

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 2/18/2026      **ONSITE SEWAGE DISPOSAL SYSTEM**      P 590218  
 APPROVAL DATE: 4/6/2026      **PERMIT: MINOR REPAIR**      A Repair  
 PROPERTY ADDRESS: 1014B Saint Michaels Road  
 SUBDIVISION: 1002      LOT: \_\_\_\_\_      TAX ID: 04-320921  
 CONTRACTOR: Sam's Creek      EMAIL: office.samscreek@aol.com  
 CONTRACTOR ADDRESS: 2810 Sams Creek Rd., New Windsor, MD 21776      PHONE: 410-795-5670

PROPERTY OWNER: Denise Mohr      EMAIL: denmohr1@gmail.com  
 OWNER ADDRESS: Same as above      PHONE: 410-241-2789

SEPTIC TANK SIZE: 750 gallon      PUMP SIZE: N/A      PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:     GRAVITY     LPD      BEDROOMS: 3      APPLICATION RATE: \_\_\_\_\_

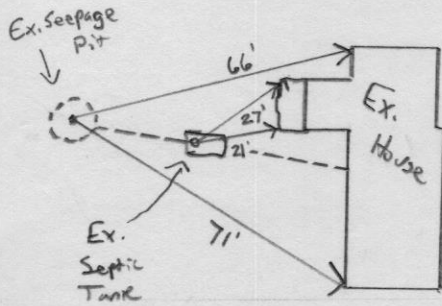
TRENCHES:	LINEAR FEET REQUIRED: <u>Existing</u>	INLET DEPTH: <u>Existing</u>
	TRENCH WIDTH: <u>Existing</u>	MAXIMUM BOTTOM DEPTH: <u>Existing</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>Existing</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>Existing</u>
LOCATION:	<b>SYSTEM STAKED BY INSTALLER/DESIGNER AND VERIFIED BY APPROVING AUTHORITY DURING PRE-CONSTRUCTION INSPECTION.</b>	
NOTES:	Install system per approved design plans. Add observation port to Drywell visible above grade. Add manhole access with riser 6" above grade.	

ISSUED BY: Matt Burns, E.H.S.      ISSUE DATE: 2/18/2026      EXPIRATION DATE: 2/18/2027

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR REGISTERED WITH THE STATE OF MD ON-SITE WASTEWATER PROFESSIONALS BOARD: CONFIRMED
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED    E n/a
- NOTE: THE HCHD DOES NOT WARRANT ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.
- NOTE: AN INDIVIDUAL CERTIFIED BY MDE AND THE MANUFACTURER FOR BAT INSTALLATION MUST BE PRESENT AT ALL TIMES DURING BAT INSTALLATION.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE



ROAD NAME

**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
N/A	N/A	N/A
NUMBER OF TRENCHES _____		
TOTAL LENGTH _____		
ABSORPTION AREA _____		
DISTRIBUTION BOX LEVEL _____		
DISTRIBUTION BOX BAFFLE _____		
DISTRIBUTION BOX PORT _____		

**SEPTIC TANK DATA**

SEPTIC TANK I LEVEL Existing

MANUFACTURER \_\_\_\_\_

CAPACITY \_\_\_\_\_ GAL

SEAM LOC \_\_\_\_\_

TANK LID DEPTH 1.5'

BAFFLES NO

BAFFLE FILTER - N/A

MANHOLE LOC Back

6" PORT LOC N/A

WATERTIGHT TEST NO

SLOTTED NO

DATE ON LID No date

**PUMP/SEPTIC TANK LEVEL N/A**

MANUFACTURER \_\_\_\_\_

CAPACITY \_\_\_\_\_ GAL

SEAM LOC \_\_\_\_\_

TANK LID DEPTH \_\_\_\_\_

BAFFLES \_\_\_\_\_

BAFFLE FILTER \_\_\_\_\_

MANHOLE LOC \_\_\_\_\_

6" PORT LOC \_\_\_\_\_

WATERTIGHT TEST \_\_\_\_\_

SLOTTED \_\_\_\_\_

DATE ON LID \_\_\_\_\_

SEPTIC CONTRACTOR ONSITE INSTALLING SYTEM: Joe Wright

SEPTIC CONTRACTOR ONSITE LICENSED WITH THE STATE OF MD: YES/NO

**PRE-CONSTRUCTION NOTES:**

2/14/2026 Plans approved. (NO)

**CONTROL PANEL DATA**

CONTROL PANEL HEIGHT N/A  
(MIN 30")

INSPECTION DATE \_\_\_\_\_

INSPECTION: PASS/FAIL (CIRCLE ONE)

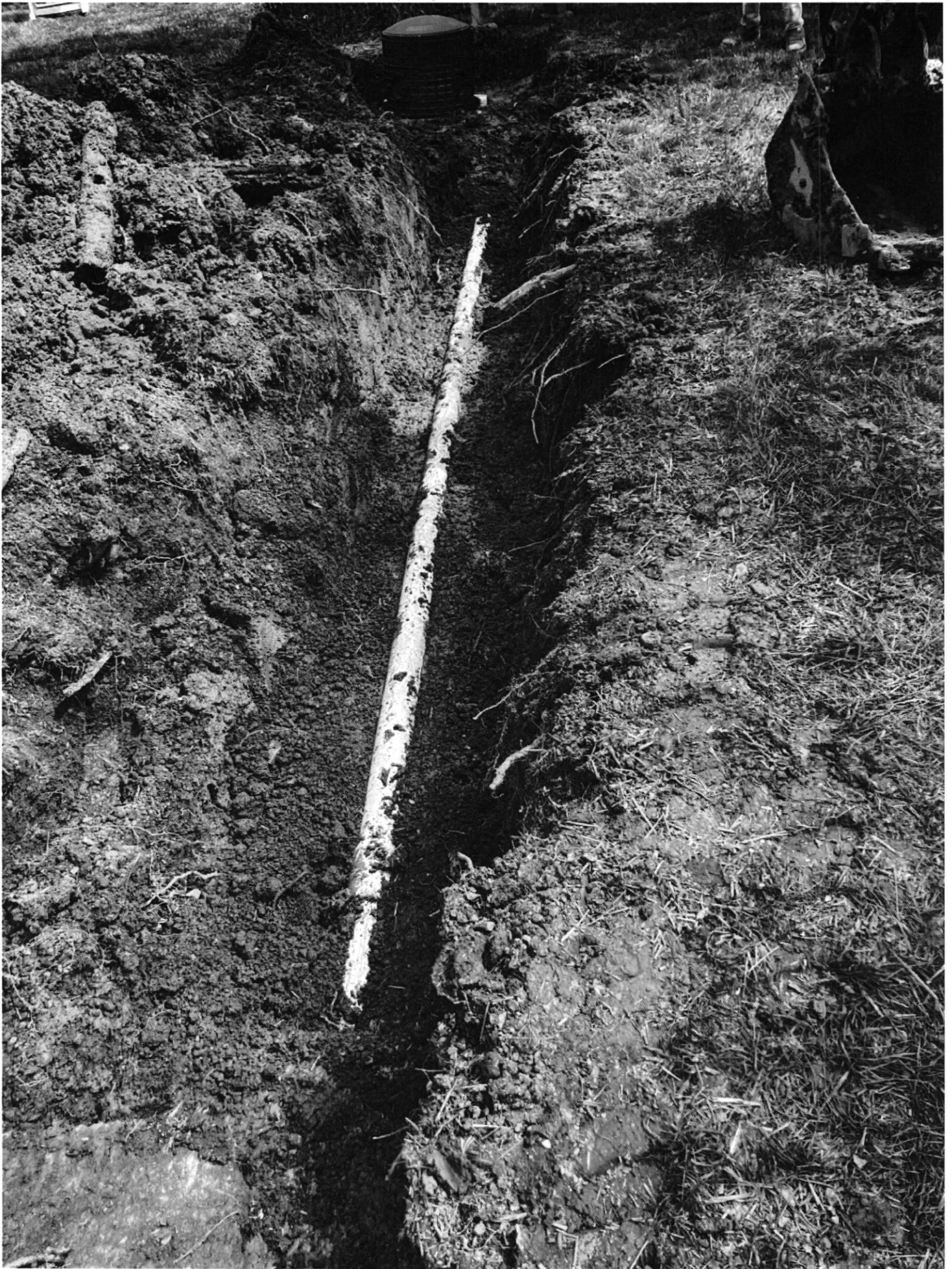
**INSTALLATION NOTES:**

4/6/26 Contractor added observation port to existing seepage pit and added a 24" manhole access with a 24" riser. The concrete manhole access is attached to the tank with mastic, and the riser is attached to the concrete by mastic as well. Contractor used concrete to seal bulk of septic tank. Line from ST to Seepage pit OK. (NO)

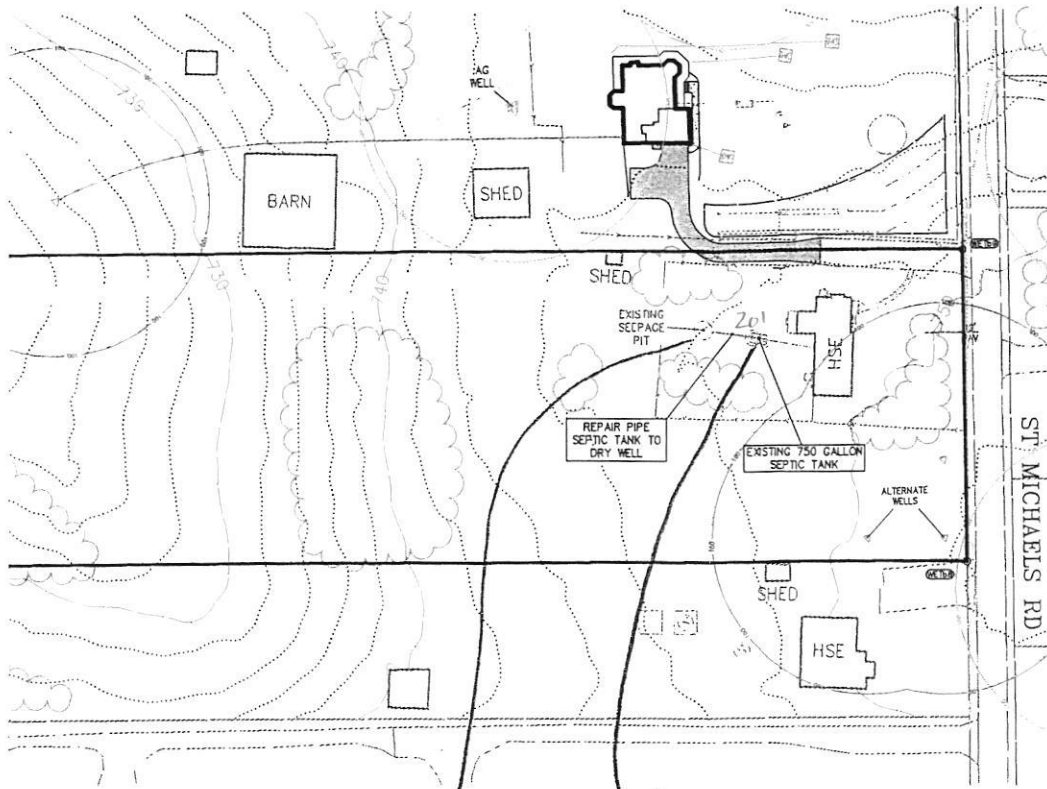
FINAL INSPECTOR M. Burns

DATE OF APPROVAL 4/6/26

1014 Saint Michaels Rd - Concrete patty added to back of septic tank, manhole + rssi added (MB)



MARITIM COORDINATE  
SYSTEM 1987



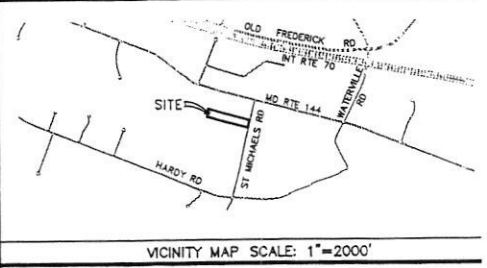
ADD OBS PORT  
TO DRYWELL  
6" ABOVE GRADE

ADD 24" MADHOLE  
ACCESS w/ REGR  
6" ABOVE GRADE

**POPLAR HEIGHTS LOT B**

Name	North	East	Bearing	Distance
NETD9	810818.72784	1282634.77337	S 141°55'W	198.18
NETB8	810625.61706	1282585.97360	N 75°15'00"W	1095.16
NETB7	810904.44848	1281526.89908	N 14°08'55"E	199.17
NETB6	811097.57565	1281575.58347	S 75°15'02"E	1095.28
NETB9	810818.72784	1282634.77337		

Total Area 218129.75 sf 5.00757 acres +/-



- GENERAL NOTES**
1. Current Title Reference:  
Owner: Denise Mohr and Jennifer Matsuda-Beggs  
Deed Reference: County Land Record 22243 Page 169  
Date: 2022-February-24  
Grantor: Denise Mohr
  2. Subject Property Zoned: RR-DEO.
  3. Total area of property: 218,129.75 sq.ft.
  4. Contractor/Builder to verify elevation in the field before beginning any construction.
  5. The topography shown hereon was taken from data by Howard County and based on State Earth LIDAR Data U.S.Feet supplemented with field run data by DRS Associates and is verified to accuracy represent the relative changes on the subject property by DRS Associates.
  6. No wetlands currently exist on the property.
  7. The existing well shown on this plan identified with no well log that will be converted to an agricultural well has been field located by DRS & Associates professional land surveyor and is accurately shown.
  8. All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any walls and/or septic systems have been shown.
  9. Any changes to a private sewage easement shall require a Revised Partition Certification Plan.
  10. The well must pass potability tests and receive an I.C.O.P. certificate prior to Use & Occupancy.
  11. Well must be drilled and completion report approved prior to Health Department approval of the building permit.
  12. Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
  13. The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
  14. The well (log# \_\_\_\_\_) has been field located and is accurately shown.

**PURPOSE NOTE:**  
The purpose of this Plan is to replace the existing septic tank with a 1500 gallon top seam 2 compartment tank per Onsite Sewage Disposal System Inspection Report by Joseph Wright License Number 57.

**LEGEND**

Existing	Proposed
Edge of Rd	Edge of Rd
Feature separation distance in feet	Feature separation distance in feet
Ind. Contours	Ind. Contours
Int. Contours	Int. Contours
Lot Line	Lot Line
Plot Outline	Plot Outline
Septic Area	Septic Area
Sewer Line	Sewer Line
Bill. Conc. Pav.	Bill. Conc. Pav.

Existing Proposed

Clean Out, Sewer/Drain Structure

Well

**ABBREVIATIONS**

B	Basement floor elevation or Book	C	Garage floor elevation
CLR	County Land Record	P	Page
F	First floor elevation	PS	Plot Book

REV.No.	DATE	BY	DESCRIPTION
1	2024-01-20	DRS/ebp	PER INSPECTION REPORT 2023-09-11

**REVISIONS**

**DRS ASSOCIATES**  
LAND DESIGN CONSULTANTS  
52 WINTERS STREET WESTMINSTER, MARYLAND 21157  
410-848-4060 410-876-6040

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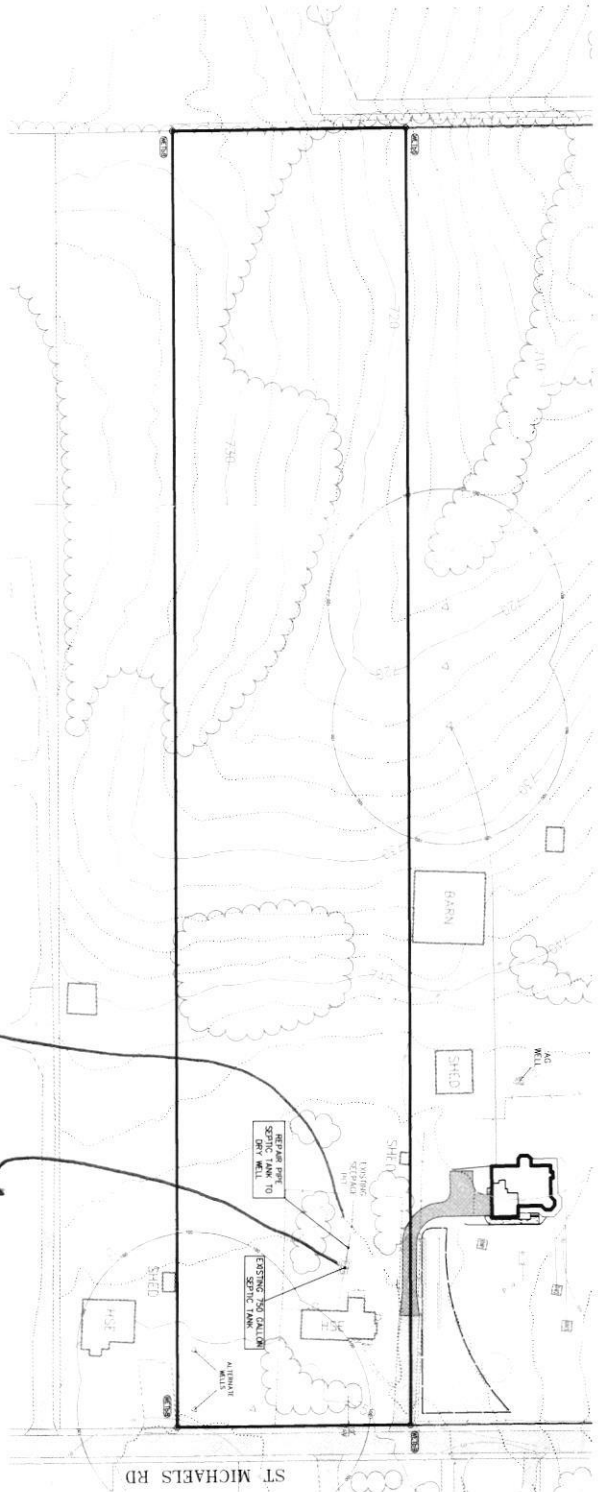
DSN: drs DFT: ebp CHK: drs SCALE: 1"=50'

**Onsite Sewage Disposal System Design Plan**  
**Poplar Heights**  
Lot B  
1014 ST Michaels Road  
Howard County, Maryland 21771

**OWNER**  
Denise Mohr  
1014 St Michaels Rd  
Mt Airy MD 21771  
410-241-2789

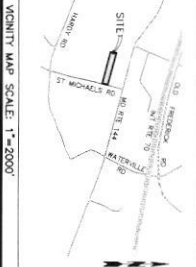
MAP 07 BLOCK 02 PARCEL 21 LOT B  
ACCOUNT NUMBER 04-320921  
ZONED RR-DEO COUNTY LAND RECORD 22243 PAGE 169  
4TH ELECTION DISTRICT

DATE: 2025-10-20 SHT.NO. :1 OF 1



ADD ORBS PER ACCESS PRT TO DRIVE  
6" ABOVE GRADE

ADD 24" HORIZONTAL  
ACCESS w/ RISE  
6" ABOVE GRADE



VICINITY MAP SCALE 1"=2000'

- GENERAL NOTES**
1. Owner shall maintain all utility easements.
  2. All utility easements shall be shown on the site plan.
  3. All utility easements shall be shown on the site plan.
  4. All utility easements shall be shown on the site plan.
  5. All utility easements shall be shown on the site plan.
  6. All utility easements shall be shown on the site plan.
  7. All utility easements shall be shown on the site plan.
  8. All utility easements shall be shown on the site plan.
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  11. All utility easements shall be shown on the site plan.
  12. All utility easements shall be shown on the site plan.
  13. All utility easements shall be shown on the site plan.
  14. All utility easements shall be shown on the site plan.

**ABBREVIATIONS**

1. Existing	2. Proposed
3. Existing	4. Proposed
5. Existing	6. Proposed
7. Existing	8. Proposed
9. Existing	10. Proposed
11. Existing	12. Proposed
13. Existing	14. Proposed
15. Existing	16. Proposed
17. Existing	18. Proposed
19. Existing	20. Proposed
21. Existing	22. Proposed
23. Existing	24. Proposed
25. Existing	26. Proposed
27. Existing	28. Proposed
29. Existing	30. Proposed
31. Existing	32. Proposed
33. Existing	34. Proposed
35. Existing	36. Proposed
37. Existing	38. Proposed
39. Existing	40. Proposed
41. Existing	42. Proposed
43. Existing	44. Proposed
45. Existing	46. Proposed
47. Existing	48. Proposed
49. Existing	50. Proposed
51. Existing	52. Proposed
53. Existing	54. Proposed
55. Existing	56. Proposed
57. Existing	58. Proposed
59. Existing	60. Proposed
61. Existing	62. Proposed
63. Existing	64. Proposed
65. Existing	66. Proposed
67. Existing	68. Proposed
69. Existing	70. Proposed
71. Existing	72. Proposed
73. Existing	74. Proposed
75. Existing	76. Proposed
77. Existing	78. Proposed
79. Existing	80. Proposed
81. Existing	82. Proposed
83. Existing	84. Proposed
85. Existing	86. Proposed
87. Existing	88. Proposed
89. Existing	90. Proposed
91. Existing	92. Proposed
93. Existing	94. Proposed
95. Existing	96. Proposed
97. Existing	98. Proposed
99. Existing	100. Proposed

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2025-01-20	Initial Design
2	2025-01-20	Revised Design
3	2025-01-20	Final Design

**POPULAR HEIGHTS LOT B**

Name	North	East	Length	Distance
W/ 30	8008.0734	12828.4733	5.183500'	99.18
W/ 31	8008.0734	12828.4733	5.183500'	99.18
W/ 32	8008.0734	12828.4733	5.183500'	99.18
W/ 33	8008.0734	12828.4733	5.183500'	99.18
W/ 34	8008.0734	12828.4733	5.183500'	99.18
W/ 35	8008.0734	12828.4733	5.183500'	99.18
W/ 36	8008.0734	12828.4733	5.183500'	99.18
W/ 37	8008.0734	12828.4733	5.183500'	99.18
W/ 38	8008.0734	12828.4733	5.183500'	99.18
W/ 39	8008.0734	12828.4733	5.183500'	99.18
W/ 40	8008.0734	12828.4733	5.183500'	99.18
W/ 41	8008.0734	12828.4733	5.183500'	99.18
W/ 42	8008.0734	12828.4733	5.183500'	99.18
W/ 43	8008.0734	12828.4733	5.183500'	99.18
W/ 44	8008.0734	12828.4733	5.183500'	99.18
W/ 45	8008.0734	12828.4733	5.183500'	99.18
W/ 46	8008.0734	12828.4733	5.183500'	99.18
W/ 47	8008.0734	12828.4733	5.183500'	99.18
W/ 48	8008.0734	12828.4733	5.183500'	99.18
W/ 49	8008.0734	12828.4733	5.183500'	99.18
W/ 50	8008.0734	12828.4733	5.183500'	99.18
W/ 51	8008.0734	12828.4733	5.183500'	99.18
W/ 52	8008.0734	12828.4733	5.183500'	99.18
W/ 53	8008.0734	12828.4733	5.183500'	99.18
W/ 54	8008.0734	12828.4733	5.183500'	99.18
W/ 55	8008.0734	12828.4733	5.183500'	99.18
W/ 56	8008.0734	12828.4733	5.183500'	99.18
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W/ 58	8008.0734	12828.4733	5.183500'	99.18
W/ 59	8008.0734	12828.4733	5.183500'	99.18
W/ 60	8008.0734	12828.4733	5.183500'	99.18
W/ 61	8008.0734	12828.4733	5.183500'	99.18
W/ 62	8008.0734	12828.4733	5.183500'	99.18
W/ 63	8008.0734	12828.4733	5.183500'	99.18
W/ 64	8008.0734	12828.4733	5.183500'	99.18
W/ 65	8008.0734	12828.4733	5.183500'	99.18
W/ 66	8008.0734	12828.4733	5.183500'	99.18
W/ 67	8008.0734	12828.4733	5.183500'	99.18
W/ 68	8008.0734	12828.4733	5.183500'	99.18
W/ 69	8008.0734	12828.4733	5.183500'	99.18
W/ 70	8008.0734	12828.4733	5.183500'	99.18
W/ 71	8008.0734	12828.4733	5.183500'	99.18
W/ 72	8008.0734	12828.4733	5.183500'	99.18
W/ 73	8008.0734	12828.4733	5.183500'	99.18
W/ 74	8008.0734	12828.4733	5.183500'	99.18
W/ 75	8008.0734	12828.4733	5.183500'	99.18
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W/ 78	8008.0734	12828.4733	5.183500'	99.18
W/ 79	8008.0734	12828.4733	5.183500'	99.18
W/ 80	8008.0734	12828.4733	5.183500'	99.18
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W/ 83	8008.0734	12828.4733	5.183500'	99.18
W/ 84	8008.0734	12828.4733	5.183500'	99.18
W/ 85	8008.0734	12828.4733	5.183500'	99.18
W/ 86	8008.0734	12828.4733	5.183500'	99.18
W/ 87	8008.0734	12828.4733	5.183500'	99.18
W/ 88	8008.0734	12828.4733	5.183500'	99.18
W/ 89	8008.0734	12828.4733	5.183500'	99.18
W/ 90	8008.0734	12828.4733	5.183500'	99.18
W/ 91	8008.0734	12828.4733	5.183500'	99.18
W/ 92	8008.0734	12828.4733	5.183500'	99.18
W/ 93	8008.0734	12828.4733	5.183500'	99.18
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W/ 96	8008.0734	12828.4733	5.183500'	99.18
W/ 97	8008.0734	12828.4733	5.183500'	99.18
W/ 98	8008.0734	12828.4733	5.183500'	99.18
W/ 99	8008.0734	12828.4733	5.183500'	99.18
W/ 100	8008.0734	12828.4733	5.183500'	99.18

**DRS ASSOCIATES**  
LAND DESIGN CONSULTANTS  
52 WHITERS STREET, KEENEVILLE, VERMONT 05157  
410-848-4060 410-878-6040

**Onsite Storage Disposal System Design Plan**  
Lot B  
1014 ST. MICHAELS ROAD  
Haverhill, Vermont 05743

Client: Mr. [Name]  
Date: 01/20/25  
Scale: 1"=50'

Zone: RR-100  
Map: 07 BLOCK 02 PARCEL 21 LOT B  
County: Franklin County  
District: 100

DATE: 2025-01-20





# Maryland On-Site Sewage Disposal System Inspection Report



\*\* For this inspection to be considered a proper inspection, all sections must be completed\*\*

## Pre-Inspection Information

<b>Property Information</b>			
Address: 1014 St. Michaels Road			
City: Mt. Airy	State: MD	Zip Code: 21771	
Permitted # of Bedrooms: 3	Build Year: 1954	Water Supply: Well	
Property Type: Single Family Home	If Other:		
Comments: n/a			

<b>Owner Information/ Interview</b>			
Last Name: Mohr		First Name: Denise	
Number of Occupants: 1	Number of Years Occupied: 4		
If Vacant, Date Vacated (mm/dd/yyyy): n/a			
In-Home Business: No	Type: n/a		
Has the Property Recently had a Septic Inspection: No		Date: n/a	
Any Septic System Issues: No	Type: n/a		
Comments: n/a			

<b>Document Search Information</b>			
Document Request Date: 9/1/2025	Septic Permit Reviewed: No-Explain in Comments		
<b>Permitted Septic System Components:</b>			
Septic Tank:	Install Year:	Size: gal	
BAT Unit:	Install Year:	Manufacturer:	
Distribution Box:	Pumping Chamber:		
Absorption Type:	Total Trench Length/ Width:		Ft
Bed Size (L/W): Ft	Absorption Component Depth:		Ft
Comments: there are no county records for the property			

## On-site Inspection

Start Date: 9/3/2025

Completion Date: 9/3/2025

### Crawl Space/ Basement Evaluation

Number of Drain Pipes Exiting Foundation Wall: 1

Describe Each Pipe and Source: cast iron

Does Plumbing Evaluation Confirm all Wastewater is Directed into the Septic System: Yes

### Water Treatment

Does the House have any Water Treatment Devices: Yes If Yes, Number: 2

Describe each Water Treatment Device: water softener & water conditioner

If any, where is the Water Treatment Discharge Directed: Surface

### Sewer Line Outside of Foundation

Pipe Material: Cast Iron Cracks/ Breaks: No Blockage: No

Comments: n/a

### Grease Trap

Grease Trap: No Size: (Gal) Construction:

Liquid Level: Proper Baffle:

Comments: n/a

### Septic Tank

Septic Tank: Yes Number of Tanks: 1 Total Size of Tank(s): 750 (Gal)

Type of Tank(s): Single Compartment Construction: Block

Liquid Level: Above Normal Evidence of High Water Staining: Yes Effluent Filter: No

Inlet Baffle: No Outlet Baffle: No Baffle Condition:

Access: Riser Above Grade Evidence of Ground or Surface Water Intrusion: No

Comments: existing septic tank is roughly 750 gallons, there are no baffles present and is composed of cinder block

**Best Available Technology Unit (BAT)**

BAT Unit:  No  Manufacturer:  Model:

Power to Control Panel:  Control Panel:  Control Panel Alarm:

Last Service Date:  Was Last Service Date more than 365 days:

Comments: n/a

**Distribution Box**

Distribution Box:  No  Number of Drainlines leaving Box:  Distribution Box Level:

Is there Equal Distribution to Drainlines:  Liquid Level:

Comments: n/a

**Pumping Chamber**

Pumping Chamber:  No  Access:  Liquid Level:

High Water Alarm:  Alarm Properly Functioning:  Separate Float Tree

Pump Elevated off the Bottom of the Tank:  Electrical Connections:

Comments: n/a

**Soil Absorption System**

Description Type:  Drywell  Observation Pipes (OP):  No  OP Water Depth:

OPs Probed:  Yes  Describe Observation:  dry

Evidence of Surfacing Effluent:  No  Describe:  n/a

Comments: existing drywell is 9' x 9' and 9' deep; drywell had zero liquid inside

**Other On-Site Disposal Systems (OSDS) Components and Systems**

Detail all other OSDS components not covered in the above sections.

Comments: the pipe between tank & drywell is cast iron and completely clogged causing no waste water to go into drywell

## OSDS Testing

### Hydraulic Load Test

Hydraulic Load Test Performed:  Yes  No    Testing Volume:  225 Gal  750 Gal    Elapsed Time:  90 Min  120 Min

Comments: inputted directly into drywell, liquid level did not move

### Dye Test

Suspicious Liquid Discharge on or near the Property:  Yes  No

Dye Test Performed:  Yes  No    Reason:  n/a

Comments: no dye test performed due to no suspicious liquid discharge on or near the property

### Tank Pump Out

Tank(s) Pumped:  Yes  No    Number of Tanks Pumped:  1  2    Total Gallons Pumped:  750  1500

Any Flow into Tank from Outlet Pipe:  Yes  No    Any Groundwater Entering the Tank:  Yes  No

Does the Tank Appear to be Watertight:  Yes  No-Other

Comments: flow back during pump out observed, due to outlet pipe being clogged. Due to tank being cinder block it is expected to not be water tight

### Summary/Conclusions

Wastewater Collection System	<input checked="" type="checkbox"/> Satisfactory
Conveys all Wastewater to Sewer Line:	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Sewer Line	<input checked="" type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Grease Trap	<input type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Septic Tank	<input type="checkbox"/> Satisfactory
	<input checked="" type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
RAT Unit	<input type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Distribution Box	<input type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Pumping Chamber	<input type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Soil Absorption System	<input checked="" type="checkbox"/> Satisfactory
	<input type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
All other OSDS components	<input type="checkbox"/> Satisfactory
	<input checked="" type="checkbox"/> Unsatisfactory
	<input type="checkbox"/> Satisfactory with Concerns
Does any component of the OSDS need to be repaired or replaced?	
Explain: the existing tank is cinder block & should be replaced with a water tight and modern tank. Pipe from drywell to tank should be replaced to allow waste water to flow to drywell. Site on drywell is a recommended repair. However a permit will need to be submitted with the county health department and they will relay if anything further is needed	
In my professional opinion this OSDS is properly functioning base on permitted capacity: <span style="float: right;">No</span>	
Inspection verifies the OSDS is consistant with the septic permit:	
If listed for sale, does the number of bedrooms advertised match what is legally permitted:	
Comments: system can not be verified to match permit as there are no county records	
**Check with the Approving Authority for permitting requirements before any repair is performed to the septic system **	

**\*\*ATTACH ALL DOCUMENTS PROVIDED BY THE APPROVING AUTHORITY**

**THIS INSPECTION REPORT DETAILS COMPONENTS AND THE PRESENT CONDITION OF THE ON-SITE SEWAGE DISPOSAL SYSTEM FOR THE ADDRESS LISTED IN THE PROPERTY INFORMATION SECTION OF THIS REPORT. THE CONCLUSIONS OF THIS REPORT DO NOT GUARANTEE OR WARRANTY THIS OSDS WILL FUNCTION IN THE FUTURE.**

This inspection of the septic system is an evaluation of function and is not an evaluation that the system meets current State regulations. The owner should not assume future expansion of the home is possible without additional evaluation completed by the Approving Authority

I attest that I have properly completed an inspection of the OSDS at this property. This inspection includes information obtained from the property owner, or representative, and a document search from the Approving Authority. I have completed all sections pertaining to components of this OSDS. The conclusions of this report are my professional opinions based on my training and experience inspecting OSDS.

First Name: Joseph Last Name: Wright

License Number: 57

Signature: *Joseph Wright* Date: 9/3/25

Maura J. Rossman, M.D., Health Officer

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### Conventional Onsite Sewage Disposal System Design Plan Requirements

The design of the disposal system must conform to the sizing, design, and location requirements set forth in COMAR 26.04.02 and Howard County Code Title 3 Subtitle 8. In addition, the following items must be shown on the plan:

- X   1. Title box with the following title *Onsite Sewage Disposal System Design Plan*.  
The title box shall also include the street address, tax identification number, and subdivision name or property owner name(s).
- X   2. The name, address, and telephone number of the owner, developer, and the person preparing the plan.
- X   3. The date the plan was drawn, the plan scale (1:30 – 1:40), and a scaled vicinity map. Scales larger than 1:40 (examples 1:50, 1:100) require scale approval prior to plan submittal.
- X   4. All property lines and dimensions.
- X   5. Show all existing and proposed structures including stormwater management features.
- 6. All percolation test holes (pass or fail with corresponding test number or letter) and the approved sewage disposal area (SDA).
- X   7. Field run topography at two-foot intervals. One-foot intervals are required for mound systems and systems with pipe depth less than two feet.
- X   8. Illustrate the three (3) proposed well sites or 1500 sq. ft. well box with elliptical radius of 100 feet around each of the three (3) wells or the well box.
- NONE 9. Illustrate streams, ponds, floodplains, 25% and greater slopes, and any other pertinent land features.
- X   10. Illustrate the locations of all Onsite Sewage Disposal System (OSDS) components on the site Plan.
- X   11. Include a cross section and details of all treatment tanks and pump tanks.

- 12. Include a profile drawing with all invert elevations necessary for installation of the initial system.
- 13. Show the location of the initial absorption system and two replacements with perforated pipe elevations.
- X   14. The designing Professional Engineer or other qualified designer must sign the plan.
- N/A   15. Low pressured dosed systems or other pumped systems must include pump station details including:
  - a. Total dynamic head calculations
  - b. Pump curve
  - c. Pump on, pump off, and alarm elevations
- N/A   16. Low pressure dosed systems, including sand mounds and at-grade mounds must show all details necessary for installation of the lateral network and mound.

**Required Plan Notes**

- X   1. Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
- X   2. The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
- N/A   3. Electrical work for the installation must be performed by a licensed electrician.
- tbD   4. The well (tag #       ) has been field located and is accurately shown.
- X   5. All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

**Maura J. Rossman, M.D., Health Officer**

### Conventional Onsite Sewage Disposal System Design Plan Requirements

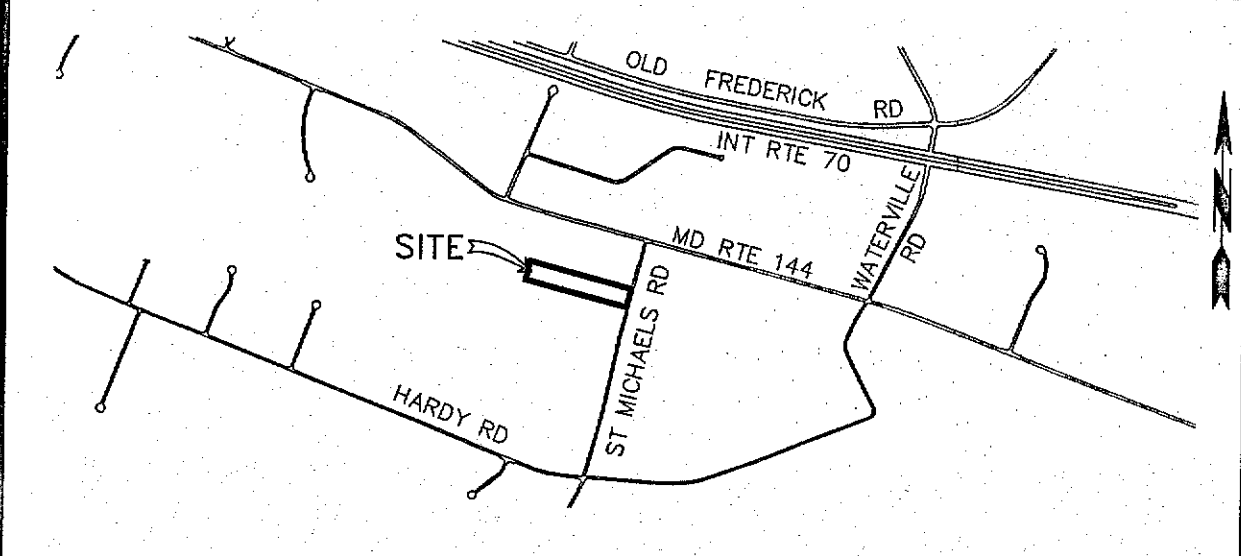
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3. The date the plan was drawn, the plan scale (1:30 – 1:40), and a scaled vicinity map. Scales larger than 1:40 (examples 1:50, 1:100) require scale approval prior to plan submittal.
4. All property lines and dimensions.
5. Show all existing and proposed structures including stormwater management features.
6. All percolation test holes (pass or fail with corresponding test number or letter) and the approved sewage disposal area (SDA).
7. Field run topography at two-foot intervals. One-foot intervals are required for mound systems and systems with pipe depth less than two feet.
8. Illustrate the three (3) proposed well sites or 1500 sq. ft. well box with elliptical radius of 100 feet around each of the three (3) wells or the well box.
9. Illustrate streams, ponds, floodplains, 25% and greater slopes, and any other pertinent land features.
10. Illustrate the locations of all Onsite Sewage Disposal System (OSDS) components on the site Plan.
11. Include a cross section and details of all treatment tanks and pump tanks.

- ~~X~~ 12. Include a profile drawing with all invert elevations necessary for installation of the initial system.
- ~~X~~ 13. Show the location of the initial absorption system and two replacements with perforated pipe elevations.
- ✓ X 14. The designing Professional Engineer or other qualified designer must sign the plan.
- N/A ~~X~~ 15. Low pressured dosed systems or other pumped systems must include pump station details including:
  - a. Total dynamic head calculations
  - b. Pump curve
  - c. Pump on, pump off, and alarm elevations
- aha ~~X~~ 16. Low pressure dosed systems, including sand mounds and at-grade mounds must show all details necessary for installation of the lateral network and mound.

**Required Plan Notes**

- 11/11/17 ✓ X 1. Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
- ✓ X 2. The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
- N/A ~~X~~ 3. Electrical work for the installation must be performed by a licensed electrician.
- ✓ tbD 4. The well (tag # \_\_\_\_\_) has been field located and is accurately shown.
- ✓ X 5. All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.



VICINITY MAP SCALE: 1"=2000'

- GENERAL NOTES**
- Current Title Reference: Owner: Denise Mohr and Jennifer Matsuda-Begy  
Deed Reference: County Land Record 22243 Page 169  
Date: 2022-February-24  
Grantor: Denise Mohr
  - Subject Property Zoned: RR-DEO.
  - Total area of property: 218,129.75 sq.ft.
  - Contractor/Builder to verify elevation in the field before beginning any construction.
  - The topography shown hereon was taken from data by Howard County and based on Bare Earth LIDAR Data U.S. Feet supplemented with field run data by DRS Associates and is verified to accurately represent the relative changes on the subject property by DRS Associates.
  - No wetlands currently exist on the property.
  - The existing well shown on this plan identified with no well tag that will be converted to a agricultural well has been field located by DRS & Associates professional land surveyor and is accurately shown.
  - All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.
  - "Any changes to a private sewage easement shall require a Revised Percolation Certification Plan."
  - The well must pass potability tests and receive an I.C.O.P. certificate prior to Use & Occupancy.
  - Well must be drilled and completion report approved prior to Health Department approval of the building permit.
  - Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
  - The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
  - The well (tag# ) has been field located and is accurately shown.

**PURPOSE NOTE:**  
The purpose of this plan is to replace the existing septic tank with a 1500 gallon top seam 2 compartment tank per Onsite Sewage Disposal System Inspection Report by Joseph Wright License Number 57.

**LEGEND**

Existing	Proposed
Edge of Rd	Edge of Rd
Feature separation distance in feet	Feature separation distance in feet
Ind. Contours	Ind. Contours
Int. Contours	Int. Contours
Lot Line	Lot Line
Plot Outline	Plot Outline
Septic Area	Septic Area
Sewer Line	Sewer Line
Bit. Conc. Pav.	Bit. Conc. Pav.
Clean Out, Sewer/Drain Structure	Clean Out, Sewer/Drain Structure
Well	Well

**ABBREVIATIONS**

B	Basement floor elevation or Book	G	Garage floor elevation
CLR	County Land Record	P	Page
F	First floor elevation	PB	Plot Book

REV.No.	DATE	BY	DESCRIPTION

**REVISIONS**

**DRS ASSOCIATES**  
LAND DESIGN CONSULTANTS  
52 WINTERS STREET WESTMINSTER, MARYLAND 21157  
410-848-4060 410-876-6040

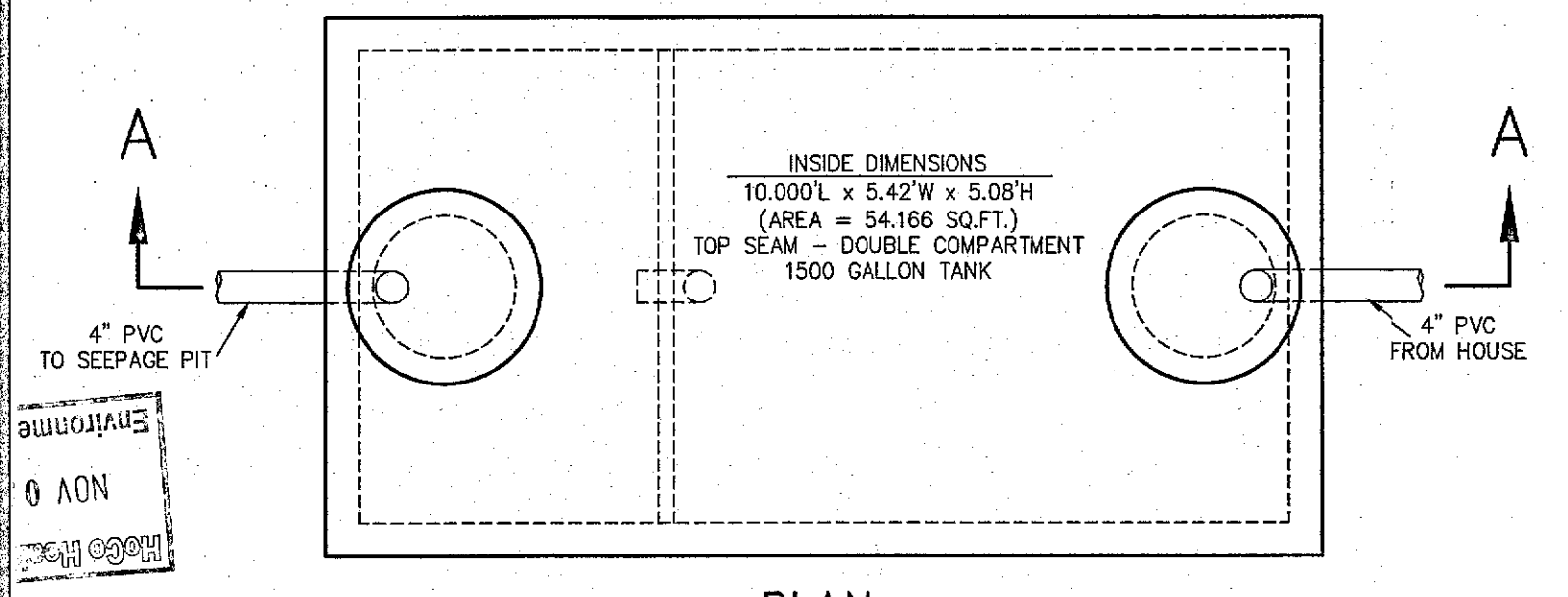
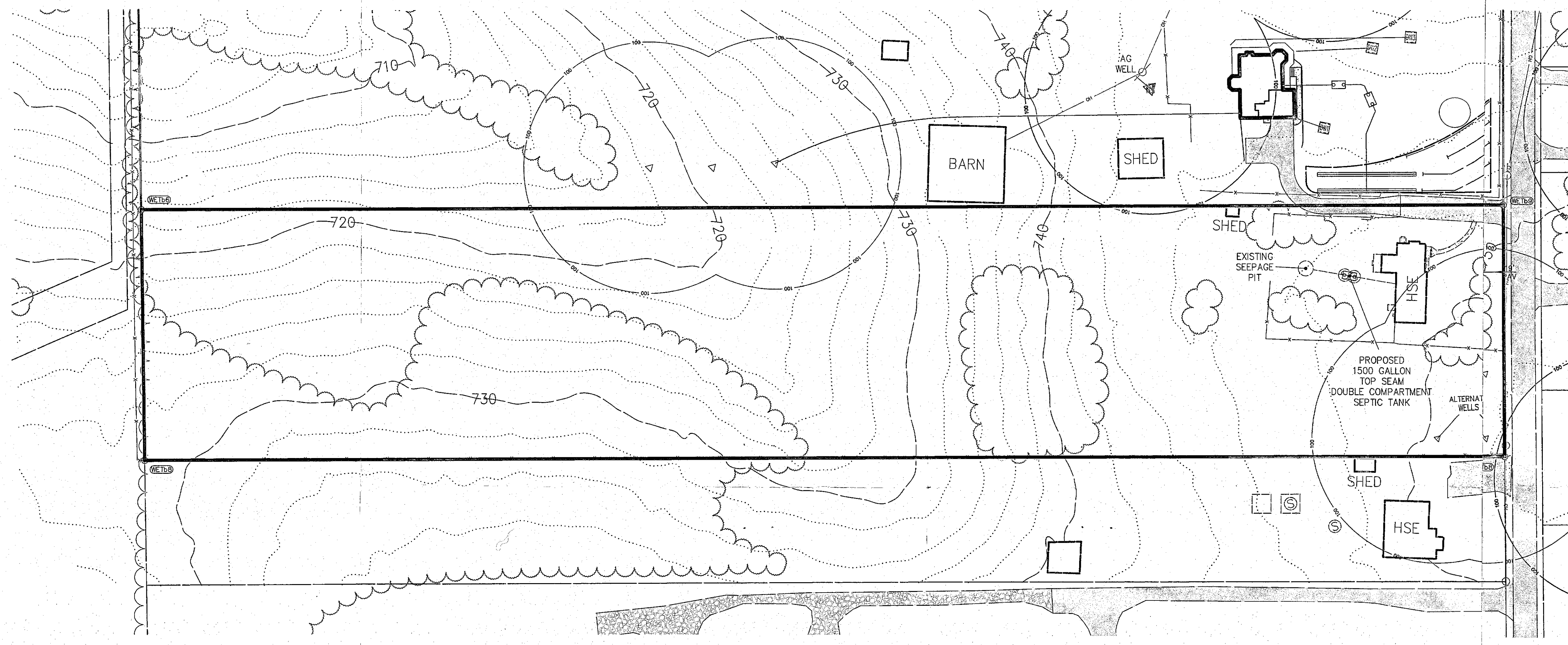
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DSN: drs DFT: ebp CHK: drs SCALE: 1"=50' 25 0 25 50 75

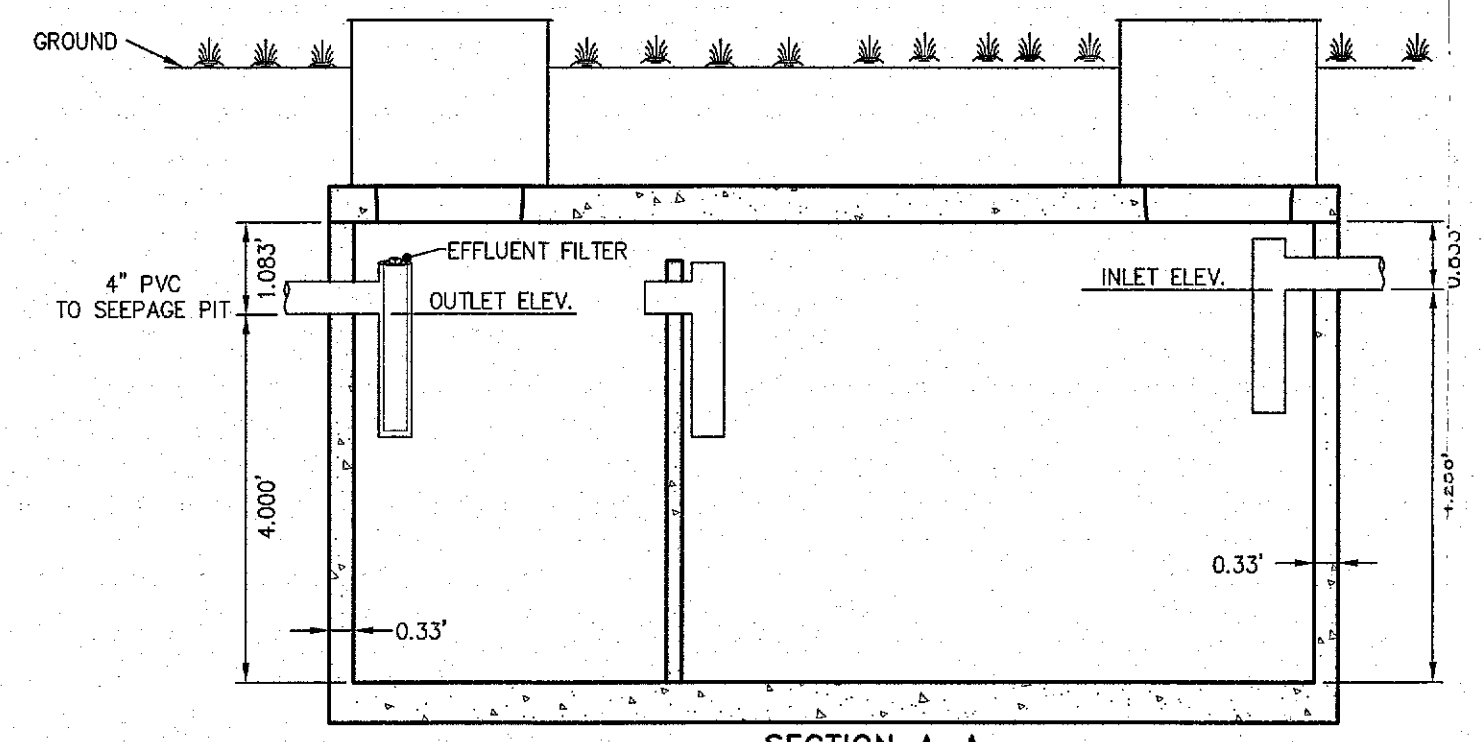
**Onsite Sewage Disposal System Design Plan**  
**Poplar Heights**  
**Lot B**  
1014 St Michaels Road  
Howard County, Maryland 21771

OWNER  
Denise Mohr  
1014 St Michaels Rd  
Mt. Airy MD 21771  
410-241-2789

MAP 07 BLOCK 02 PARCEL 21 LOT B  
ACCOUNT NUMBER 04-320921  
ZONED RR-DEO COUNTY LAND RECORD 22243 PAGE 169  
4TH ELECTION DISTRICT



PLAN



SECTION A-A  
BABYLON VAULT COMPANY, INC.  
SEPTIC TANK DETAIL  
NO SCALE

- CONSTRUCTION NOTES**  
**SEPTIC TANK**
- All tanks must be watertight and meet all horizontal separation distances specified in State and County regulations.
  - Tanks that are constructed with seams and joints must be above the high water table.
  - A 24-hour leakage test may be conducted to demonstrate water tightness prior to final construction approval.

- CONSTRUCTION SPECIFICATIONS**
- All piping to be schedule 40 PVC.
  - Septic tank to be top seam tank manufactured by Babylon Vault Co.

**POPLAR HEIGHT: LOT B**

Name	North	East	Bearing	Distance
WET9	610818.72784	1282634.77337	S 14°10'55"W	199.18
WET8	610625.61706	1282585.97360	N 75°15'00"W	1095.16
WET7	610904.44848	1281526.89908	N 14°08'55"E	199.17
WET6	611097.57565	1281575.98347	S 75°15'02"E	1095.28
WET9	610818.72784	1282634.77337	S 14°10'55"W	199.18

Total Area 218129.75 sf 5.007 acres +/-

I:\CAD\035050885\WSD1-21.DWG, Map, 2025-10-22 02:07:28 pm, ebp