

*Approved
MOC 5/14/25*

Record Detail (This section is required.)

Permit Type Building/Residential/Misc/Porch Permit Number B25001092 Opened Date 03/24/2025
 Description of Work SFD/ CONSTRUCT 12' X 37' OPEN PORCH W/ STEPS ON FRONT OF HOME

*Online BP.
g& 4/28/25*

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 6632 Street Name HAVILAND MILL Street Type RD
 Unit Type --Select-- Unit # --Select-- X Coordinate -76.99838 Y Coordinate 39.189
 City CLARKSVILLE State MD Zip Code 21029 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
855339	144	3.59	244400	712900	468500	RURAL

Legal Description LOT 6 3.590 A []6632 HAVILAND MILL RD []MOUNT ORANGE ESTATES

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	6	605101	5				

Plan Area State Tax Id 1405412536 Subdivision Name

Section Area Tax Map 34

Grid 34-19 Zoning District RR-DEO ADC Map 4933-A10

SDP No. Final Plan No. WP File No.

Record Plat No. 9242 WS Contract No. FDP No. Primary Yes

Owner Occupied Yes No Year Built 1994 Historic District Yes No

Historic District Registry No. Stat Area 5-04A Flood Plain Yes No

Building No

Owner (This section is required.)

Search Reset Clear

Name FLORE

Address Line 1

6632 Haviland Mill Rd

Address Line 2

Address Line 3

Mail City

Clarksville

Mail State

MD

Mail Zip Code

21029

Phone

202-558-8885

Primary

Yes

E-mail

unitedcs@outlook.com

Cell Number

Fax Number

Professionals (This section is not required.)

License #

0

Business Name

OWNER TO ACT AS CONTRACTOR

License Type

Property Owner

First Name

CAROL

Middle Name

Last Name

FLORES

Primary

Yes

Address Line 1

6632 HAVILAND MILL ROAD

Address Line 2

City

CLARKSVILLE

State

MD

ZIP Code

21029

Phone 1

2025588885

Phone 2

Fax

E-mail

UNITEDCS@OUTLOOK.COM

Applicant (This section is not required.)

Search

As Owner

As Lic. Prof

As Contact

Type

Applicant

First Name

Carol

MI

Last Name

Flores

Relationship

Applicant

Full Name

FLORES CAROL

Primary

Yes

Organization Name

FLORES CAROL

Street Address

6632 HAVILAND MILL RD

Address Line 2

City

CLARKSVILLE

State

MD

Zip Code

21029

Phone

202-558-8885

Cell

Fax

E-mail

unitedcs@outlook.com

Addtl Info

Est Construction Cost

15000

Housing Units

0

Number of Buildings

0

Public Owned

No

Construction Type

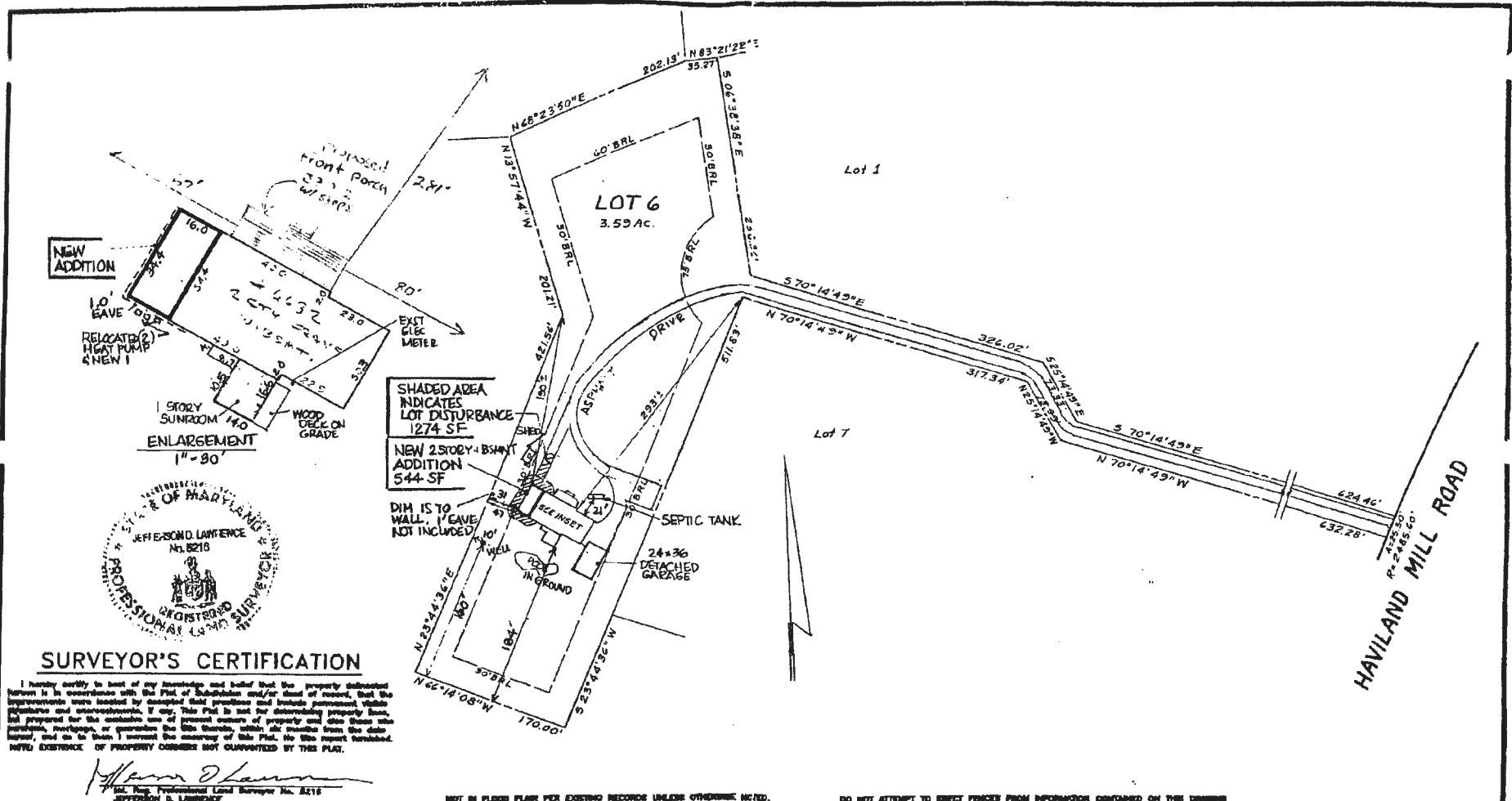
434 - Additions, Alterations and Conversions - Residential

PORCH INFORMATION

PORCH INFORMATION

Capital Project-No Fee · <input type="radio"/> Yes <input checked="" type="radio"/> No	Capital Project Number (Text)	Fee Exempt · <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit · <input type="radio"/> Yes <input checked="" type="radio"/> No	Roadside Tree Project Permit # (Text)
Existing Use · SFD	Type of Porch · ▼ Open Porch	Type of Porch Foundation · ▼ New Deck	Total Square Footage · ▼ 444	SQFT (Number)
Water Supply Private	Sewage Disposal ▼ Private	Expiration Date 10/21/2025	<input type="text"/>	

Submit **Cancel**



SURVEYOR'S CERTIFICATION

I hereby certify to best of my knowledge and belief that the property delineated herein is in accordance with the Plat of Subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible markers and monuments, if any. This Plat is not for determining property lines, but prepared for the certain use of present owners of property and does not warrant, nor does it guarantee the title therein, which all results from the data shown, and to the best of my knowledge and belief, the data reported furnished. THE EXISTENCE OF PROPERTY CLAIMS NOT GUARANTEED BY THIS PLAT.

Jefferson D. Lawrence
 Jefferson D. Lawrence
 Professional Land Surveyor No. 8216

NOT IN PLANNED PLANS FOR EXISTING RECORDS UNLESS OTHERWISE NOTED.

DO NOT ATTEMPT TO ERECT FENCES FROM INFORMATION CONTAINED ON THIS SURVEY.

WALL CHECK	6-23-92
FINAL	8-22-93
REVISION	

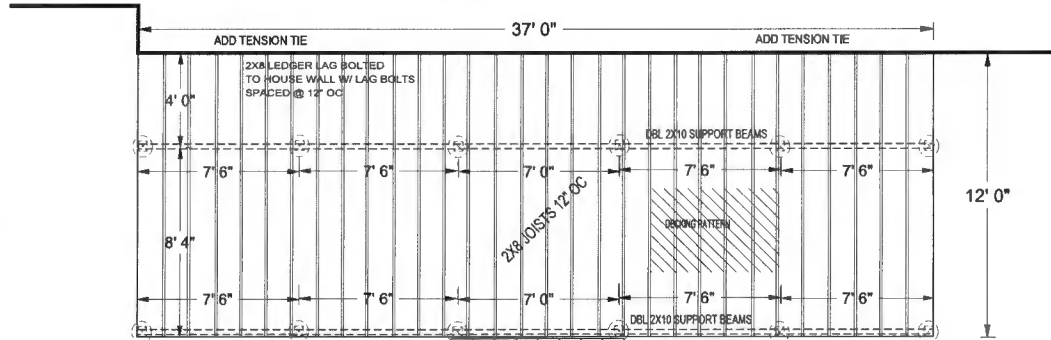
DEVELOPMENT CONSULTANTS GROUP, INC.
 17904 GEORGIA AVENUE SUITE 102
 OLNEY, MARYLAND 20832
 PHONE 301-924-4570 FAX 301-924-5872

HOUSE LOCATION SURVEY
 LOT 6
MOUNT ORANGE ESTATES
 5TH ELECTION DISTRICT
 HOWARD COUNTY MARYLAND
 PLAT No. 324E

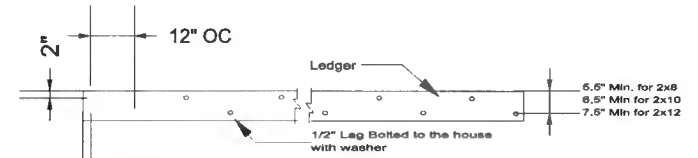
Date	JUN., 1992	Sheet	1
Drawn	E.M.		
Checked	TIM	Of	1
Scale	1"=100'	Project No.	155-21

01 FRAMING PLAN
A1 Scale : 1/4" = 1'-0"

EX. STRUCTURAL

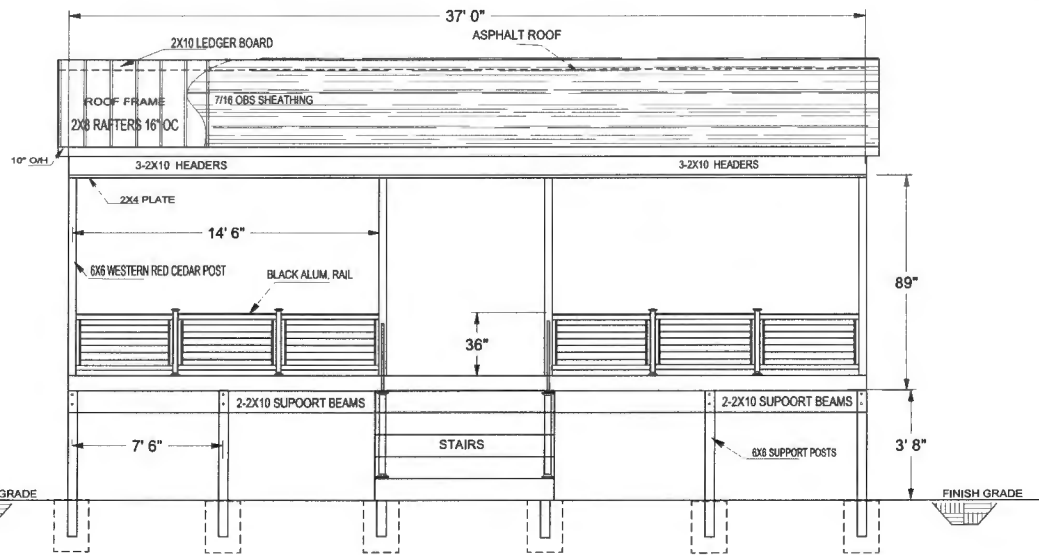
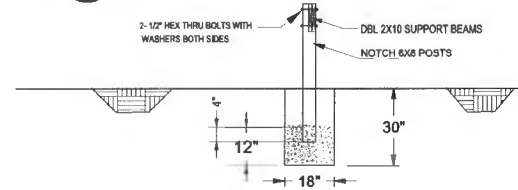


- * STAIRS REST ON FULL 2X12 STRINGER
- * MAX 7-3/4" RISER AND 12" TREAD
- * INSTALL GRASSPABLE HANDRAIL



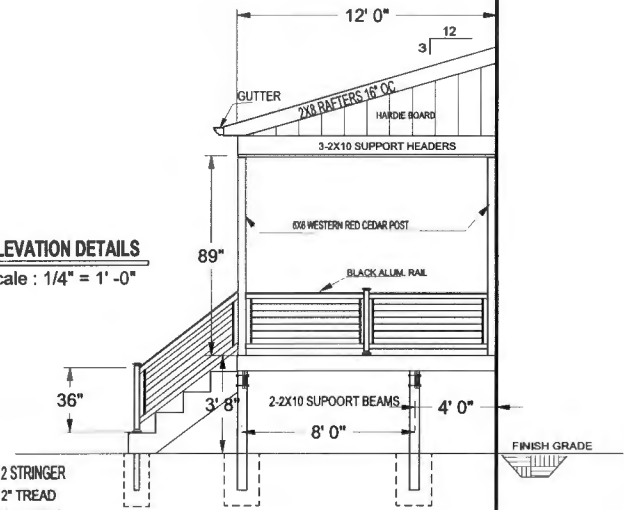
01 LEDGER CONNECTION
A2 Scale : 1/4" = 1'-0"

01 FOOTINGS DETAILS
A3 Scale : 1/4" = 1'-0"



01 CROSS VIEW ELEVATION
A4 Scale : 1/4" = 1'-0"

01 ELEVATION DETAILS
A3 Scale : 1/4" = 1'-0"



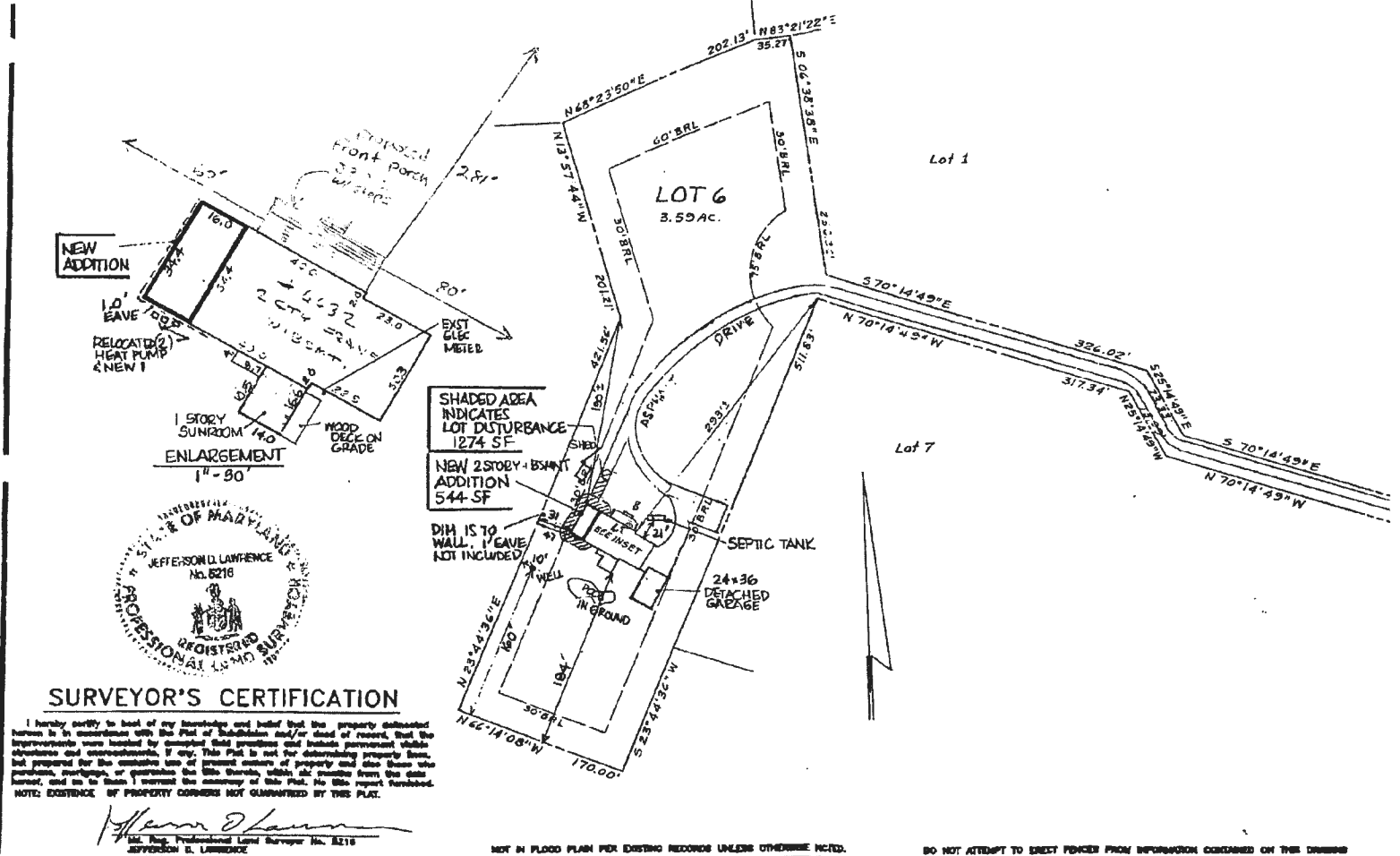
- * STAIRS REST ON FULL 2X12 STRINGER
- * MAX 7-3/4" RISER AND 12" TREAD
- * INSTALL GRASSPABLE HANDRAIL

CLIENT: CAROL FLORES
6632 HAVILAND MILL RD
CLARKSVILLE, MD 21029

CONTRACTOR:
M MARYLAND DECK BUILDERS, LLC
301-792-2518 MHIC LIC 126508

SHEET TITLE:
FRAMING PLANS
ELEVATION DETAILS

SUBMISSION	DATE	NO	COUNTY	HOWARD CO.	SHEET NO:
			DRAWN BY:	NELSON FLORES	S002
			SCALE:	1/4"=1'-0"	9/16/2024



SURVEYOR'S CERTIFICATION

I hereby certify to best of my knowledge and belief that the property delineated herein is in accordance with the Plat of Subdivision and/or deed of record, that the improvements were located by compass and field positions and include permanent visible monuments and encroachments, if any. This Plat is not for determining property lines, but prepared for the guidance of present owners of property and also those who purchase, mortgage, or guarantee the title therein, within its limits from the date hereof, and so to enable I warrant the accuracy of this Plat. No title report forbidden.

NOTE: EXISTENCE OF PROPERTY COVERS NOT GUARANTEED BY THIS PLAT.

Jefferson D. Lawrence
 Jefferson D. Lawrence
 Registered Professional Land Surveyor No. 6216
 STATE OF MARYLAND

NOT IN FLOOD PLAIN PER EXISTING RECORDS UNLESS OTHERWISE NOTED.

DO NOT ATTEMPT TO ERECT FENCES FROM INFORMATION CONTAINED ON THIS DRAWING

WALL CHECK	6-23-92
FINAL	5-22-93
RECEIVED	



DEVELOPMENT CONSULTANTS GROUP, INC.
 17904 GEORGIA AVENUE SUITE 102
 OLNEY, MARYLAND 20832
 PHONE 301-924-4570 FAX 301-924-5872

HOUSE LOCATION SURVEY
 LOT 6
MOUNT ORANGE ESTATES
 5TH ELECTION DISTRICT
 HOWARD COUNTY MARYLAND
 PLAT No. 324E

11/4/92 1 PM

PERMIT

File

SEWAGE DISPOSAL SYSTEM

DEPARTMENT OF HEALTH AND MENTAL HYGIENE

05-412536

P 48614

A 43308

DISTRICT 5th

DATE 10/23/92

DATE SYSTEM APPROVED 11/4/92

INSPECTOR C. B. S.

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH

461-9933

INDEXED

Polaris Development Corporation

IS PERMITTED TO INSTALL X ALTER

ADDRESS 608 Eldrid Drive, Silver Spring, MD 20904-3343 PHONE 301-680-9569

SUBDIVISION Mt. Orange Estates LOT 6 ROAD 6632 Haviland Mill Road

PROPERTY OWNER Ronald C. & Carol V. Brooks

ADDRESS _____

BUILDING PERMIT SIGNED

SEPTIC TANK CAPACITY 1250 GALLONS

AND RETURNED

NUMBER OF BEDROOMS 4

7/17/03 800143067-IG POOL

180 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 240

TRENCHES - Trench to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum 5 feet below original grade. Effective area begins at 3 feet below original grade. 2 feet of stone below distribution pipe.

LOCATION - Starting from the left corner at end of Flagstem, place distribution box 250 feet up the 511.83' lot line and 45 feet off this same lot line. Run trenches on contour toward the same (511.83') lot line. Future trenches in both directions

NOTE - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. *OK 5/12/92 R11*

45'

PLANS APPROVED BY Mark Rifkin

DATE 1/28/92

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON. CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET. MANHOLE TO GRADE REQUIRED.

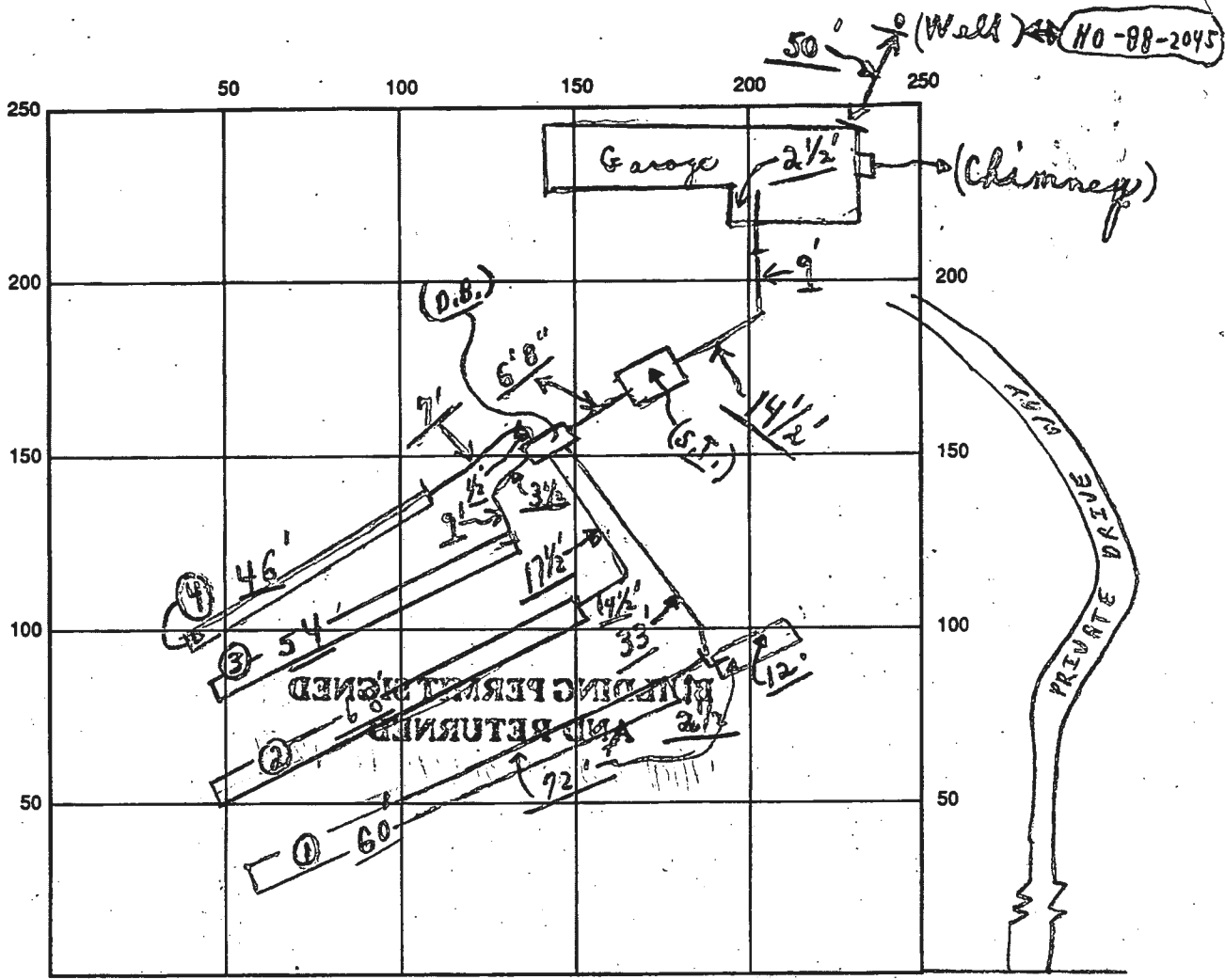
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

***INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

HD-260(6-90)

*CALL 461-8833 FOR INSPECTION OF SEPTIC SYSTEM.

A
43308



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE

SEPTIC TANK LEVEL OK CLEANOUTS S.T. No

DISTRIBUTION BOX LEVEL OK (Baffles in) (Needs Plug)

DRAIN FIELD/TITLE DEPTH 5 FT. TRENCH WIDTH 3 FT. INLET DEPTH 3 FT.

EFFECTIVE GRAVEL DEPTH 2 FT. TOTAL LENGTH ① 72' ② 68' ③ 54' ④ 46' FT. } = 240 +

NUMBER OF TRENCHES 4 ONE SIDEWALL/BOTTOM AREA 720+ SQ. FT.

DRYWALL INSIDE DIAMETER FT. EFFECTIVE DEPTH BELOW INLET FT.

ABSORBENT AREA 720+ SQ. FT.

REMARKS: Final P.M. 11/4/92 12' added on to #1 trench to have adequate system; material on site; Final 11/4 OK to cover as finished; C.B.D.

11/4 No W.P.I. C.B.D

DATE SYSTEM APPROVED 11/4/92 INSPECTOR Charles Bryan Stecker
(as per above.)

From: Carol Flores
To: Eshenbaugh, Melanie
Subject: Re: B25001092
Date: Friday, May 16, 2025 2:38:38 PM

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi, I uploaded the pictures proving new cap has been installed and wire protected. Tuesday they came out to run water testing.

I'm attaching them here as well.

Please let me know what else is needed.

Thank you so much,

Carol Flores

UCS, LLC - WOSB

202-558-8885



On May 5, 2025, at 1:16 PM, Eshenbaugh, Melanie
<MEshenbaugh@howardcountymd.gov> wrote:

Good afternoon,

After conducting a site visit to the property on 5/2, the well was observed to have a loose cap and the conduit is not secured under the well cap with the electrical wire exposed, (see attached) which can present a groundwater contamination risk. As a condition of HD approval of your building permit (**#B25001092**), we kindly request that the repair of the well cap/conduit be taken care of to ensure that these components are watertight and in compliance with water potability standards for the residence in accordance with Health Dept. code (code requirements in COMAR 26.04.04.25). Please submit to the Health Dept. office documentation of the well repair via email or mail as proof of completion of the work. Also, we strongly recommend water testing for bacteria to ensure there is no potential health risk to the occupants of the property. Please contact the Community Hygiene program (410-313-1773) and someone can assist with scheduling water sampling if there is a desire to have the well water tested. Let me know if you have any questions and thank you kindly.

Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
www.hchealth.org

<image001.png>

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the



Eshenbaugh, Melanie

From: Eshenbaugh, Melanie
Sent: Monday, May 5, 2025 1:16 PM
To: unitedcs@outlook.com
Subject: B25001092
Attachments: 1000022154.jpg; 1000022155.jpg

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Melanie Eshenbaugh
Bureau of Environmental Health
Howard County Health Dept.
8930 Stanford Blvd. Columbia, MD 21045
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