

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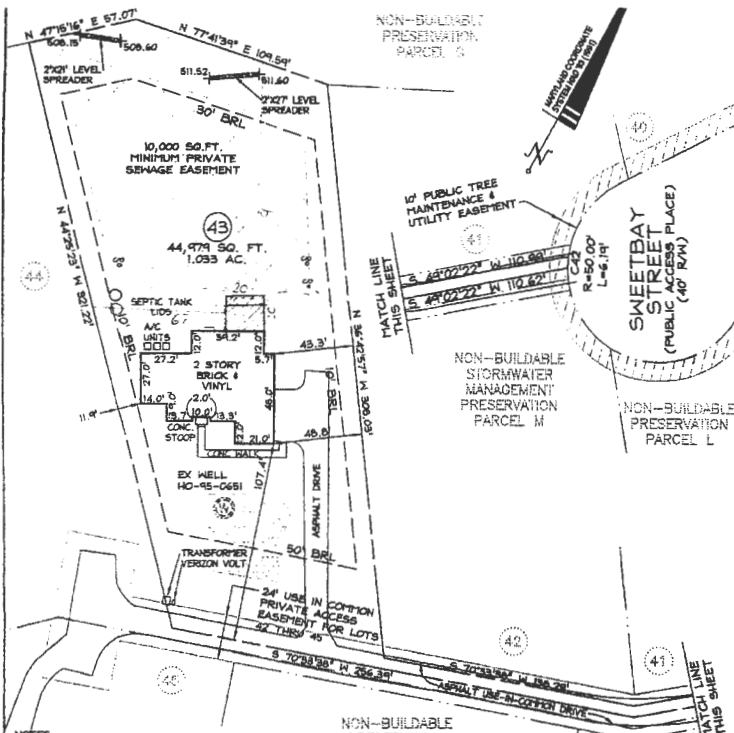
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SCALE: 1/4" = 1'-0"

ISSUE
DATE
DECEMBER 5, 2023
REVISION:

SHEET # SHEET TITLE
DETAILS

S504



NOTES:

1. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
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3. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT THIS IDENTIFICATION MAY NOT BE REQUIRED, FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
4. THE ACCURACY OF THE APPARENT SETBACK DIMENSIONS FROM THE PROPERTY LINES TO THE IMPROVEMENTS IS WITHIN 1 FOOT OF BEING GREATER THAN OR LESS THAN THE DIMENSIONS SHOWN.
5. THE BEARINGS SHOWN HEREON ARE BASED ON THE MARYLAND COORDINATE SYSTEM MAD '83 (PPR).
6. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE 'C' (AREAS OF FIRMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP HD-240044 004B. DATED 12-4-06.

NON-BUILDABLE PRESERVATION PARCEL N

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I EITHER PERSONALLY PREPARED OR HAD IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEYING WORK REFLECTED IN IT, AND THAT IT IS IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION 12 OF CHAPTER 06, MINIMUM STANDARDS OF PRACTICE.

I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 239, EXPIRATION DATE 07/06/16.



Planner
Surveyor
Engineer
Landscape Architect

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Wormlester, MD 21157
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LOCATION DRAWING
#15221 SWEETBAY STREET
LOT 43
BELLE HAVEN ESTATES
PLAT No. 19983
ELECTION DIST. No. 4 HOWARD COUNTY, MD

DDC JOB#: 06116.5
DATE: 6-13-2016
SCALE: 1"=50'
DRN. BY: RC
CHK. BY: RBS