

Record Detail (This section is required.)

Case

EH-PLANS-26-0

Type

EnvHealth/Environmental Health/Plan Check/Application

Status

In Review

Opened Date

08/07/2026

Single Entry Edit-View Record Form

Application Name

B26002631

Description

SFD/ CONSTRUCT 14 X 25 (1) STORY ADDITION TO EXPAND LIVING ROOM W/ BASEMENT LEVEL 1 CAR GARAGE ADDITION BELOW/, 1 STORY, Full Basement, 0R, 0FB, 0HB, 0FP, OTHER STRUCTURE = Attached Garage, 0BR, PORCH/DECK = Open Porch and Deck, ENERGY METHOD = Prescriptive Method.

Total Invoiced

0.00

Total Paid

0.00

Balance

0.00

Assigned to Department Current Department

Well and Septic Program

Assigned to Staff Current User

Zack Silvast

Address (This section is required.)

New	Search	Delete	Set Primary										
☐ Primary	Street # (start)	Direction	Street Name	Street Type	City	State	Zip Code	Address Status	Street Suffix (Direction)	Unit Type	U		
☐ ☒	14840		Triadel...	RD	Glenelg	MD	21737						

Parcel (This section is not required.)

Search	Delete	Get Address & Owner	Set Primary										
☐ Primary	Parcel #	Book	Page	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Legal Description	Tract			
0 record(s) found.													

Owner (This section is not required.)

Search	Delete	Set Primary											
☐ Primary	Name	Mail Address Line1	Mail Address Line2	Mail Address Line3	Mail City	Mail State	Mail Zip Code	Phone	Country/Region				
☐ ☒	Seely Kaufman	14840 Triadelphia Rd.			Glenelg	MD	21737		US				

Applicant (This section is required.)

Search	As Owner	As Lic. Prof	As Contact
--------	----------	--------------	------------

Single Entry Applicant Form

Type *

Applicant

Primary

Yes

Full Name

Approved
MRE 8/12/26

Online BP. 8/8 8/10/26

First Name *

Orion

Middle Name

Last Name *

Ferraro

Organization Name *

n/a

Mobile Phone ((xxx)xxx-xxxx)

(410) 977-8903

Home Phone ((xxx)xxx-xxxx)

E-mail

orion4577@yahoo.com

Business Phone ((xxx)xxx-xxxx)

Preferred Channel

--Select--

Applicant Address

New

Look Up

Deactivate

Remove

☐ Contact Address ID Address Type Address Line 1 City State Zip Primary Recipient Status

0 record(s) found.

Custom Fields

DATE TRACKING

Received Date

8/6/2026

Due Date

8/20/2026

Dates to Complete

14

(Number)

Food Review Type

--Select--

Equipment Specification Sheet

Received by Food

Equipment Specification Sheets Submitted

Received by Community Hygiene

Received by Well and Septic

8/6/2026

FACILITY INFORMATION

Name of Business (dba) *

n/a

(Text)

Associated Building Permit Number

(Text)

Owner Switch Date

Does the project include an Aquatic Facility such as a Public Pool? If Yes, forward to CH Program.

☐ Yes ☐ No

Does the project include Private Septic? If Yes, forward to WS Program.

☐ Yes ☐ No

Is this a Prototype Food Service Facility? If Yes, refer to State.

☐ Yes ☐ No

Facility Fax

(Text)

Days of Operation

(Text)

Does this project have a Building Permit?

☐ Yes ☐ No

Building Permit Issued Date

☐ Non-Profit

Does the project include Private Well? If Yes, forward to WS Program.

☐ Yes ☐ No

Does the project include Food Services? If Yes, forward to FP Program.

☐ Yes ☐ No

Facility Phone

(Text)

Facility Email

(Text)

PROPERTY INFORMATION

Water Source

--Select--

Design Wastewater Flow

(Number)

Sewage Disposal

--Select--

Permit Type

--Select--

DEVELOPMENT PLANS**Property Type**Residential ☐**Signature Required**☐ Yes ☐ No**Number of paper copies**0
(Number)**Number of buildable lots created**0
(Number)**Total Number of Lots**0
(Number)**Plan Version**Initial ☐**Engineer**0
(Text)**Number of mylar copies**0
(Number)**Number of non-buildable lots created**

(Number)

Associated Plans**WELL AND SEPTIC INTERNAL****State Review Required**☐ Yes ☐ No**Coordinate State Review**☐ Yes ☐ No**Proposed Septic System Type**

--Select--

FOOD ESTABLISHMENT FACILITY**Priority Assessment**

--Select--

Licensed Type

--Select--

License Category

--Select--

FOOD ESTABLISHMENT INFORMATION**Hours of Operation**

(Text)

☐ Operating Seasonally Only**If Operating Seasonally, What is the start month?**

(Text)

Are pets allowed in a outdoor seating area?☐ Yes ☐ No**Full Bar?**☐ Yes ☐ No**RESTAURANT AND FOOD SERVICE****Food Service Facility Secondary Category**

--Select--

Total Seating Capacity

(Number)

Number of Restrooms

(Number)

Interior Restaurant Seating Capacity

(Number)

Bar Seating Capacity

(Text)

Outdoor Seating Capacity

(Text)

Does the restaurant have outdoor seating☐ Yes ☐ No**EQUIPMENT****Evaluated non NSF, ANSI, CF or other standards**☐ Yes ☐ No**Description of Refrigeration Units****Number of Walk-In Refrigerator Units**

(Number)

Description of Walk-In Freezer Units

(Text)

Is there a bulk ice machine available☐ Yes ☐ No**Space Limitation****Number of Hand Sinks Available**

(Number)

Hood System

(Text)

Ventless Equipment

(Text)

PLUMBING**Size and installation of the water heater?**

(Text)

Is there a grease interceptor or grease trap?

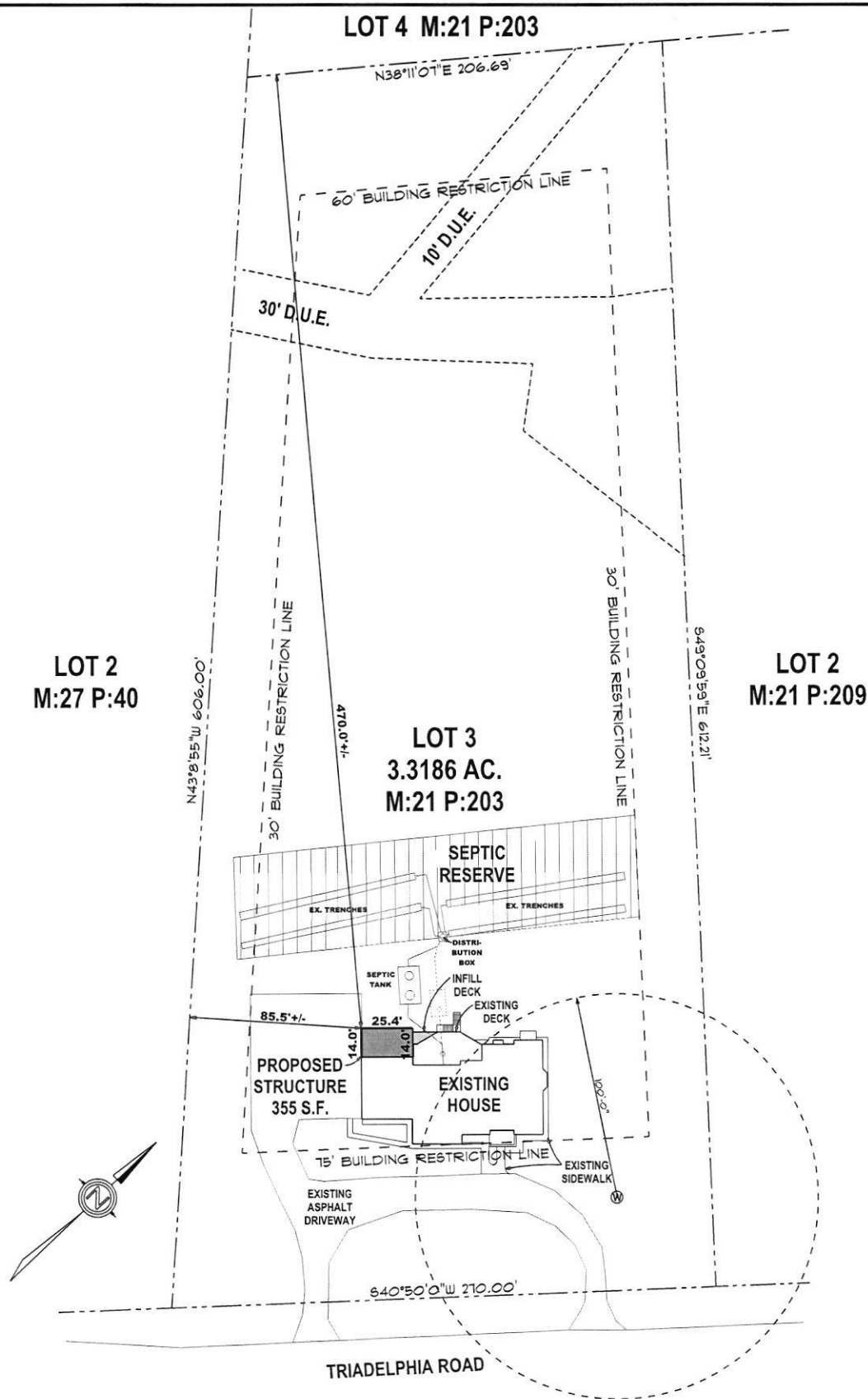
--Select--

REFUSE AND RECYCLABLES**Dumpsters Located on a impervious surface?**

--Select--

Will there be a grease receptacle?

--Select--



PROPOSED SITEPLAN

SCALE: 1" = 60'

Espy Residence

Addition

14840 Triadelphia Road, Glenelg, Maryland 21737

GENERAL NOTES

JONATHAN RIVERA
ARCHITECTURE
Since 1994
(443) 226-5745
JONATHANRIVERA.COM



PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland.
License Number #16478
Subscribed and sworn to before me this 13th day of 2009.

THIS DOCUMENT IS AN UNCLASSIFIED OR
PROFESSIONAL SERVICE PREPARED BY AN INDIVIDUAL
WHILE ON ACTIVE DUTY OR WHILE ON FULL-TIME
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THE ARMY. IT IS LOANED TO YOUR ORGANIZATION
AND IT AND ITS CONTENTS ARE NOT TO BE
DISTRIBUTED OUTSIDE YOUR ORGANIZATION.

**PROPOSED
RENOVATION**

**KAUFMANN-DEKE
RESIDENCE**
14840 Tridaphnia Road
Glenn, Maryland 21737

ARCHITECT
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orion@ferrarocustombuilders.com

ISSUE DATES:	
4-30-26	REVIEW SET
7-15-26	PERMIT SET

SCALE: 10.01

PRINT DATE : Friday, July 17, 2026

GENERAL NOTES

All work shall comply to all applicable local codes.

All construction shall be classified as and comply in either of the following:

- Use Group B-4 under the 2021 International Residential Code & Howard County Code
- IBC EBC CODE COMPLIANCE notes

These plans and notes are the property and sole responsibility of J&B Architecture, LLC. The use of these plans without the written consent of J&B Architecture, LLC is prohibited.

These plans are subject to modification as necessary to meet code requirements and/or to address existing violations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time without providing they comply with the code.

The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an omission is identified, the Sub-Contractor shall immediately notify the Architect and the Owner in writing for proper adjustment.

These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.

In the event certain features of Construction are not fully shown on the drawings, they shall be constructed in accordance with the intent of the drawings and the code. The construction shall be of the same character as that shown or noted.

Integral garages in dwelling units shall be separated from all adjacent living space with the preparation as required by local code.

Field verify ALL dimensions

GENERAL FRAMING NOTES

Double all floor joists under walls above, that are framed parallel to floor framing unless noted otherwise on the plans.

Provide solid 2x10 blocking to be located between floor joists where paths, from above, between floor joists, are indicated on the plans. Blocking to be built up to the same width as path it is carrying above.

Provide adequate clearance at plumbing stacks as req.

All dimensions must be verified in the field by the contractor before start of construction, any discrepancies or discrepancies on the plans, or specifications, must be reported to the architect or engineer prior to the start of construction.

Any variations from these plans that will require changes to the structural members shall be brought to the attention of the architect immediately.

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)	50
DESIGN WIND SPEED	115 m.p.h.
SEISMIC CONDITION BY ZONE	A
SUBJECT TO DAMAGE	WEATHERING
	SEVERE
	30"
	FROST LINE DEPTH
	TERMITE
	MODERATE TO HEAVY
	DECAY
	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES	20°
RADON RESISTANT CONSTRUCTION REQ	
FLOOD ZONE	

ITEMS OF PARTICULAR NOTE

Contractor, sub-contractor or supplier shall have full condition and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be used for construction purposes. Written dimensions and notes supersede all scaled dimensions. If there are any conflicts, direct the Architect immediately for clarification. Field verify ALL proposed dimensions.

As a matter of record, RCI Architectural, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

On this Project, the Contractor shall have sole supervision over and exclusive responsibility for the following: sequencing, scheduling, sequencing, construction means, methods, techniques, sequences, procedures, safety precautions and safety program in connection with all construction, mobilization and construction work and protection of persons and property during construction will final completion is attained. Services performed by Architect or its consultants shall be limited to design and construction administration only. In general, the Contractor shall be responsible for the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods of construction shall be the responsibility of the Contractor but separately, encourage specialty trades and other consultants or required to follow this responsibility.

2024 IECC CODE COMPLIANCE

40201.1 Climate zone 4A.
 40401.2 Compliance Method: Mandatory and Prescriptive Provisions
 40401.1 Vapor Retarder: Wall assemblies in the building thermal envelope shall comply with vapor retarder requirements of Section R702.7 of the International Residential Code, 2015 Edition.
 4021.1.2 All-Cl insulation/Insulated Heel Trusses R-49 R-38
 4021.2 Wood frame Wall: R-30
 4021.2 Basement Wall insulation: R-13/R-10 Full Faced Continuous, uninterrupted Bolts Full Height
 4021.2 Crawl Space Wall Insulation: R-13/R-10 Full Faced Continuous Bolts Full Height extending from floor above to finish grade level and then vertically or horizontally an additional 2'-0".
 4021.2 Floor Insulation over Unconditioned Space: R-19 batt insulation.
 4021.2.1 Heated Slab Insulation: R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
 4021.2.2 Window U-Value SHGC: .32 (U-Value) .40 (SHGC)
 4021.2.10 Slab on Grade Floor less than 12" below Grade: R-10 Rigid Form Board Under Slab Extending Either 2'-0" Horizontally or 2'-0" Vertically
 4022.4.1 All-Cl Accent: All-Cl accent scullie will be weather-stripped and insulated R-49
 4024.2 Building Thermal Envelope (air leakage): Exterior walls and penetrations will be sealed per this section of the 2018 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable material. Sealing methods between dissimilar materials shall allow sealing for differential expansion and contraction.
 4024.1.1 Installation: The components of the building thermal envelope as indicated in Table
 4024.1.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria indicated in Table R402.4.1.1, as applicable to the method of construction.
 4024.1.2 Building Thermal Envelope Tightness Test: Building envelope shall be tested and verified as having an air leakage rate of not exceeding 3 air changes per hour. Testing shall be conducted in accordance with ASTM E779 or ASTM E 1827 with (blower door) at a pressure of 0.2 inches w.g. (50 pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building inspector.7/15
 4024.2.2 Replacement: New wood burning fireplace will have light filling flue dampers or doors, and outdoor combustion air. Fireplace doors shall be listed and labeled in accordance with UL 127 (factory built fireplace) and UL 1607 (masonry fireplace).
 4024.2.4.4 Rooms containing fuel burning appliances whose open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air ducts shall be located outside the building thermal envelope or enclosed in a room isolated from inside the thermal envelope.
 4024.2.4 Exhausts: 1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section M402.4.2 and Section M1006 of the IECC.
 4024.2.5 Recessed Lighting: Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.
 40301.1 Combust: All dwelling units will have at least (1) programmable thermostat for each separate heating and cooling system per 2018 IECC Section 403.1.1.
 40301.2 Where a heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when heat pump can meet heating load.
 40301.3 Mechanical Duct Insulation: Supply and Return Ducts outside of conditioned space R-8 minimum. All other ducts except those located completely inside the building thermal envelope R-4 minimum. Ducts located under concrete slabs must be R-4 minimum.
 40301.3.2 Duct Sealing: All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IECC. A duct tightness test ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and air ducts are located within the conditioned space.
 40301.3.6 Ducts Buried Within Ceiling Insulation: The supply and return ducts shall have an insulation R-value not less than R-8. At all points along each duct, the sum of the ceiling insulation R-value and the duct insulation R-value shall be not less than R-19, excluding the R-value of the duct insulation. Sections of the supply duct that are less than 3 feet (914 mm) from the supply outlet shall not be required to comply with these requirements
 40301.3.7 Mechanical Ventilation: Outdoor (make-up and exhaust) air ducts to be provided with automatic or gravity damper that close when the ventilation system is not operating.
 40301.4 Whole-house mechanical ventilation system fan efficiency to comply with TABLE R403.4.1.
 40301.7 Equipment Sizing shall comply with R403.7.
 40401.1 Lighting Equipment: A minimum of 90% of all lamps (lights) must be high-efficacy lamps. This contractor also responsible for generating Certificate of Compliance and affixing to electrical panel or within 4 feet of the electrical panel and be readily visible.
 40401.4 ERI-based Compliance: Compliance based on an ERI analysis requires that the rated design be shown to have an ERI less than or equal to the appropriate value indicated in table R404.4. ERI is an ERI-based compliance design.

AREA INFO

FLOOR	SQUARE FOOTAGE
SECOND FLOOR	0 s.f.
FIRST FLOOR	320 s.f.
BASEMENT	354 s.f.

CODE INFORMATION

2024 International Residential Code
2021 Existing Building Code
2024 Energy Conservation Code
2024 National Fuel Gas Code
2024 International Plumbing Code
2024 International Mechanical Code
2023 National Electrical Code
2021 NFPA 101 Life Safety Code

DESIGN - LIVE LOADS

RECOMMENDED MINIMUMS:

Ground Snow Load	50 psf
Roof Live Load	30 psf
Sleeping Floors	30 psf
Living Floors	40 psf
Exterior Decks	40 psf
Stairs	40 psf
Garage Slabs	40 psf
Wind Load	18 psf
Guardrails	200' at any point in any direction.

(see table for all other codes)

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)	50
DESIGN WIND SPEED	115 m.p.h.
SEISMIC CONDITION BY ZONE	A
SUBJECT TO DAMAGE	WEATHERING
	SEVERE
	30"
	FROST LINE DEPTH
	TERMITE
	DECAY
	MODERATE TO HEAVY
	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES	20°
RADON RESISTANT CONSTRUCTION REQ	
FLOOD ZONE	

ITEMS OF PARTICULAR NOTE

Contractor, sub-contractor or supplier shall have full condition and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be used for construction purposes. Written dimensions and notes supersede all scaled dimensions. If there are any conflicts, direct the Architect immediately for clarification. Field verify ALL proposed dimensions.

As a matter of record, RCI Architectural, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

On this Project, the Contractor shall have sole supervision over and exclusive responsibility for the following: sequencing, scheduling, sequencing, construction means, methods, techniques, sequences, procedures, safety precautions and safety program in connection with all construction, mobilization and construction work and protection of persons and property during construction will final completion is attained. Services performed by Architect or its consultants shall be limited to design and construction administration only. In general, the Contractor shall be responsible for the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods of construction shall be the responsibility of the Contractor but separately, encourage specialty trades and other consultants or required to follow this responsibility.

Table 1 Select only 1 option. R402.1.3 or R402.1.5	
☐ Option 1.	Enhanced Envelope Performance.
☐ Option 2A.	More Efficient HVAC Equipment Performance. Greater than or equal to 95 AFUE natural gas furnace and 15 SEER air conditioner.
☐ Option 2B.	More Efficient HVAC Equipment Performance. Greater than or equal to 10 HSPF/10 SEER air source heat pump.
☐ Option 2C.	More Efficient HVAC Equipment Performance. Greater than or equal to 3.5 COP ground source heat pump.
☐ Option 3A.	Reduced energy use in service water-heating. Greater than or equal to 0.82 EF fossil fuel service water-heating system.
☐ Option 3B.	Reduced energy use in service water-heating. Greater than or equal to 2.0 EF electric service water-heating system.
☐ Option 3C.	Reduced energy use in service water-heating. Greater than or equal to 0.4 solar fraction solar water-heating system.
☐ Option 4A.	More efficient duct thermal distribution system option. 100 percent of ducts and air handlers located entirely within the building thermal envelope.
☐ Option 4B.	More efficient duct thermal distribution system option. 100 percent of ducts and air handlers located entirely within the building thermal envelope.
☐ Option 4C.	More efficient duct thermal distribution system option. 100 percent of duct thermal distribution system located in conditioned space as defined by Section R403.2.2.
☐ Option 5.	Improved air sealing and Efficient Ventilation System option.

Table 3 Select Only 1 Option R405	
☐ Option 1.	One of the additional efficiency package options in Table 1 shall be selected, with the proposed design under Section R405.
☐ Option 2.	The proposed design of the building shall meet the minimum energy cost that is less than or equal to 95 percent of the annual energy cost of the standard reference design.

Table 2 MD Alternative Additional Packages—Must select one or more options to meet or exceed 6%. R402.1.3	
☐ 1	2.5% reduction in total UA. 1%
☐ 2	3% reduction in total UA. 2%
☐ 3	3.5% reduction in total UA. 2%
☐ 4	0.22 U-factor windows. 3%
☐ 5	High performance cooling system (Greater than or equal to 18 SEER and 14 EER air conditioner). 3%
☐ 6	High performance cooling system (Greater than or equal to 18 SEER and 14 EER air conditioner). 3%
☐ 7	High performance gas furnace (Greater than or equal to 95 AFUE natural gas furnace). 3%
☐ 8	High performance gas furnace (Greater than or equal to 95 AFUE natural gas furnace). 4%
☐ 9	High performance heat pump system (Greater than or equal to 10 HSPF/10 SEER air source heat pump). 6%
☐ 10	High performance heat pump system (Greater than or equal to 10 HSPF/10 SEER air source heat pump). 5%
☐ 11	Ground source heat pump (Greater than or equal to 3.5 COP ground source heat pump). 6%
☐ 12	Fossil fuel service water heating system (Greater than or equal to 82 EF fossil fuel service water-heating system). 8%
☐ 13	Service water-heating system (Greater than or equal to 2.0 EF electric service water-heating system). 8%
☐ 14	High performance heat pump water-heating system (Greater than or equal to 2.0 solar fraction solar water-heating system). 8%
☐ 15	Solar hot water heating system (Greater than or equal to 0.4 solar fraction solar water-heating system). 6%
☐ 16	More efficient HVAC distribution system. (100 percent of duct thermal distribution system or 100 percent of duct thermal distribution system located in conditioned space as defined by Section R403.2.2). 10%
☒ 17	100% of ducts in conditioned space. (100 percent of duct thermal distribution system located in conditioned space as defined by Section R403.2.2). 12%
☐ 18	Reduced total duct leakage. (When ducts are located outside conditioned space, the total leakage of the duct system must be less than or equal to 0.06 cfm per square foot of conditioned floor area. a. Where air handler is installed at the time of testing, 2.0 cubic feet per minute per 100 square feet of conditioned floor area. b. Where air handler is not installed at the time of testing, 1.75 cubic feet per minute per 100 square feet of conditioned floor area.) 1%
☐ 19	2 ACH50 air leakage rate with ERV or HRV installed. (Less than or equal to 2 ACH50, with either an Energy Recovery Ventilator (ERV) or Heat Recovery Ventilator (HRV) installed.) 10%
☐ 20	2 ACH50 air leakage rate with balanced ventilation. (Less than or equal to 2 ACH50, with balanced ventilation as defined in Section 202 of the 2021 International Mechanical Code.) 6%
☐ 21	1.5 ACH50 air leakage rate with ERV or HRV installed. (Less than or equal to 1.5 ACH50, with either an ERV or HRV installed.) 12%
☐ 22	1 ACH50 air leakage rate with ERV or HRV installed. (Less than or equal to 1.0 ACH50, with either an ERV or HRV installed.) 14%
☐ 23	Energy Efficient Appliances (Minimum 3 appliances not to exceed 1 form each type with follow efficiencies: Refrigerator - Energy Star Program Requirements, Product Specification for Consumer Refrigeration Products, Version 5.1 (04/05/2011), Dishwasher - Energy Star Program Requirements for Residential Dishwashers, Version 6.0 (01/19/16), Clothes Dryer - Energy Star Program Requirements, Product Specification for Clothes Dryers, Version 1.1 (05/05/2017) and Clothes Washer - Energy Star Program Requirements, Product Specification for Clothes Washers, Version 6.1 (02/05/2018)) 7%
☐ 24	Renewable Energy Measures. (See footnote 4 of Table R408.3—capable to produce a minimum of 1.0 watt of on-site renewable energy per square foot of conditioned floor area.) 11%

Acceptable Signatures: Maryland Licensed Design Professional, Maryland Licensed Contractor, or Owner.

Project Address: _____ Date: _____
Signature: _____
Printed Name: _____
Permit Number: _____
Additional Documentation Submitted: ☐



Bureau of Building Plans Review

2021 IECC Residential Energy Efficiency Selection Form

All new residential one and two family dwellings and additions to one and two family dwellings must comply with the residential provisions of the 2021 IECC unless the building is considered a "Low Energy Building" as defined in Section R402.1. Applicants must select one compliance path option from page 1, along with selecting applicable additional energy feature from tables on page 2. Additional compliance documentation must be submitted with this form for the Total UA Alternative, Total Building Performance or Energy Rating Index Compliance Alternative path options. This document shall become part of the official permit record.

Table R402.1.2 Minimum Assembly U-Factors and Fenestration Requirements (2021 IECC)									
Climate Zone	Fenestration U-Factor	Glazed Window U-Factor	Glazed Window SHGC	Ceiling U-Factor	Wood Frame Wall U-Factor	Mass Wall U-Factor	Floor U-Factor	Basement Wall U-Factor	Crawl Space U-Factor
4 Except Marine	0.20	0.55	0.40	0.024	0.024	0.024	0.024	0.024	0.024
Must select Additional Energy Feature from Table 1.									

Table R402.1.3 MD Alternative Insulation minimum R-values and Fenestration Requirements by Component (2021 IECC)									
Climate Zone	Fenestration U-Factor	Glazed Window U-Factor	Glazed Window SHGC	Ceiling U-Factor	Wood Frame Wall U-Factor	Mass Wall U-Factor	Floor U-Factor	Basement Wall U-Factor	Crawl Space U-Factor
4 Except Marine	0.20	0.55	0.40	0.024	0.024	0.024	0.024	0.024	0.024
Must select Additional Energy Feature from Table 1.									

Table R402.1.3 MD Alternative Insulation minimum R-values and Fenestration Requirements by Component (2021 IECC)									
Climate Zone	Fenestration U-Factor	Glazed Window U-Factor	Glazed Window SHGC	Ceiling U-Factor	Wood Frame Wall U-Factor	Mass Wall U-Factor	Floor U-Factor	Basement Wall U-Factor	Crawl Space U-Factor
4 Except Marine	0.20	0.55	0.40	0.024	0.024	0.024	0.024	0.024	0.024
Must select Additional Energy Feature from Table 1.									

Prescriptive Compliance Option — R402.1		MD Prescriptive R-Value Alternative — R402.1.3	
☐		☒	
Total UA Alternative R402.1.5		Total UA Alternative R402.1.5	
☐		☐	
Total Building Performance R405		Total Building Performance R405	
☐		☐	
Energy Rating Index Compliance Alternative R406		Energy Rating Index Compliance Alternative R406	
☐		☐	

JONATHAN RIVERA
ARCHITECT
(443) 226-5745
jonathanrivera.com



PROFESSIONAL CERTIFICATION
I, Jonathan Rivera, Architect, do hereby certify that I am a duly licensed professional under the laws of the State of Maryland.
License Number: #14478
Expiration Date: 1/1/2026

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PROPOSED RENOVATION

KAUFMANN-DEKEN
RESIDENCE
14840 Hodelpho Road
Glenold, Maryland 21737

ARCHITECT
Jonathan Rivera AIA, NCARB
Howard County, Maryland
443.224.5745
jonathanrivera.com

BUILDER
Olon Ferro
Ferro Custom Builders
1747 Florence Road
Mount Airy, Maryland 21771
(410) 977-8903
oloniaferroconstructionbuilders.com

ISSUE DATES:
4-30-24 REVIEW SET
7-16-24 PERMIT SET

SCALE:
GENERAL INFO
0.03
PRINT DATE:
Friday, July 17, 2026



PROFESSIONAL CERTIFICATION
I, Jonathan Rivera, Architect, License Number 14478, State of Maryland, hereby certify that the drawings were prepared or approved by me, and that I am a duly licensed professional architect in the State of Maryland.
License Number: 14478
Expiration Date: 4/30/2026

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING OFFICIALS' CODES AND ORDINANCES, AND THE NATIONAL BUILDING CODE, AS APPLICABLE TO THE JURISDICTION OF THE PROJECT.
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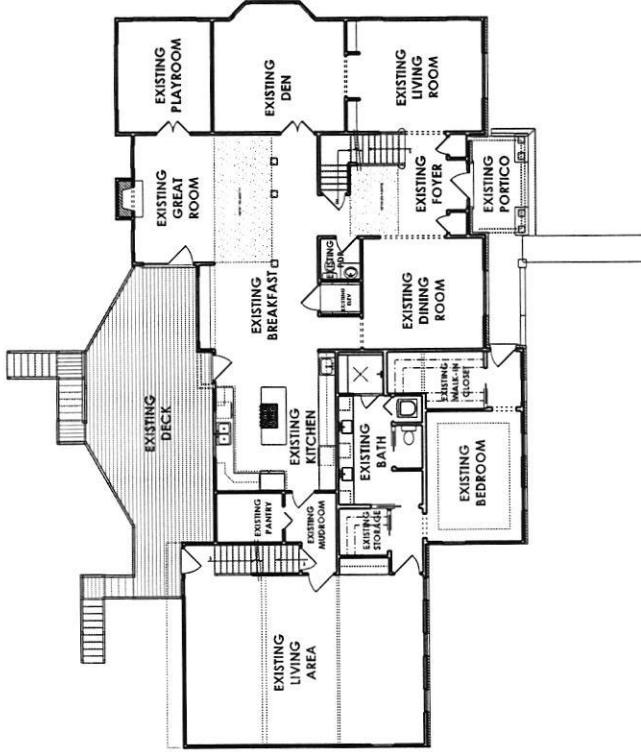
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(410) 977-8903
olan@fenceroconstruction.com

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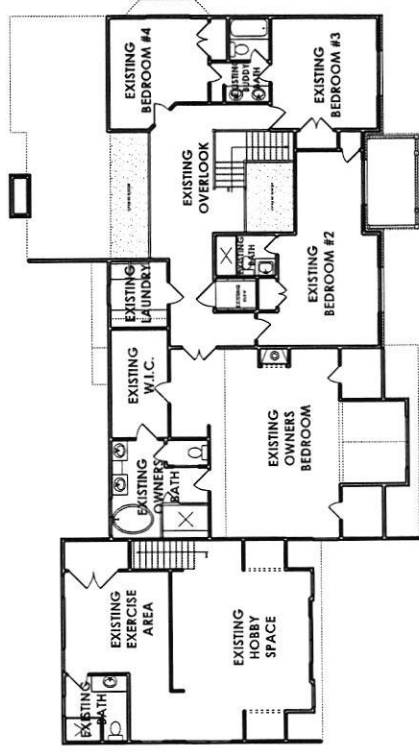
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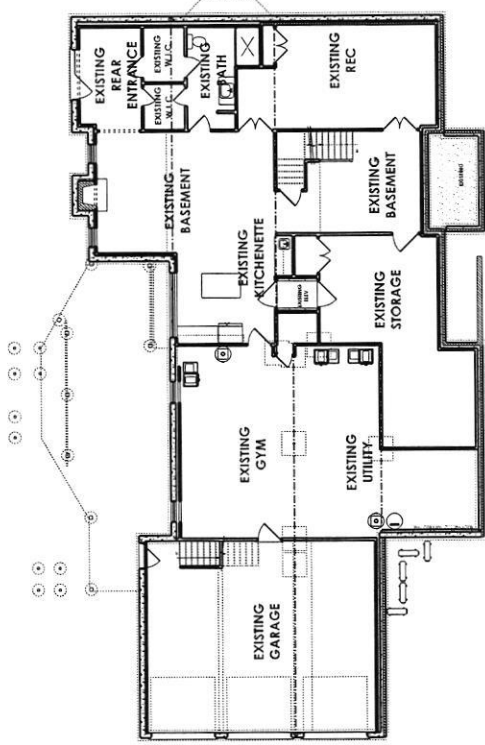
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EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN



EXISTING BASEMENT PLAN



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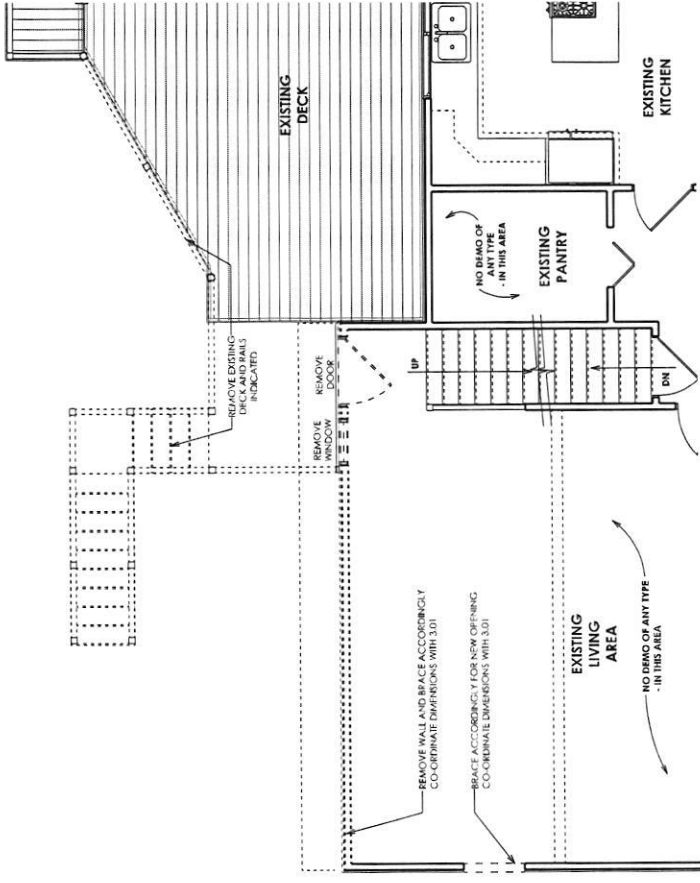
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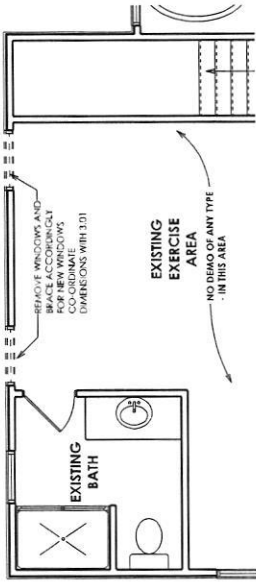
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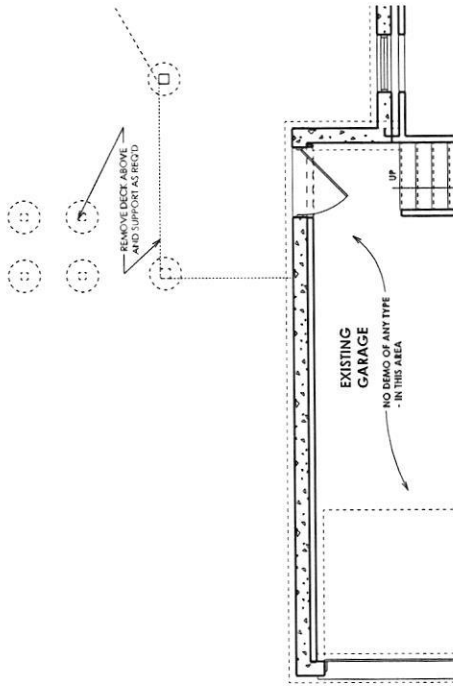
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 DEMO
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FIRST FLOOR DEMO



SECOND FLOOR DEMO



BASEMENT DEMO



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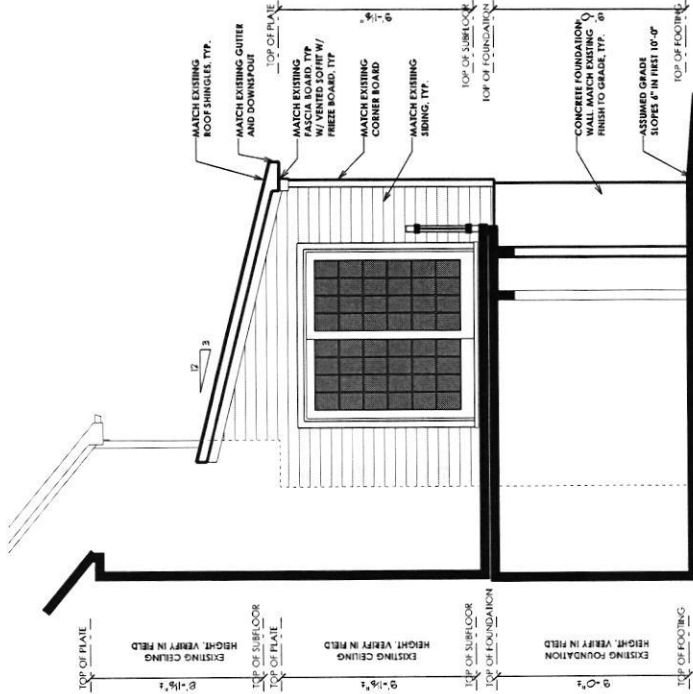
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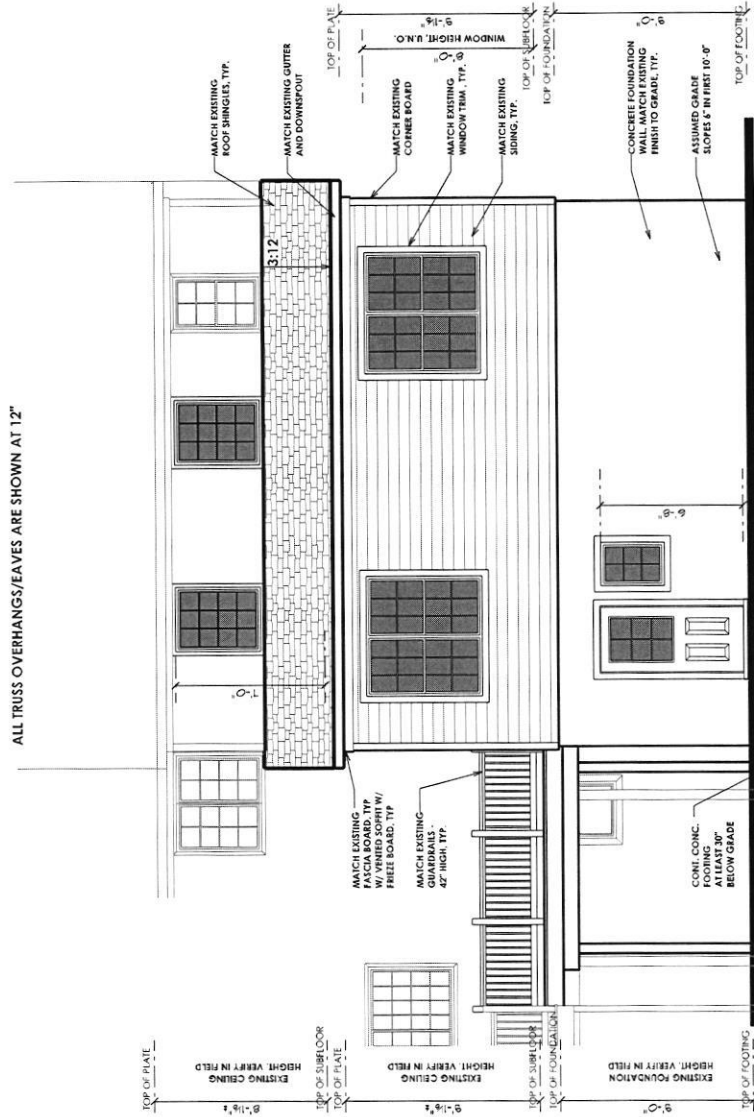
ELEVATIONS

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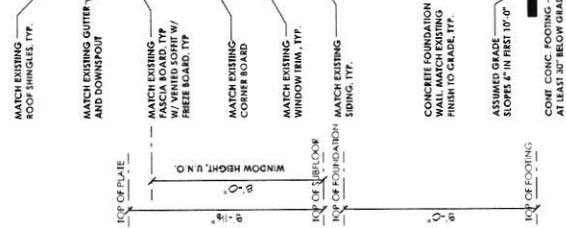
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LEFT ELEVATION



REAR ELEVATION



WINDOW TYPE	MODEL NO.	MANUFACTURER	MIN. ROUGH OPENING (h x w)	QTY	FLOOR	LOCATION	HEAD HEIGHT	SCREENS	NOTES
A	IV28A2	ANDERSEN	76 1/2" x 34 1/2"	1	FIRST	EXISTING LIVING AREA	8'-0"	1RU	TEMPERED
B	IV28B2-2	ANDERSEN	44 1/2" x 48"	3	FIRST	EXPANDED LIVING AREA	8'-0"	1RU	N/A
C	CXW14	ANDERSEN	48 1/2" x 35 1/2"	2	SECOND	EXISTING EXERCISE AREA	7'-0"	N/A	N/A

WINDOW TYP. ELEVATIONS

WINDOW NOTES

1. REFER TO DRAWINGS FOR GRILL PATTERN.
2. ALL GRILL PROFILES ARE 1 1/2" X 1 1/2" X .048" ALUMINUM.
3. ALL GRILL COATINGS ARE 14 MILS. OF ALUMINUM.
4. MATCH EXISTING WINDOW COLOR AND FINISHES.
5. MATCH EXISTING WINDOW HARDWARE.
6. ALL GRILL CONFIGURATIONS ARE SOLID.



PROFESSIONAL CERTIFICATION
I certify that these documents were prepared by me, and that I am a duly licensed professional architect in the State of Maryland.
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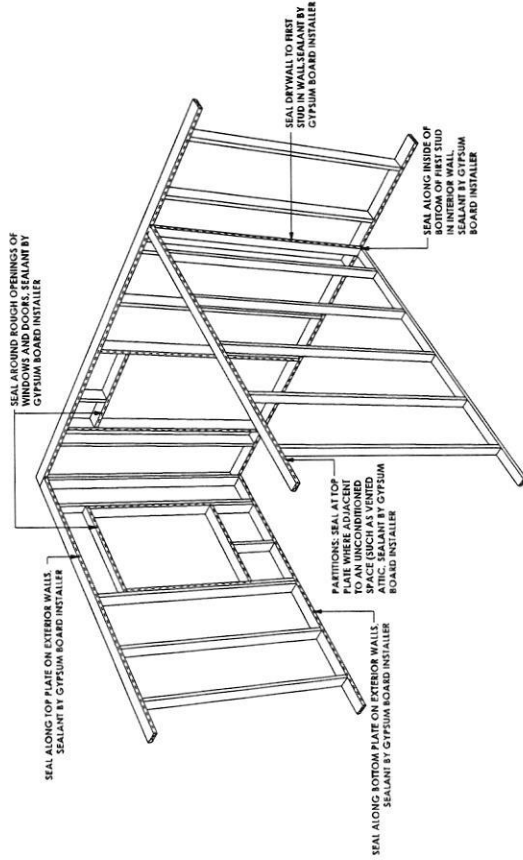
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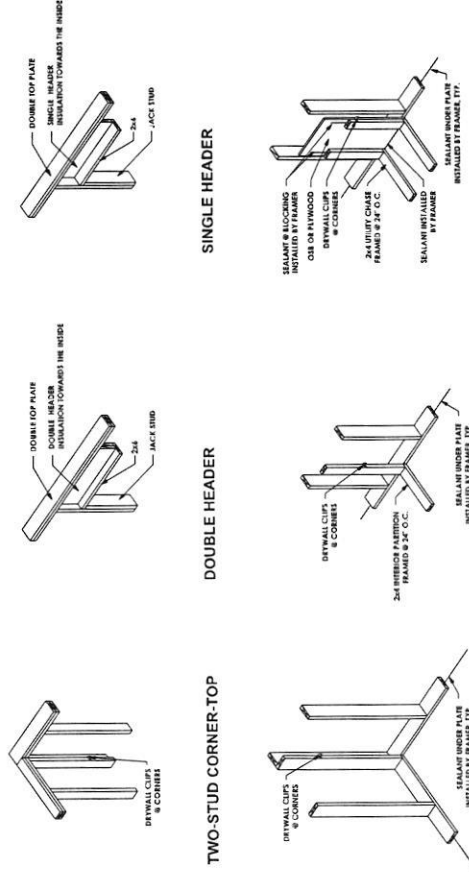
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DETAILS
3.03
PRINT DATE: Friday, July 17, 2026

NOTE: ALL LOAD BEARING STUD WALLS TO BE DOUBLE TOP PLATE PER WALL SECTIONS



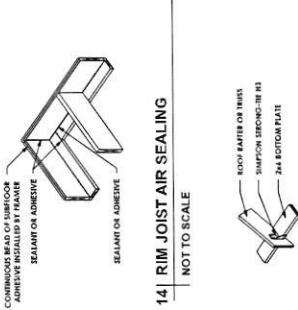
AIR BARRIER AT WALLS AND CEILING PERSPECTIVE



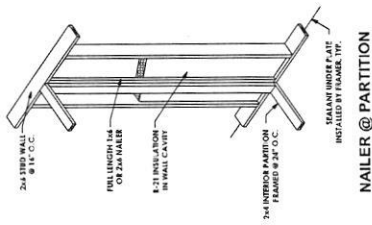
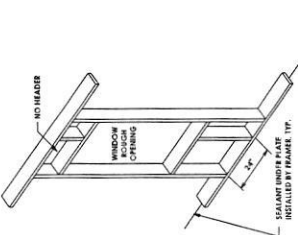
AIR SEALING @ MECH CHASE

BOTTOM PLATE @ PARTITION

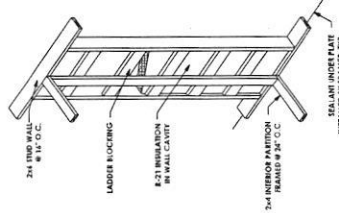
TWO-STUD CORNER-INSULATION



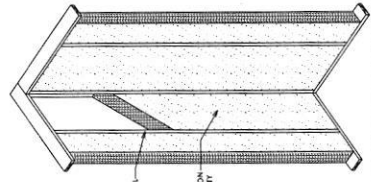
NON-LOAD BEARING WALL OPENING 15 ROOF WALL FRAMING CONNECTION



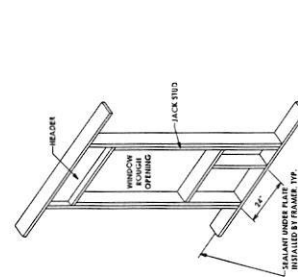
NAILER @ PARTITION



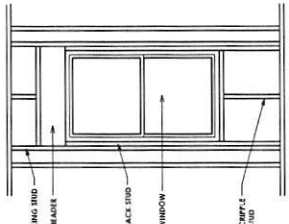
LADDER FRAMING @ PARTITION



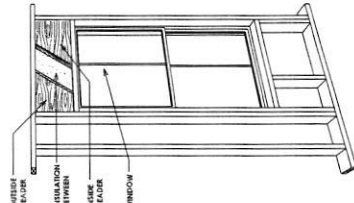
TWO-STUD CORNER-INSULATION



LOAD BEARING WALL OPENING



WINDOW FRAMING ELEVATION



HEADER INSULATION BETWEEN

HEADER INSULATION OUTSIDE

TWO-STUD CORNER-INSULATION



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I, Jonathan Rivera, Architect, License Number 414478, State of Maryland, hereby certify that the above information was prepared or approved by me, and that I am a duly licensed professional architect in the State of Maryland.
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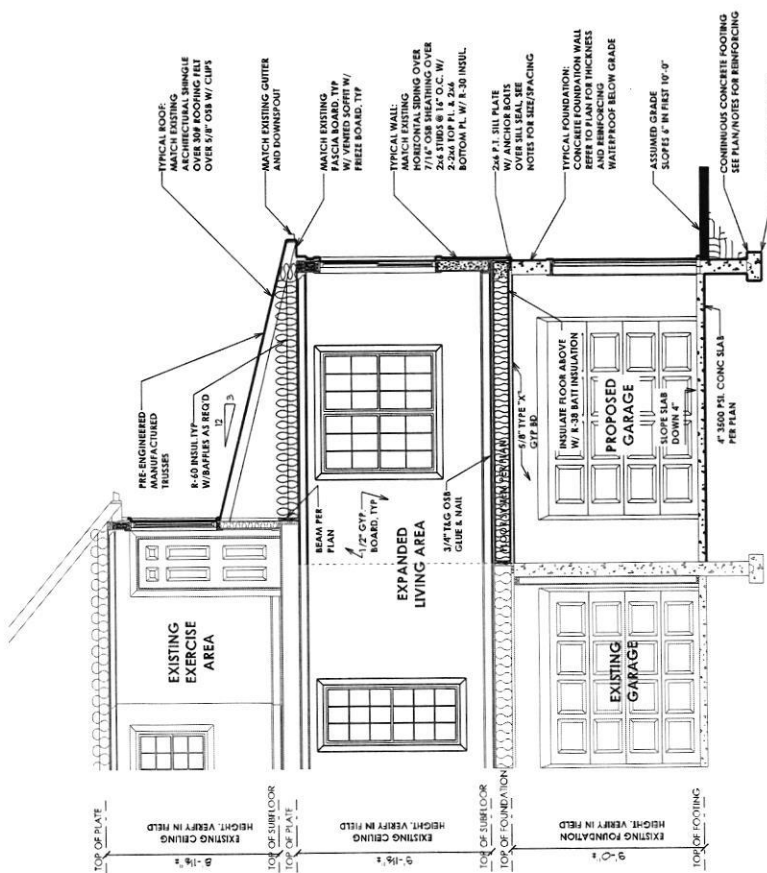
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SECTION

4.01

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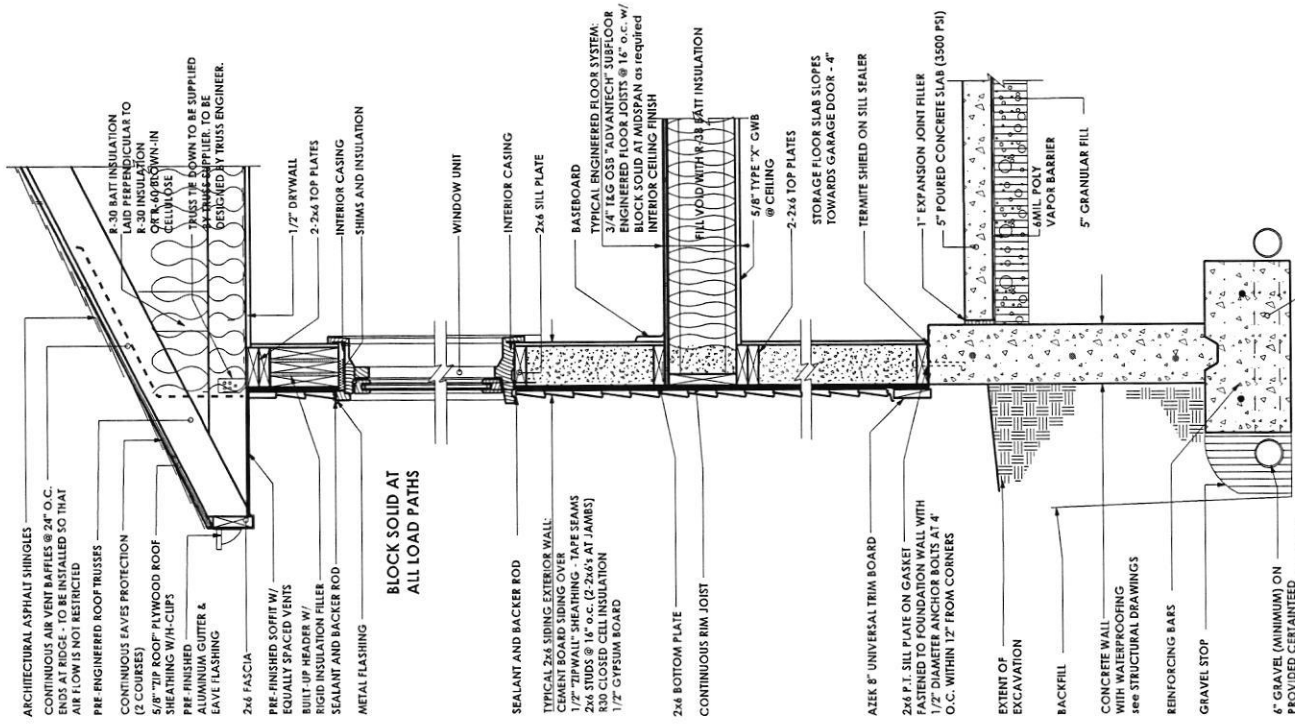
ALL TRUSS OVERHANGS/EAVES ARE SHOWN AT 12"



SECTION A-A

SECTION NOTES

- 1) TRUSS AND RAFTER BEARING CAPACITY ASSUMED
- 2) BRACKS, JOISTS, HEADERS & LATHES SHALL BE 12" MIN. ON FG. TYP. THROUGHOUT U.S.O.
- 3) BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT PRECON.
- 4) ALL LOCATIONS FOR HVAC, SUMP, DRAIN, ETC. SHALL BE DETERMINED AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS 12" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 16" HIGH
- 6) WINDOW SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 12" HOOKED ANCHOR BOLTS IMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM FACE AND END OF ALL SILL PLATE PIECES.



WALL SECTION AT GARAGE

- THESE DRAWINGS ARE SCHEMATIC ONLY.
THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS, ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES, FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.



Erection notes

1. All beams are to be dropped below floor framing unless noted flush.
2. Connect all double LAs together with $3/8"$ long HotLOK screws @ 12" oc staggered.
3. Provide metal hangers at all flush connections.



Wall bracing notes:

This house was designed in accordance with Section R301.1.3 of the IRC code which allows engineered design in lieu of the prescriptive design. All exterior walls were sheathed with $\frac{1}{8}$ " OSB continuous sheathing on the outside face. Provide framing studs at 16" oc. All interior stud walls are sheathed with $\frac{1}{2}$ " gypsum board sheathing on the inside face. Connect wall bottom plates to joist rim joint or blocking with (2) 16d nails @ 12" oc. Connect wall top plates to rafter or ceiling joists with (2) 16d nails @ 12" oc. Connect existing studs to new studs with #6x16" screws @ 12" oc.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14422, Expiration Date: May 31, 2027

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Drawn by:		Date	July 16, 2026
Checker:		Job #	260339
Phone:	(410)719-7445		



1. General

-

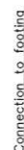
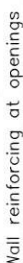
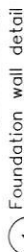
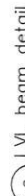
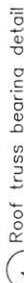
City Engineering, PC Civil Engineers 19-7446	Project: 14840 Triadelphia Road Glenelg, MD	Structural details and notes	Sheet # S2 Date: July 17, 2026 By: 26039
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2

actions

and post conn

Beam
3
Scale: $\frac{3}{4}$ "



7 Beam and post connections

Scale: $\frac{3}{4}'' = 1' - 0''$

SECOND FLOOR DEMO



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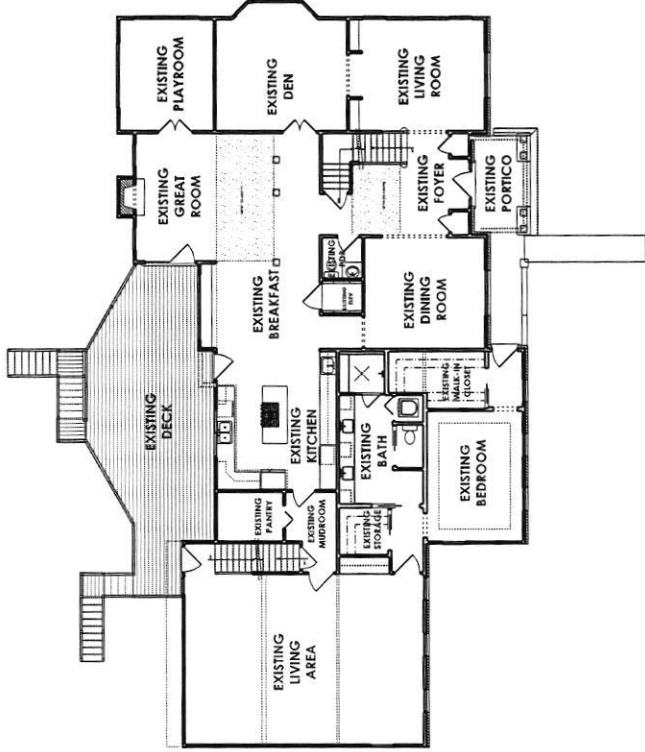
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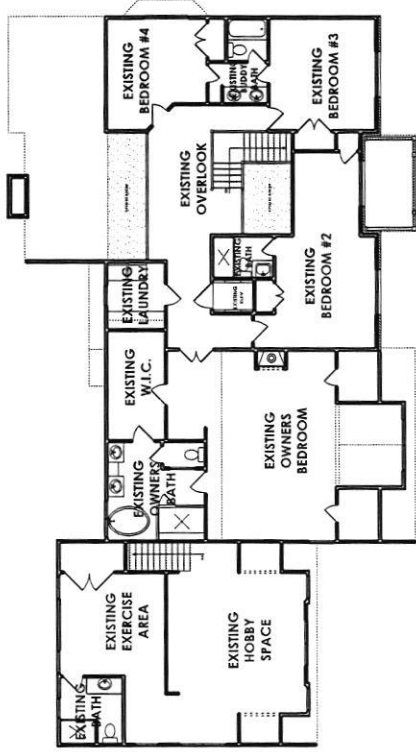
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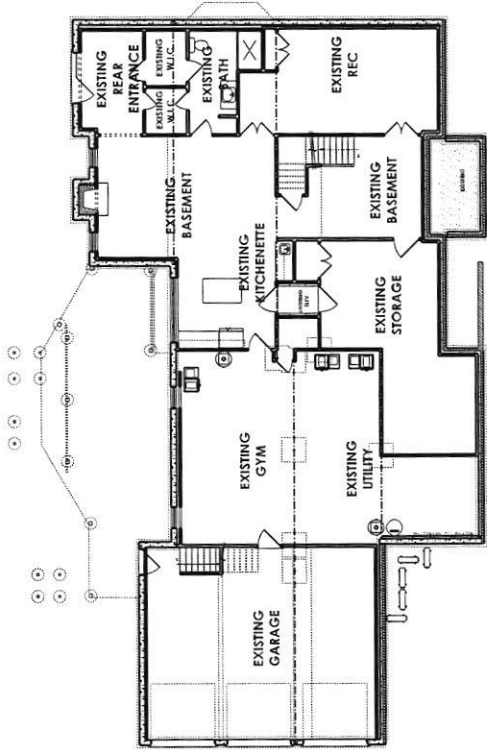
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