

Record Detail (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Porch	B25001420	04/14/2025

Description of Work
SFD/ Construct a 13 x 17 screened in porch on rear of home.

Online BP.
JL 5/15/25

check spelling

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1660	SHAFFERSVILLE	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.13279	39.3274
City	State	Zip Code	Primary
MOUNT AIRY	MD	21771	Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
908149	256	3.97	227200	594400	218200	RURAL
Legal Description						
3.9799 A []1660 SHAFFERSVILLE RD []MT AIRY						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
		604001	5				
Plan Area	State Tax Id		Subdivision Name				
	1404352106						
Section	Area		Tax Map				
			6				
Grid	Zoning District		ADC Map				
6-18	RC-DEO		4690-J8				
SDP No.	Final Plan No.		WP File No.				
Record Plat No.	WS Contract No.		FDP No.	Primary			
				Yes			
Owner Occupied	Year Built		Historic District				
<input type="radio"/> Yes <input type="radio"/> No	1991		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Historic District Registry No.	Stat Area		Flood Plain				
	4-04		<input type="radio"/> Yes <input checked="" type="radio"/> No				
Building No							

Owner (This section is required.)

Search Reset Clear

Name
SCHRI

Address Line 1
1660 SHAFFERSVILLE RD
Address Line 2

Address Line 3

Mail City
MOUNT AIRY
Mail State
MD
Mail Zip Code
21771

Phone
301-520-6072

Primary
Yes

E-mail
DanSchrider@outlook.com

Cell Number **Fax Number**
3015206072

Professionals (This section is not required.)

License # 08010044942	Business Name DORMAN BUILDERS INC			
License Type MHIC Ind	First Name CHARLES	Middle Name	Last Name DORMAN	
Primary Yes	Address Line 1 8415 PROGRESS DR STE D			
	Address Line 2			
	City FREDERICK	State MD	ZIP Code 21701-0000	
	Phone 1 2406515096	Phone 2	Fax 3018315250	
	E-mail CJ@DORMANHOMEREMODELING.COM			

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type Applicant	First Name Terry	MI	Last Name Ensor	
Relationship Applicant	Full Name Terry Ensor			
Primary No	Organization Name Dorman Home Remodeling			
	Street Address 8415 Progress Dr.			
	Address Line 2 Suite D			
	City Frederick	State MD	Zip Code 21701	
	Phone 240-651-5096	Cell 240-315-7235	Fax	
	E-mail terry@dormanhomeremodeling.com			

Addtl Info

Est Construction Cost 100000	Housing Units 0	Number of Buildings 0	Public Owned No	
Construction Type 434 - Additions, Alterations and Conversions - Residential				

PORCH INFORMATION

PORCH INFORMATION

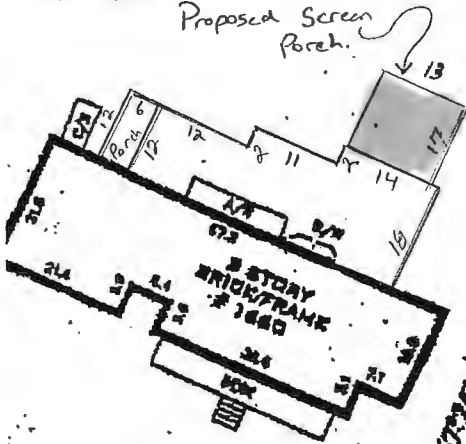
Capital Project-No Fee <input type="radio"/> Yes <input checked="" type="radio"/> No	Capital Project Number (Text)	Fee Exempt <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit # (Text)
Existing Use SFD	Type of Porch ▼ Screened Porch	Type of Porch Foundation Post & Pier	Total Square Footage ▼ 221	SQFT (Number)
Water Supply Private	Sewage Disposal ▼ Private	Expiration Date 11/4/2025		

Submit **Cancel**

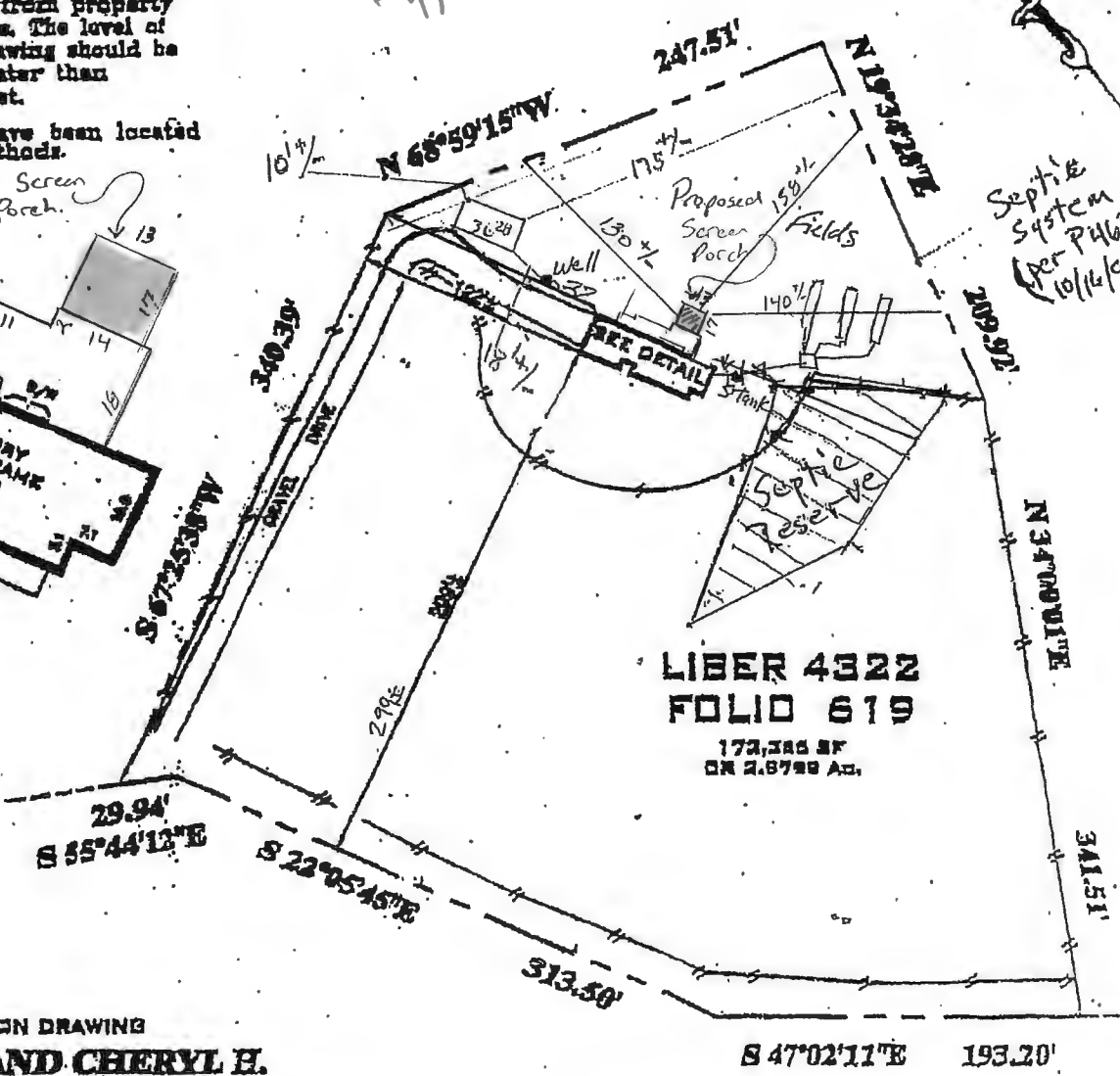
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

B:25001420 (13' x 17' porch)
 Approved 5/19/25 - H.O.

- Notes
1. Flood zone "C" per H.U.D. panel No. 240044-0006B.
 2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.
 3. Fences, if shown, have been located by approximate methods.



DETAIL
 SCALE: 1"=30'



LOCATION DRAWING

STUART N. AND CHERYL H.
 SCHWENBERG PROPERTY
 FOLIO 619
 MARYLAND

1660 SCHAFFERSVILLE ROAD

STATE OF MARYLAND
 DEPARTMENT OF GENERAL SERVICES
 DIVISION OF LAND AND NATURAL RESOURCES
 OFFICE OF THE ASSISTANT SECRETARY
 1000 PENNSYLVANIA AVENUE, SUITE 200
 ANNAPOLIS, MARYLAND 21403
 (410) 291-1000

REFERENCES	
PLAT BY	
DATE	
FOLIO	619

SUPER & ASSOCIATES	
SURVEYORS - ENGINEERS	
LAND PLANNING ARCHITECTS	
2000 PENNSYLVANIA AVENUE, SUITE 200	
ANNAPOLIS, MARYLAND 21403	
(410) 291-1000	
DATE OF LOCATIONS	SCALE: 1"=100'
WALL CHECKED	DRAWN BY: [Signature]
FILE NO.: 01-14-2003	JOB NO.: 2002-011

JAN 11 2003 11:11 AM

Oswald Jr, Woodin

From: Oswald Jr, Woodin
Sent: Monday, May 19, 2025 9:24 AM
To: 'terry@dormanhomeremodeling.com'
Cc: 'CJ@DORMANHOMEREMODELING.COM'
Subject: B25001420_1660 Shaffersville Road_Site Plan
Attachments: WS_Shaffersville_1660_BuildingPermit.pdf

Hi Ms. Ensor:

The site plan for BP# B25001420 does not appear to include the building addition in 2012 (Please see attachment). Please revise site plan to include the correct house foot print. Please do not include any previous stamp approvals on the revised site plan. Once the site plan has been submitted/uploaded to DILP, please let me know.

Should you have any questions or concerns, please don't hesitate to contact me.

Regards,

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
Howard County Health Department
8930 Stanford Blvd. Columbia, MD 21045
(410) 313 - 1786
www.hchealth.org

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HOME REMODELING

Proposed Screened-In Covered Deck Addition
to the
SCHRIDER RESIDENCE
1660 Shaffersville Road, Mt. Airy, MD. 21771

THE CAD STUDIO
Architectural Design and Drafting Services
1660 Shaffersville Road, Mt. Airy, MD. 21771
Phone: (301) 781-1111 • Fax: (301) 781-1112 • Email: info@thecadstudio.com

Proposed Screened-In Covered Deck Addition to the **SCHRIDER RESIDENCE** 1660 Shaffersville Road. Mt. Airy, MD. 21771

Door & Window Schedule

Door Schedule						
Label	Qty	Floor	Size	R/O	Description	Comments
306B	1	1	306B L EX	3/8 1/2"X80 1/4"	Screened PVC Door	
506B	1	1	506B L/R EX	60 1/2"X80 1/4"	Screened PVC Door	

Stats

Additional First Floor Area : 0 sq'
 Additional First Floor Remodeling Area : 0 sq'
 Additional First Floor Garage Area : 0 sq'
 Additional Second Floor Area : 0 sq'
 Additional Second Floor Remodeling Area : 0 sq'
 Additional FNDTN Area : 0 sq'
 Additional FNDTN Remodeling Area : 0 sq'
 Additional Decks : 0 sq'
 Additional Covered Decks : 212 sq'
 Additional Covered Porches : 0 sq'
 Re-purposed Area : 0 sq'
 Additional SQ' Roof Surface : Approx. 212 sq'
 New Roofing Metal Surface sq' : Approx. 0 sq'
 New Roofing Shingles Surface sq' : Approx. 345 sq'

Project Area Total : 212 sq'

Page Index

Page C000 : COVER SHEET w/Stats, Design Parameter and Page Index and Door & Window Schedule

Page A001 : EXISTING ELEVATIONS : Rear, Left and Right Elevations
 Page A002 : EXISTING PLAN: Existing First Floor Plan

Page A003 : EXISTING ELEVATIONS : Rear, Left and Right Elevations
 Page A004 : PLAN: Foundation Plan
 Page A005 : PLAN: First Floor Plan

Page A006 : SECTION: Section @ Screened-In Covered Deck

Page A007 : GENERAL NOTES: General Notes & Design Parameter, Abbreviations, Misc.

Page S001 : STRUCTURAL PLAN: First Floor Joist Layout
 STRUCTURAL PLAN: First Floor Truss Layout

Design Parameters

TABLE R301.2
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

DPI Review Note #1
Revised: 04/24/2025 O. G.

Wind Design		Special Wind Region	Windborne Debris Zone	Seismic Design Category	Subject to Damage From			Winter Design Temp	Ice Barrier Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp
Ground Snow Load	Speed (mph)				Washing	Front Line Depth	Termin					
40 lbs	115	No	No	A	Severe	30'	Med Heavy	20°F	Yes	See Flood Maps	1500	50°F

Manual J Design Criteria											
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Caving	Heating Temperature Difference				
148 ft	36	15°F	81°F	---	70°F	75°F	55°F				
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Condensent Wet Bulb	Daily Range	Winter Humidity	Summer Humidity					
15°F	15%	7.5%	74	M	50	50					

GENERAL NOTE
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper (IRC 2021 R311)

GENERAL NOTE
All Sill-plates Shall Be Pressure Treated and Fastened with 1/2" x 6" Simpson Titen HD S5050W anchor OR Eq @ max 48" O/C (TYP)

GENERAL NOTE:
Preservative-treated Lumber shall be southern pine, grade B2 or better. Lumber in contact with the ground shall be rated as "ground-contact"

FOOTING NOTE:
Where deck footing is closer than 5 feet to an existing exterior house wall, the footing must bear at the same elevation as the existing Structures footings

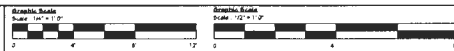
GENERAL NOTE:
ALL WORK SHALL COMPLY WITH IRC 2021 FOR ONE AND TWO-FAMILY DWELLINGS, AND ALL AMENDMENTS BY APPLICABLE COUNTY

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY HEIGHT OF EXISTING ROOF EAVES, PARAPETS, BALCONIES, CHIMNEYS AND PENINSAS PRIOR TO ORDERING AND INSTALLING NEW TRUSSES AND RAFTERS. NEW TRUSS AND RAFTER HEIGHT, PITCH AND OVERHANG MAY BE ADJUSTED TO CLEAR ANY OBSTRUCTIONS SUCH AS WINDOWS, CHIMNEYS, ETC., AND TO ALIGN RIDGES, EAVES AND PARAPETS

GENERAL NOTE:
ALL EXTH DIMENSIONS ARE TO BE VERIFIED. NEW WORK DIMENSIONS MAY BE ADJUSTED TO REFLECT EXISTING CONDITIONS

This page Has been Revised And Must accompany Permit # : B25001420

Home Owner Approval: _____ Date: _____
 D.C. Approval: _____ Date: _____
 License No. _____
 State: APR 24 2025



PRINT NOTE:
Print to scale at 22x34" ANSI-D Size
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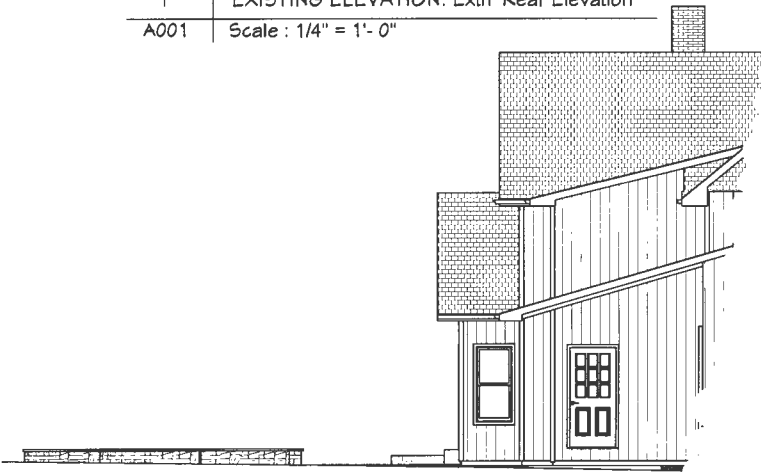
APR 24 2025
PERMIT
COVER SHEET
Page 1 of 4

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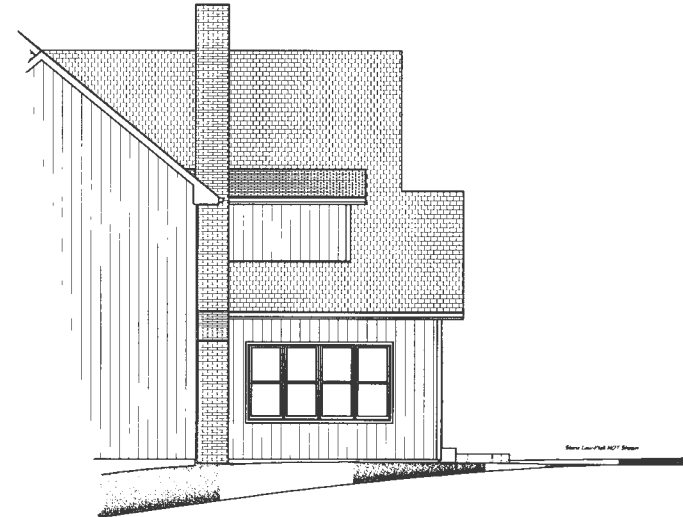
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1 | EXISTING ELEVATION: Extn' Rear Elevation
A001 | Scale : 1/4" = 1'- 0"



2 | EXISTING ELEVATION: Extn' Left Elevation
A001 | Scale : 1/4" = 1'- 0"



3 | EXISTING ELEVATION: Extn' Rear Elevation
A001 | Scale : 1/4" = 1'- 0"

Home Owner Approval: _____ Sign: _____ Date: _____
O.C. Approval: _____ Sign: _____ Date: _____

Project No. 2025-001
Date: APRIL 09/2025

Graphic Scale
Scale: 1/4" = 1'- 0"
0 4 8 12

Graphic Scale
Scale: 1/2" = 1'- 0"
0 4 8

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Proposed Screened-in Covered Deck Addition
to the
SCHRIDER RESIDENCE
1660 Shaffersville Road, Mt. Airy, MD 21111

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11111
11111

Project No. 2025-001
Date: APRIL 09/2025

Project No. 2025-001
Date: APRIL 24/2025

Project No. 2025-001
Date: APRIL 24/2025

Project No. 2025-001
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Date: APRIL 24/2025

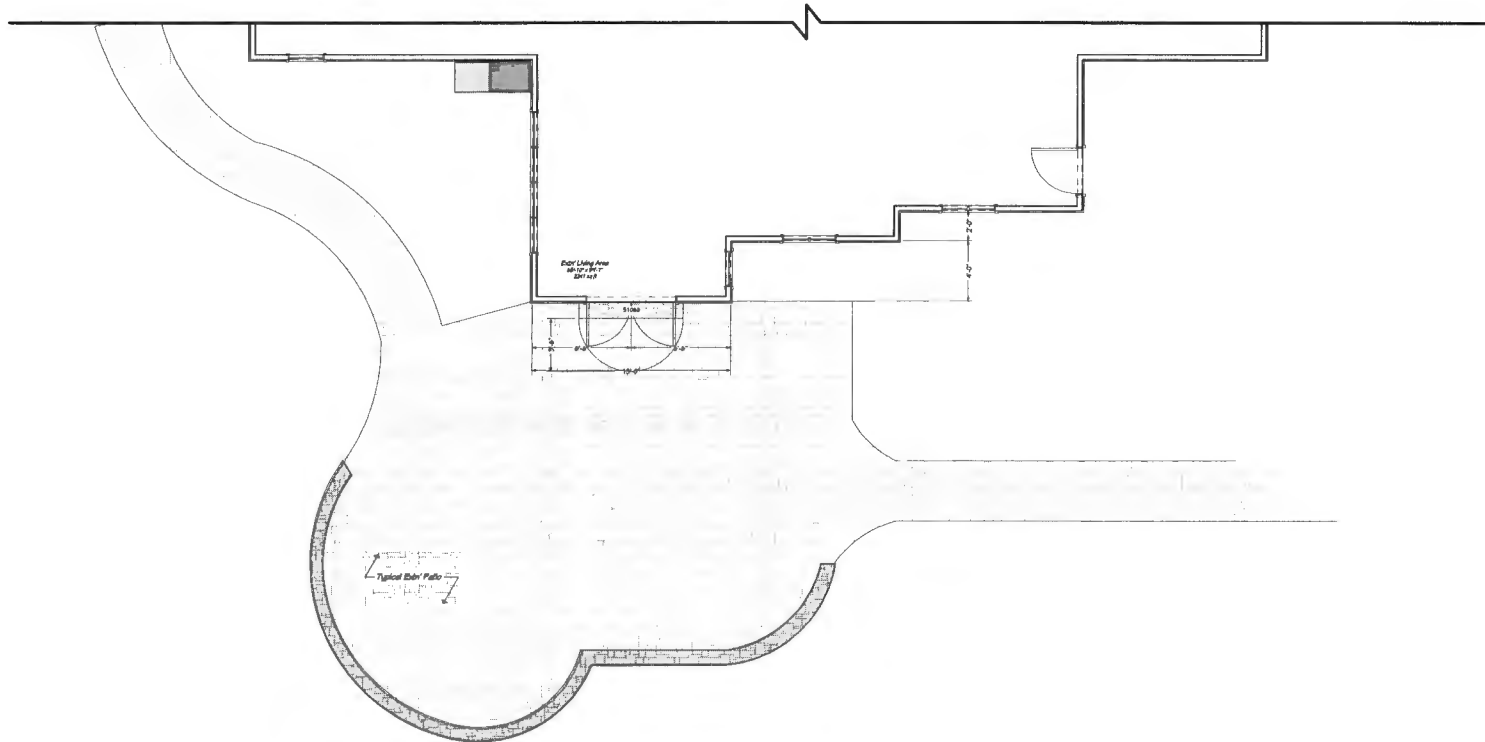
Project No. 2025-001
Date: APRIL 24/2025

Project No. 2025-001
Date: APRIL 24/2025

Project No. 2025-001
Date: APRIL 24/2025

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1 | EXISTING PLAN: Extr' 1st Floor Plan
 A002 | Scale : 1/4" = 1'-0"

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 G.C. Approval: _____ Date: _____



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 to the
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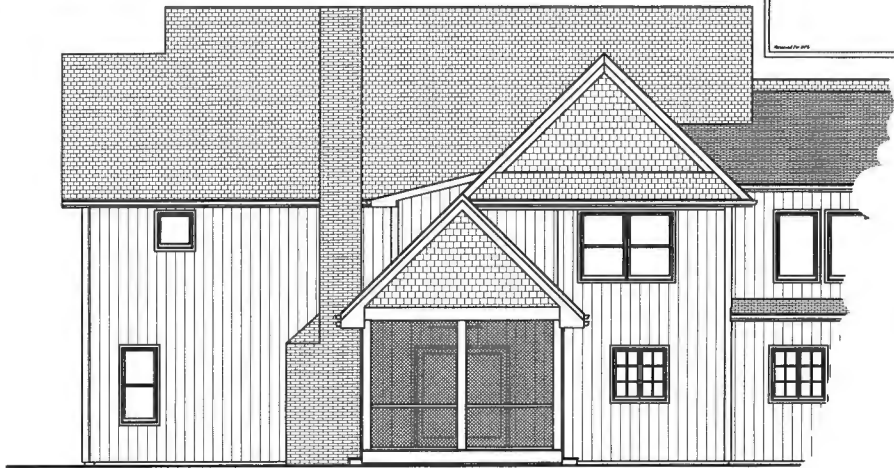
Client: Mr. & Mrs. Schriber
 Project: Deck Addition
 Date: **APRIL 08/2025**
 Issued: **APRIL 24/2025**

PERMIT
 EXISTING PLAN

Sheet: **A002**
 Page 3 of 4

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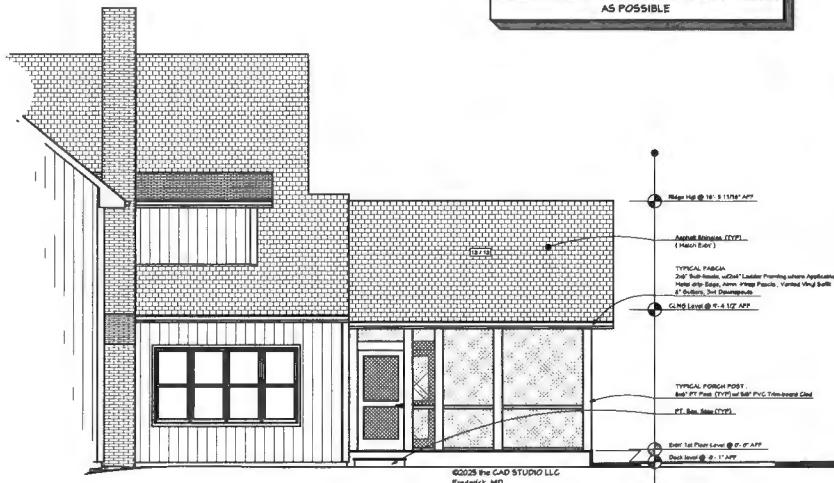
1 | PROPOSED ELEVATION: Proposed Rear Elevation
A003 | Scale : 1/4" = 1'-0"

NOTE:
ALL HEIGHTS AND MATERIAL DESIGNATION REMAINS THE SAME THROUGHOUT EACH ELEVATION AND THROUGHOUT THE ENTIRE PROJECT
ALL MATERIALS TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE



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2 | PROPOSED ELEVATION: Proposed Left Elevation
A003 | Scale : 1/4" = 1'-0"



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3 | PROPOSED ELEVATION: Proposed Right Elevation
A003 | Scale : 1/4" = 1'-0"

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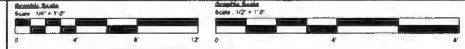
Proposed Screened-in Covered Deck Addition
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Permit
APRIL 08/2025
APRIL 24/2025
PERMIT
ELEVATIONS

A003

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G.C. Approval: _____ Sign: _____ Date: _____
APRIL 08/2025



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GENERAL CONCRETE / FOUNDATION NOTES

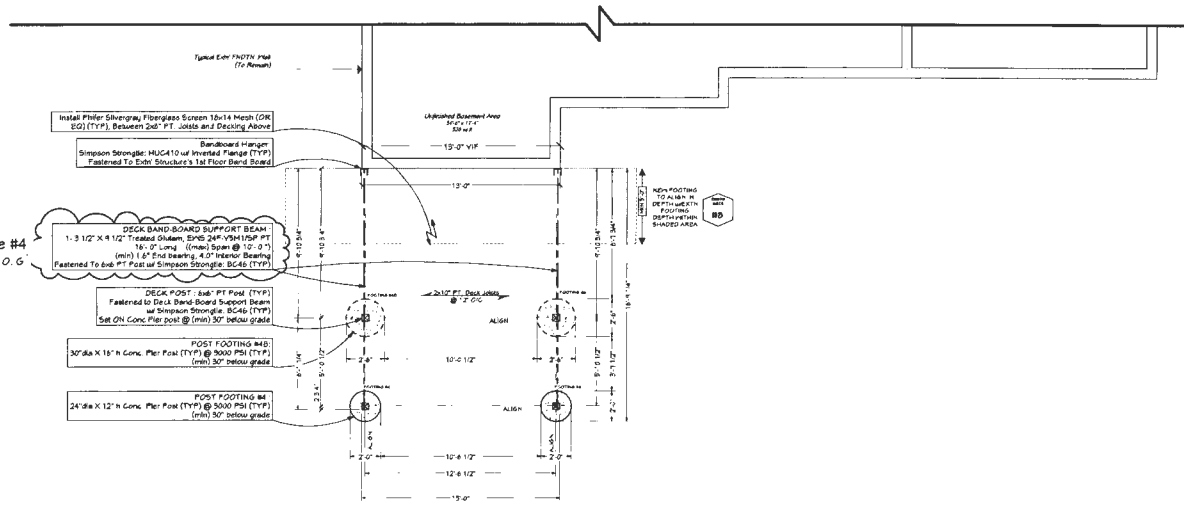
- Applies Only Where Shown On Plan
- Plan Symbol:
- #1: Install (min) Ten 16" #4 Rebar Dowel Let-Ins and Epoxy at 12" O/C Vertically. Insert (min) 4" into Exst' FNDTN Wall, and (min) 12" into New FNDTN Wall (TYP).
 - #2: Install (min) Ten 16" #4 Rebar Dowel Let-Ins and Epoxy. Insert (min) 4" into Exst' FNDTN Footing, and (min) 12" into New FNDTN Footing (TYP) (TYP at all FNDTN Footing Connections).
 - #2B: Install SEA 16" #4 Rebar Dowel Let-Ins and Epoxy. Insert (min) 4" into Exst' FNDTN Wall, and (min) 12" into New FNDTN Footing (TYP). Drill and Embed in 4" Epoxy.
 - #2C: Install SEA 16" #4 Rebar Dowel Let-Ins and Epoxy. Insert (min) 4" into Exst' FNDTN Wall, and (min) 12" into New FNDTN Footing (TYP). Drill and Embed in 4" Epoxy.
 - #3: Install (min) Ten 16" #4 Rebar Dowel Let-Ins and Epoxy at 12" O/C Horizontally. Insert (min) 4" into Exst' FNDTN Wall, and (min) 12" into New Slab (TYP).
 - #4: Install (min) Ten 16" #4 Rebar Dowel Let-Ins and Epoxy at 12" O/C Horizontally. Insert (min) 4" into Exst' Slab, and (min) 12" into New Slab (TYP).
 - #5: 4" Concrete Slab @ 3000 PSI. Reinforced w/ #4 Rebar 18" O/C each way (OR #3 Rebar w/ #4 #1). On 2" Insulated Polyisocyanurate, On 2" Vapor Barrier, On (min) 4" Compacted Gravel Base.
 - #6: 4" Concrete Slab @ 2500 PSI. Reinforced w/ #4 Rebar 18" O/C each way (OR #3 Rebar w/ #4 #1). On 2" Insulated Polyisocyanurate, On 2" Vapor Barrier, On (min) 4" Compacted Gravel Base.
 - #7: 5" Concrete Slab @ 3000 PSI. Reinforced w/ #4 Rebar 12" O/C each way. On 2" Insulated Polyisocyanurate, On (min) 4" Compacted Gravel Base.
 - #8: Where New Foundation Footing is Installed Less Than 5' From Exst' Footing, New FNDTN Footing Shall Align in Depth with Exst' Footing.
 - #9: Where New Deck Floor Footing is Installed in The Foundation Overlay Area Or Less Than 5' From New Foundation, New Deck Floor Footing Shall Align in Depth with New Foundation Footing.
 - #10: Thicken Slab to 6". Reinforce w/ 2 #4 Rebar Lengthwise.
 - #11: Thicken Slab to 5". Reinforce w/ 2 #4 Rebar Lengthwise.

FOOTING SCHEDULE

Applies Only Where Shown On Plan

PLAN SYMBOL	FOOTING DESCRIPTION	REBAR	MIN PSI
	12" SQUARE FOOTING (TYP) 12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI
	12" dia x 12" Conc. Pad (TYP)	#4 @ 18" O/C	3000 PSI

DPI Review Note #4
Revised: 04/24/2025 O.G.



1 | PLAN: FNDTN Plan
A004 | Scale: 1/4" = 1'-0"

This page Has been Revised And Must Accompany Permit #: B25001420

Home Owner Approval: _____ Date: _____
 G.C. Approved: _____ Sign: _____ Date: _____
 CAD STUDIO LLC
 06/2023

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 1660 Shafterville Road, Mt. Airy, MD 21111

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Permit # B25001420
 APRIL 08/2025
 APRIL 24/2025
 PERMIT
 FNDTN PLAN
 Page 5 of 4

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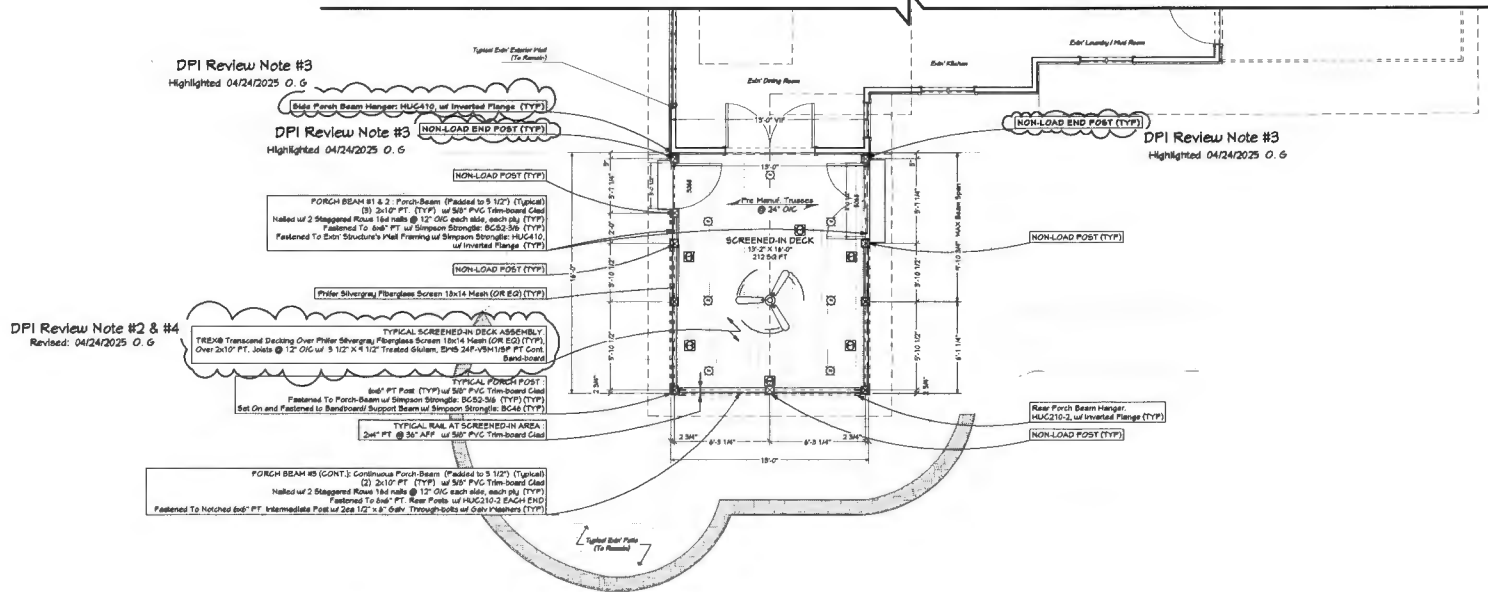
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SCHRIDER RESIDENCE
1660 Shattersville Road, Mt. Airy, MD. 21111

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Client Name: A005 - Schrider
Job Name: Screened-In Deck
Permit No: B25001420
Rev: APRIL 08/2025
Issue Date: APRIL 24/2025
Project: 1660 Shattersville Road
Phase: 1
Page Title: PERMIT
FIRST FLOOR PLAN



1 | PLAN: First Floor Plan
A005 | Scale: 1/4" = 1'-0"

This page Has been Revised And Must
Accompany Permit #: B25001420

Name: Owner Approval: _____ Sign: _____ Date: _____
G.C. Approval: _____ Sign: _____ Date: _____

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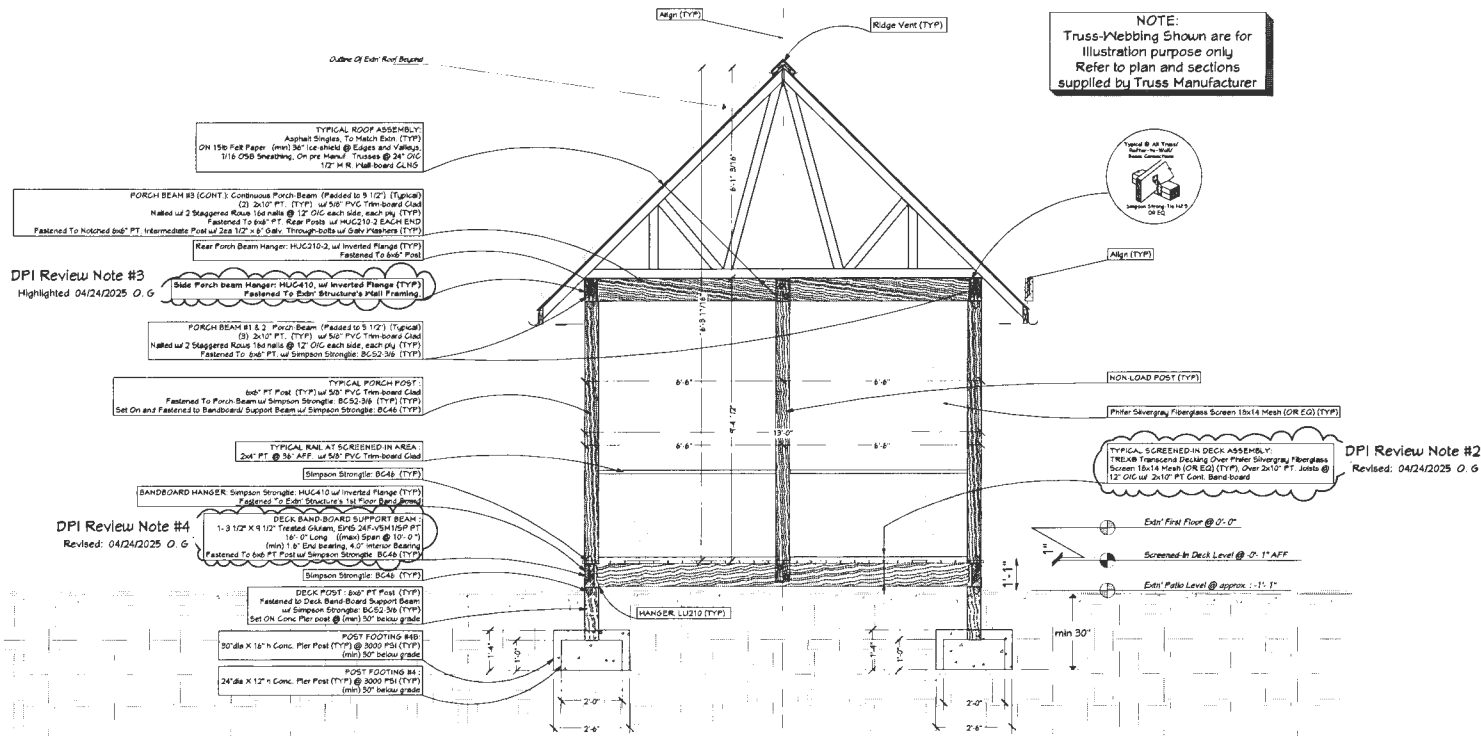
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DPI Review Note #3
Highlighted 04/24/2025 O.G

DPI Review Note #4
Revised: 04/24/2025 O.G

NOTE:
Truss-Webbing Shown are for
Illustration purpose only
Refer to plan and sections
supplied by Truss Manufacturer



NON-LOAD POST (TYP)

Prior Silvergray Fiberglass Screen 18x14 Mesh (OR EQ) (TYP)

TYPICAL SCREENED-IN DECK ASSEMBLY:
TRUXTREAM Transcend Decking Over Prior Silvergray Fiberglass
Screen 18x14 Mesh (OR EQ) (TYP) Over 2x10" PT Joists @
12" O.C. w/ 2x10" PT Cont. Band Board

DPI Review Note #2
Revised: 04/24/2025 O.G

1 | SECTION: Section @ Screened-In Covered Deck
A006 | Scale: 1/2" = 1'-0"

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Project: 1660 Shaffersville Road, Mt. Airy, MD, 21111
Sheet: 1 of 1
Page Title: PERMIT
SECTION: Screened-In Covered Deck
Page: A006
Page 1 of 4

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Design Parameters

TABLE R301.1 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Design	Special Wood Region	Windborne Debris Zone	Seismic Design Category	Subject to Damage From Weathering	Front Line Elevation	Winter Design Temp	Ice Barrier Underlayment Required	Flood Hazard	Air Freezing Index	Mean Annual Temp
40 lbs	115	No	No	A	Severe	3'	Mid Heavy	20°F	Sea Flood Maps	1500	55°F

Envelope	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Winter Design Temperature	Design Temperature Cooling	Heating Temperature Difference
148 R	38	15°F	81°F	---	10°F	15°F	55°F

Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Condensent Wall Sub	Daily Range	Winter Humidity	Summer Humidity
18°F	15°F	7.5°F	74	M	30	50

DPI Review Note #1
Revised: 04/24/2025 0 6

ABBREVIATIONS

ADJ	Adjustable
AFF	Above Finished Floor
BFF	Below Finished Floor
B.M.	Black Melamine
B.O.	By Others
BRGN	Bearing
B.S.	Back Splash
BSS	Brushed Stainless
Slct	Slit
CLMN	Column
CLNG	Ceiling
CONC	Concrete
CONT	Continuous
CRNR	Corner
C.S.	Control Sample
C.TOP	Counter Top
DBL	Double
Each	Each
E.B.	Edge Band
ELEV	Elevation
EXTR	Exterior
EXTN'	Existing
EXP	Exposed
EQUL	Equal
E.VN	Each Way
F.E.	Finished End
F.S.	Field Seam
FP	Fire piece
FR	Fire Rated
GALV	Galvanized
HDR	Header
HGT	Height
INTR	Interior
LBN	Load Bearing Wall
MANUF	Manufactured
MAX	Maximum
MIN	Minimum
MIRR	Mirrored
M.R.	Moisture Resistant
N.I.C.	Not in Contact
OPT	Optional
PAN	Painting
P.B.	Particle board
P.G.	Paint Grade
PL	Plastic Laminate
PNL	Panel
TRIFL	Triple
R/O	Rough Opening
SCHED	Schedule
SCR	Scribe
SECT	Section
SHWR	Shower
SIM	Similar
TBD	To Be Determined
TBL	Table
TPH	Toilet Paper Holder
TXLS	Towels
TYP	Typical
U.C.	Under Cabinet
UNOS	Unless Otherwise Noted
VA	Where Applicable
WC	Water Closet
WM	White Melamine Grain Direction

GENERAL NOTES (as per IRC 2021)

General Info

- All Work shall comply with IRC 2021 for One and Two-family Dwellings and all amendments by Applicable County.
- Sections and details shown are typical for similar conditions throughout the project.

Dimensions

- All dimensions are to the face of studs or masonry unless otherwise noted. Dimensions and notes for a given condition are typical for similar conditions throughout the project.
- Contractors shall verify all dimensions including field verifications, prior to starting the construction.
- It is the Contractor responsibility to verify all field dimensions and the relation to new products, prior to ordering such items - and prior to starting the construction.

Structural Notes

The structure is designed to be self-supporting and stable upon completion of all work. It is the Contractor responsibility to determine construction loading, bracing procedures and sequence in accordance with IRC 2021, OSHA, and local codes, etc., and to insure the safety of the building and it's components, and persons on-site before, during and after construction.

Loads:

	Live Loads	Dead Loads
Living Area:	40 psf	10 psf
Sleeping Area:	30 psf	10 psf
Roof:	40 psf	17 psf
Decks:	40 psf	15 psf
Stairways:	100 psf	15 psf

Wood Framing:

- All wood wall framing shall comply with IRC 2021, Sect 602
- All wood materials shall be Spruce-Pine-Fir No. 1/No.2 (north) or better.
- All exterior studs to be 2x4" or 2x6" @ 16" O/C, unless otherwise noted.
- Fire stopping shall be provided to cut off concealed draft openings and to form an effective fire barrier.
- All untreated wood to be a minimum of 8" above finished grade. All lumber in contact with concrete or CMU shall be pressure treated.
- Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2021 R317.3.1)

Roof

- All Roofs and Girder Trusses to be designed by Truss-manufacturer to carry required loads, and shall be installed and braced in accordance to Manufacturers specifications.
- All new roofs to have (min) 3/8" of Ice Shield underlayment at eave edges and valleys.

Floor

- All Engineered Floor joists to be designed by Manufacturer to carry required loads, and shall be installed and braced in accordance to Manufacturers specifications.
- FiberStrong Rim board are to be used on all perimeters perpendicular to Engineered Joists.
- Wood Joists are to be in accordance with IRC 2021 Sect R-502.3.1 (1X2) and R-502.3.1 (2) and comply with IRC 2021 sect R-501 thru R-504.3

Concrete/Foundations

- Concrete shall be of regular aggregate design and compressive stress at 28 days shall be 2500PSI
- All concrete footings to be minimum 30" below finished grade
- All Foundation walls to comply with IRC 2021 Sect: R-401 thru R-404
- Foundation drainage shall comply with IRC 2021 Sect R-405
- Foundation water proofing shall comply with IRC 2021 Sect R-406
- Concrete floors shall comply with IRC 2021 Sect R-506.1 thru R-506.2.4
- All Concrete to be 150 PCF and conform to the latest A.C.I. 318 specifications.
- Porches, Garages, Slabs and Steps exposed to weather, to be 3000 PSI air entrained concrete. Foundation walls and other vertical concrete work to be 2500 PSI air entrained Concrete. All other concrete to be 2500 PSI
- All CMU used in foundation walls shall be load bearing units conforming to A.S.T.M C-90-10 for hollow units. At wood posts and wood bearing locations, CMU cells shall be solid filled with concrete for the (min) top two courses
- All CMU walls shall have standard truss type DUR-O-WALL (or SIM) bed joint reinforcing at a maximum 16" vertical spacing
- Chimneys and Fireplaces shall be constructed in accordance to IRC 2021 Ch 10 and fig. R-1001.1
- Slabs on grade (except where otherwise noted) shall be 4" thick, reinforced with W4#6x6x11-9x11.9 wire mesh. Overlap mesh 6" in each direction. Slabs shall be laid on a layer of 6 mil. polyethylene over a 4" layer of compacted washed gravel.
- Grade beam(s) may be required at fill condition if so noted.
- Exterior slabs on grade shall be air-entrained cement with entrained air of 4% of equivalent air-entraining agent. Provide control joints at 10'-0" on center each way.
- Reinforcing bars shall conform to A.S.T.M A-615. Welded Wire Fabric shall conform to A.S.T.M A-185.

Windows and Door Headers

- 2x4" walls to have (min) (2) 2x10's w/1/2" plywood spacer, unless otherwise noted
- 2x6" walls to have min. (min) (2) 2x10's w/1/2" plywood spacer and blocking, unless otherwise noted
- Jack and King Studs as per IRC 2021 sect. R-603.7 (1) 0' - 3' - 6" (1) Jack Stud (1) King Stud
- 3' - 6" to 5' - 0" (1) Jack Stud (2) King Stud
- 5' - 0" to 5' - 6" (2) Jack Studs (2) King Studs
- 5' 6" to 8' - 0" (2) Jack Studs (2) King Studs
- 8' 0" to 10' - 6" (2) Jack Studs (3) King Studs
- 10' 6" to 12' - 0" (3) Jack Studs (3) King Studs
- 12' 0" to 13' - 0" (3) Jack Studs (3) King Studs
- 13' 0" to 14' - 0" (3) Jack Studs (4) King Studs
- 14' 0" to 16' - 0" (3) Jack Studs (4) King Studs
- 16' 0" to 18' - 0" (4) Jack Studs (4) King Studs

All posts, Double Studs, etc. are to continue to foundation or be supported by floor beams meeting Manufacturers specifications and loads

Steel Lintel Schedule

Steel Angle Size	No Story Above	One Story Above	Two Stories Above
3 1/2 x 3 1/2 x 1/4	6'-0"	4'-6"	3'-0"
4 x 3 x 1/4	8'-0"	6'-0"	4'-6"
5 x 3 1/2 x 5/16	10'-0"	8'-0"	6'-6"
(2) 6 x 5 1/2 x 5/16	20'-0"	12'-0"	9'-6"

Soil

- Soil Bearing to be minimum 2000 PSF

GENERAL NOTE:
ALL WORK SHALL COMPLY WITH IRC 2021 FOR ONE AND TWO-FAMILY DWELLINGS, AND ALL AMENDMENTS BY APPLICABLE COUNTY

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY HEIGHT OF EXISTING ROOF, EAVES, FACIAS, BALCONIES, CHIMNEYS AND PINDOPS PRIOR TO ORDERING AND INSTALLING NEW TRUSSES AND RAFTERS, NEW TRUSS AND RAFTER HEIGHT, PITCH AND OVERHANG MAY BE ADJUSTED TO CLEAR ANY OBSTRUCTIONS SUCH AS PINDOPS, CHIMNEYS, ETC., AND TO ALIGN RIDGES, EAVES AND FACIAS

GENERAL NOTE:
ALL EXTN' DIMENSIONS ARE TO BE VERIFIED NEW WORK DIMENSIONS MAY BE ADJUSTED TO REFLECT EXISTING CONDITIONS

TRUSS NOTES:

- ALL TRUSS SHALL CARRY MANUFACTURERS LOADS
- ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS
- ALL REINFORCED TRUSSES SHALL HAVE FINISHING DETAIL AS SHOWN ON SITE FOR FINISHING INSPECTION
- ALL TRUSSES SHALL HAVE FINISH DETAIL & BRACING AS SHOWN FOR FINISHING INSPECTION
- ALL CONNECTIONS OF RAFTERS JOIST OR TRUSSES SHALL BE PROVIDED BY TRUSS MANUFACTURER
- ALL TRUSS FINISHING 24" O.C.
- ALL TRUSS OVERHANGS 12" UNLESS NOTED OTHERWISE
- ALL TRUSS OVERHANGS AT 12" UNLESS NOTED OTHERWISE

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PROVIDE 2" MIN AIR GAP AT OVERHANGS AND BALLES TOP AT ALL TRUSS BAYS

NOTE:
ALL RAFTER TO RAFTER, RAFTER TO GUSSET, ONE RAFTER TO HP OR RISE SHALL BE INSTALLED INTO HANDED THROUGH AND TO BE SUPPLIED BY TRUSS MANUFACTURER

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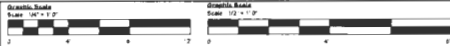
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Project No. **APRIL 24/2025**
Scale: 1/2" = 1'-0"
Date: 04/24/25
Sheet: **PERMIT**
GENERAL NOTES

This page Has been Revised And Must Accompany Permit #: B25001420

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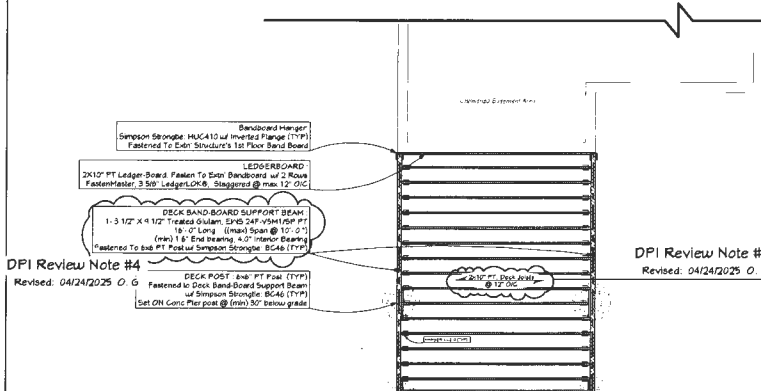
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Page No: STRUCTURAL
Joist Layout
Truss Layout
Page 4 of 4



DPI Review Note #4
Revised: 04/24/2025 O.G

DPI Review Note #2
Revised: 04/24/2025 O.G

1 | STRUCTURAL PLAN: First Floor Joist Layout
S001 | Scale : 1/4" = 1'- 0"

DPI Review Note #3
Highlighted 04/24/2025 O.G

Slide Porch Beam Hanger: HUC410, w/ Inverted Flange (TYP)

PORCH BEAM #1 & 2: Porch Beam (Faced to 5 1/2") (Typical)
(2) 2x10 PT (TYP) w/ 500 PNC Trim-board Cleat
Nailed w/ 2 Staggered Rows 16d nails @ 12" O/C each side, each ply (TYP)
Fastened To 8x8 PT w/ Simpson Strongtie SC50-86 (TYP)
Fastened To Exst. Structure's Mail Framing w/ Simpson Strongtie HUC410,
w/ Inverted Flange (TYP)

Typical Pre-Manuf. Trusses @ 24" O/C



FASCIA NAILER (TYP)
2x4" x 4" Sub Fascia (TYP)

FASCIA BLOKING (TYP)
2x4" Fascia Blocking @ 24" O/C (TYP)

SUB FASCIA (TYP)
2x4" Sub Fascia (TYP)

PORCH BEAM #3 (CONT): Continuous Porch Beam (Faced to 5 1/2") (Typical)
(2) 2x10 PT (TYP) w/ 500 PNC Trim-board Cleat
Nailed w/ 2 Staggered Rows 16d nails @ 12" O/C each side, each ply (TYP)
Fastened To 8x8 PT Rear Frame w/ Simpson Strongtie HUC410
Fastened To Nailed 8x8 PT Intermediate Post w/ 2x4 1/2" x 8" GMB Through bolts w/ 8x8 Washers (TYP)

2 | STRUCTURAL PLAN: First Floor Truss Layout
S001 | Scale : 1/4" = 1'- 0"

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