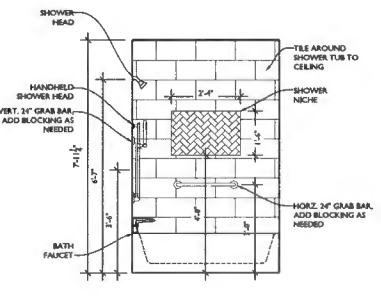
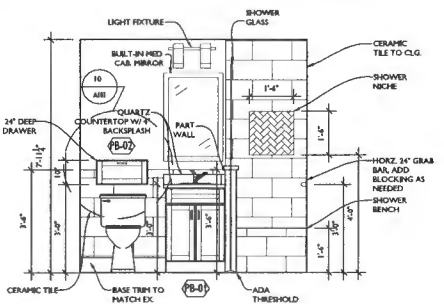


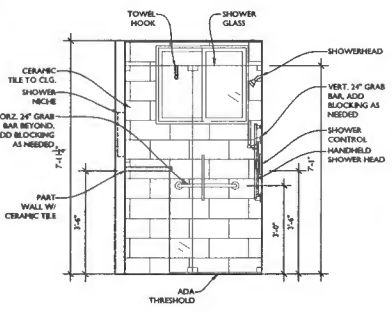
HALL BATH INT ELEVATION
1
A101 SCALE 1/2"=1'-0"



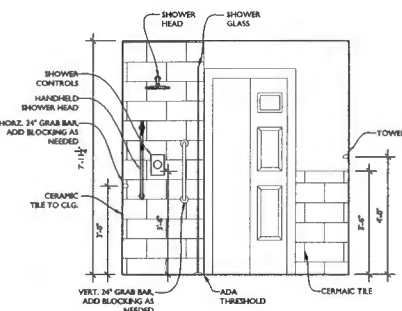
HALL BATH INT ELEVATION
2
A102 SCALE 1/2"=1'-0"



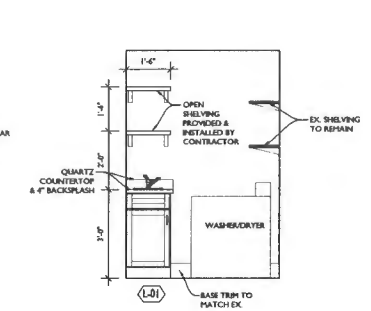
PRIMARY BATH INT ELEVATION
3
A103 SCALE 1/2"=1'-0"



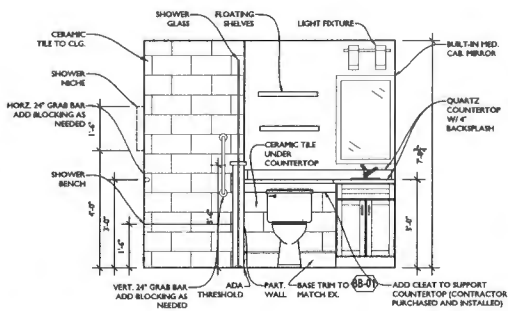
PRIMARY BATH INT ELEVATION
4
A104 SCALE 1/2"=1'-0"



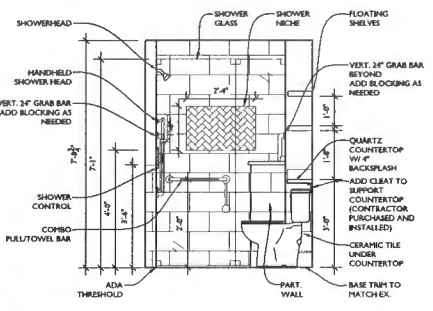
PRIMARY BATH INT ELEVATION
5
A105 SCALE 1/2"=1'-0"



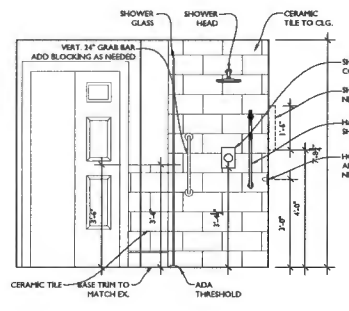
LAUNDRY INT ELEVATION
6
A106 SCALE 1/2"=1'-0"



LOWER LEVEL BATH INT ELEVATION
7
A107 SCALE 1/2"=1'-0"

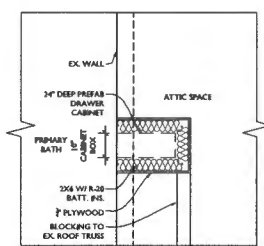


LOWER LEVEL BATH INT ELEVATION
8
A108 SCALE 1/2"=1'-0"

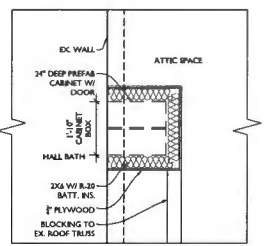


LOWER LEVEL BATH INT ELEVATION
9
A109 SCALE 1/2"=1'-0"

CABINET SCHEDULE						
NO.	DESIG.	W-D-H	TYPE	THRESHOLD	REMARKS	NOTED BY
10-01	VESB01	36-36-36	BASE	BOTH	VANITY SINK BASE	
10-02	W212R	36-36-36	WALL		36" DEEP INSET WALL CABINET W/ ADJUSTABLE SHELF	
CABINET DOOR COLOR: TO BE DETERMINED						
CABINET DOOR STYLE: TO BE DETERMINED						
CABINET DRAWER STYLE: TO BE DETERMINED						
10-03	VESB03	36-36-36	BASE	RIGHT	VANITY SINK BASE	
10-04	CUSTOM	36-36-36	WALL		36" DEEP INSET WALL CABINET (CUSTOM)	
CABINET DOOR COLOR: TO BE DETERMINED						
CABINET DOOR STYLE: TO BE DETERMINED						
CABINET DRAWER STYLE: TO BE DETERMINED						
10-05	VESB05	36-36-36	BASE	LEFT	VANITY SINK BASE	
10-06	CUSTOM	36-36-36	WALL		36" DEEP INSET WALL CABINET (CUSTOM)	
CABINET DOOR COLOR: TO BE DETERMINED						
CABINET DOOR STYLE: TO BE DETERMINED						
CABINET DRAWER STYLE: TO BE DETERMINED						
10-07	VESB07	36-36-36	BASE	RIGHT	SINK BASE	
10-08	CUSTOM	36-36-36	WALL		36" DEEP INSET WALL CABINET (CUSTOM)	
CABINET DOOR COLOR: TO BE DETERMINED						
CABINET DOOR STYLE: TO BE DETERMINED						
CABINET DRAWER STYLE: TO BE DETERMINED						



PRIMARY BATH DETAIL
10
A110 SCALE 1/2"=1'-0"



HALL BATH DETAIL
11
A111 SCALE 1/2"=1'-0"

13464 Clarksville Pike
Highland, MD 20777
301-776-2666
info@TransformingArchitecture.com
www.TransformingArchitecture.com

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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 1043 EXPIRATION 03-31-2025.

PROJECT PHASE

PERMIT

PROJECT TITLE

THE ANDERSON RESIDENCE

4948 Ten Oaks Rd
Dayton, MD 21036

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 23-777

DATE 11/17/2023

SCALE AS NOTED

DRAWING TITLE

INTERIOR ELEVS + CAB. SCHED.

SHEET NUMBER

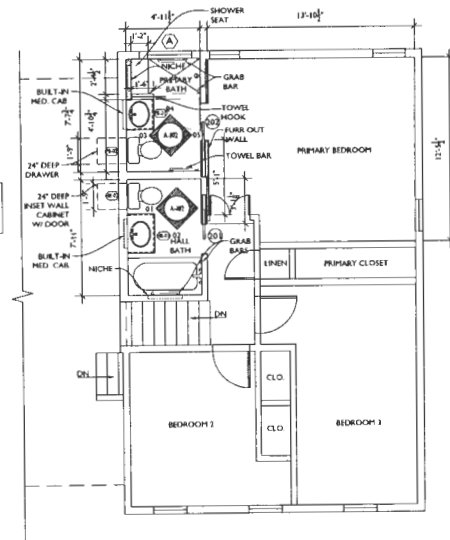
A-102

LINE TYPE KEY:

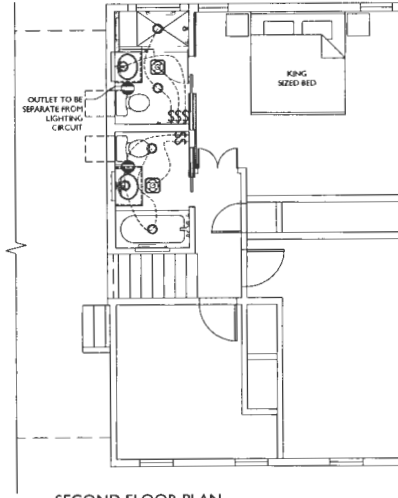
NEW WALL	
EXIST. WALL	
ABOVE LINE	
FOUR WALL	
DEMO WALL	
LOAD BEARING WALL	

TYP. INT. WALL CONSTR. 3/4" WD STUDS UNO @ 16" O.C. W/ 1/2" GIP BD. EACH SIDE

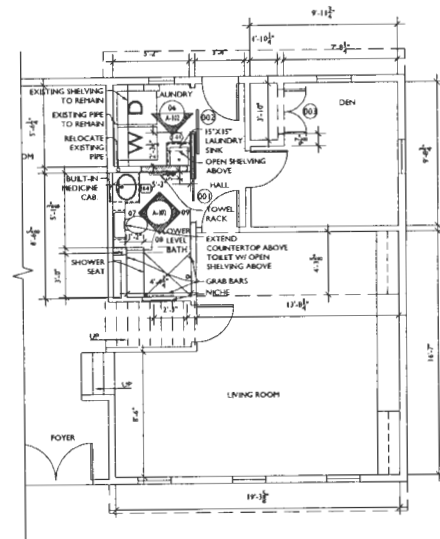
NOTE: PRESERVE EXISTING EXTENSION SINK DURING WINDOW REPLACEMENT



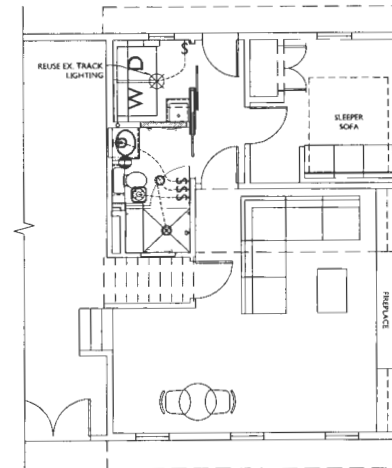
1 SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



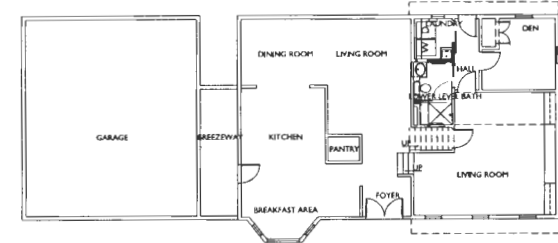
2 SECOND FLOOR PLAN ELECTRICAL LAYOUT
SCALE 1/4"=1'-0"



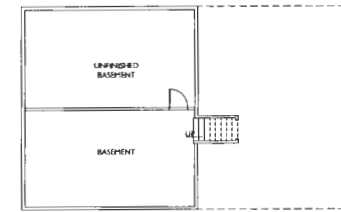
3 BASEMENT FLOOR PLAN
SCALE 1/4"=1'-0"



4 BASEMENT FLOOR PLAN ELECTRICAL LAYOUT
SCALE 1/4"=1'-0"



5 FIRST FLOOR KEY PLAN
SCALE 1/4"=1'-0"



6 BASEMENT KEY PLAN
SCALE 1/4"=1'-0"

ELECTRICAL LEGEND

	SWITCH
	GARBAGE DISPOSAL SWITCH
	UNDER CABINET LIGHTING SWITCH
	OUTLET - GARAGE DOOR
	OUTLET
	GFI OUTLET
	LED WALL MOUNT FIXTURE
	LED CLG FIXTURE
	EXHAUST FAN
	QUIET CLG FAN W/ LIGHT (CEILING)
	TV LOCATION
	SMOKE/CO DETECTION
	SPEAKER
	HOME RUN ALL SPEAKER WIRES TO THIS LOCATION
	2 HEAD FLOOD
	HOSE BIB

ELECTRICAL NOTES:

1. REQUESTED OUTLETS SPECIFIED NOTED ON ELEC. LAYOUT. ALL OTHER OUTLETS PER CODE PER CODE @ 16\"/>
2. MOUNT LIGHT SWITCHES @ 42\"/>
3. EXHAUST FANS W/ HUMIDISTAT (MAX 7 SONES), EXHAUST TO EXTERIOR
4. HINGE SWITCHES BY ALL CLOSETS LUNO
5. ALL FIXTURES ON DIMMERS
6. HARDWIRED SMOKE DETECTOR W/ BATTERY & CARBON MONOXIDE DETECTOR (COMBINED UNIT) TO BE INSTALLED BY ACCORDANCE WITH SECTION 9.3.1.5 OF THE 2018 IRC
7. LED RECESSED LIGHTS SPECS: 2700K-3000K FOR LIVING ROOMS & BEDROOMS 3000K-3500K FOR KITCHEN, OFFICE AND BATHS



13165 Clarksville Pike
Highland, MD 20777
301-776-1666
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www.TransformingArchitecture.com



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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 13412 EXPIRATION 10-22-2025

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PROJECT PHASE
PERMIT

PROJECT TITLE
THE ANDERSON RESIDENCE

4948 Ten Oaks Rd
Dayton, MD 21036

REVISIONS

SYMBOL	DATE	ISSUED FOR

PROJECT NUMBER 23-777
DATE 11/17/2023
SCALE AS NOTED

DRAWING TITLE
FLOOR PLANS + ELECTRICAL LAYOUT

SHEET NUMBER
A-101

No Notification
received from DILP

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B23004584	11/20/2023
Description of Work		
SFD/ ALTERATIONS TO EXISTING DWELLING TO INCLUDE: 77SQFT LOWER LEVEL BATH AND LAUNDRY ROOM AND 80 SQFT OF SECOND FLOOR PRIMARY BATH AND HALL BATH.**SLEEPING ROOMS ARE NOT PERMITTED IN THE BASEMENT UNLESS EGRESS REQUIREMENTS ARE MET, SMOKE DETECTORS REQUIRED**		

[check spelling](#)

Online BP, no file impending

9/12/11/23

Address (This section is required.)

Search	Reset	Clear	Get Parcel & Owner
Street #	Street Name	Street Type	
4948	TEN OAKS	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-76.98271	39.23497
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Parcel (This section is required.)

Search	Reset	Clear	Get Address & Owner			
GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
870765	158	31973	260400	446500	186100	RURAL
Legal Description						
IMPSLOT 4 BL A S 1[]4948 TEN OAKS RD[]LINDEN CHAPEL HLS						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	4	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405341590	LINDEN CHAPEL HILLS					
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-8	RR-DEO	4933-C3					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.	Primary				
21 45			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	1971	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-04A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search	Reset	Clear
Name		
ANDERSON GERALD L		
Address Line 1		
4948 TEN OAKS RD		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
DAYTON	MD	21036
Phone	Primary	
301-776-2666	Yes	
E-mail		
info@transformingarchitecture.com		
Cell Number	Fax Number	

Professionals (This section is not required.)

License #	Business Name			
License Type	First Name	Middle Name	Last Name	
--Select--				
Primary	Address Line 1			
Yes	Address Line 2			
	City	State		ZIP Code
	Phone 1	Phone 2	Fax	
	E-mail			

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name	
Applicant	KAREN		PITSLEY	
Relationship	Full Name			
Applicant	KAREN PITSLEY			
Primary	Organization Name			
Yes	TRANSFORMING ARCHITECTURE			
	Street Address			
	7612 BROWNS BRIDGE ROAD			
	Address Line 2			
	City	State		Zip Code
	HIGHLAND	MD		20777
	Phone	Cell	Fax	
	3017762666	3017762886		
	E-mail			
	info@transformingarchitecture.com			

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name	
Contact	KAREN		PITSLEY	
Relationship	Full Name			
--Select--	KAREN PITSLEY			
Primary	Organization Name			
No	T/B/D			
	Street Address			
	7612 BROWNS BRIDGE ROAD			
	Address Line 2			
	City	State		Zip Code
	HIGHLAND	MD		20777 000
	Phone	Cell	Fax	
	3017762666			
	E-mail			
	info@transformingarchitecture.com			

Addtl Info

Est Construction Cost	Housing Units	Number of Buildings	Public Owned
73000	0	0	No
Construction Type			
--Select--			

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage	No of Stories	Basement	Bedrooms	Full Baths	Half Baths	Water	Sewage
157	SQFT 2	Partially Finished				Private	Private
Existing Utilities	Existing Heating System	Existing Sprinkler System	Type of New Fireplace	Expiration Date	Fee Exempt		
Unknown	Unknown	None	--Select--	6/5/2024	<input type="radio"/> Yes <input type="radio"/> No		