

Record Detail * (This section is required.)

Approved *KWZ*
8/14/26

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B26002467	07/17/2026

Description of Work

SFD/ SECOND FLOOR PRIMARY BATHROOM REMODEL TO INCLUDE: REMOVE/RECONSTRUCT LINEN CLOSET WALLS AND RELOCATE WATER CLOSET, built in bathroom tub surround, and wall that separates the bathroom to the clothes closet. New walls will be constructed for shower, water closet, clothes closet, and to separate the vanity.**SUBJECT TO FIELD INSPECTION**

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
7200	PRESERVATION	CT
Unit Type	Unit #	X Coordinate
--Select--		-76.91649
		Y Coordinate
		39.17398
City	State	Zip Code
FULTON	MD	20759
	Primary	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
849497	274	43299	276100	1574700	1298600	RURAL

Legal Description

LOT 24 43299 SQ []7200 PRESERVATION CT []PINDELL WOODS INCL A RSB

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
9999	24	605102	4				
Plan Area	State Tax Id	Subdivision Name					
	1405434025	PINDELL WOODS					
Section	Area	Tax Map					
		41					
Grid	Zoning District	ADC Map					
41-8	RR-DEO	5052-D3					
SDP No.	Final Plan No.	WP File No.					
	F-01-089						
Record Plat No.	WS Contract No.	FDP No.			Primary		
14923					Yes		
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No	2002	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

KEATO

Address Line 1

7200 PRESERVATION COURT

Address Line 2

Address Line 3

Mail City

FULTON

Mail State

MD

Mail Zip Code

20759

Phone

443-980-6006

Primary

Yes

E-mail

Cell Number	Fax Number
-------------	------------

Professionals (This section is not required.)

License # *	Business Name		
License Type *	First Name	Middle Name	Last Name
--Select--			
Primary	Address Line 1		
Yes	Address Line 2		
	City	State	ZIP Code
	Phone 1	Phone 2	Fax
	E-mail		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	Nick		Davis
Relationship	Full Name		
Applicant	William Hillman		
Primary	Organization Name		
No	Gramophone LTD		
	Street Address		
	4 W. Aylesbury Rd		
	Address Line 2		
	City	State	Zip Code
	Timonium	MD	21093
	Phone	Cell	Fax
	410-683-0123		
	E-mail *		
	ndavis@gramophone.com		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	Steve		Malat
Relationship	Full Name		
Applicant	William Hillman		
Primary	Organization Name		
Yes	Gramophone LTD		
	Street Address		
	4 W. Aylesbury Rd		
	Address Line 2		
	City	State	Zip Code
	Timonium	MD	21093
	Phone	Cell	Fax
	443-465-3266		
	E-mail		
	smalat@gramophone.com		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
141375.25	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	No of Stories *	Basement	Bedrooms	Full Baths	Half Baths	Water *	Sewage *
230	SQFT (Number) 2	(Number) --Select--	(Number)	(Number)	(Number)	(Number) Private	(Number) Private

Existing Utilities *
Unknown

Existing Heating System *
Electric

Existing Sprinkler System *
None

Type of New Fireplace
--Select--

Expiration Date
1/20/2027

Related Records

Showing 1-2 of 2

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B26002467	Residential Interior Alteration Single Family Dwelling Permit	Review In Process	7200	PRESERVATION	07/17/2026	SFD/ SECOND FLOOR PRIMARY BAT
P26003291	Residential Plumbing Addition Alteration Permit	Incomplete	7200	PRESERVATION	08/11/2026	SFD/Relocate existing master bath toile

Page 1 of 1

Submit Cancel

**DESIGN
BUILD**



TRANSITION LINE **410 368 8888**
COMPASSION **100 368 7700**
INVEST VALUE **410 368 0113**
CARTRIDGEHOUSE **301 296 4700**

www.enr.com/resources/special/design-build/040501

Client's Approval	Date
Client's Approval	Date
Client's Approval	Date

SCALE AS SHOWN	DATE 07.22.2026
JOB NO. ---	DRAWN BY H.T.B.

A2



2 AS-BUILT SECOND FLOOR PLAN
A2
Scale: 1/8" = 10'
N

REVISIONS	
NO.	DATE
1	07/22/2026
2	07/22/2026
3	07/22/2026
4	07/22/2026
5	07/22/2026
6	07/22/2026
7	07/22/2026
8	07/22/2026
9	07/22/2026
10	07/22/2026

DESIGN BUILD

Keator Residence

7200 Preservation Ct
Fulton, MD 20759

PROPOSED INTERIOR BUILD-OUT FOR

Keator Residence

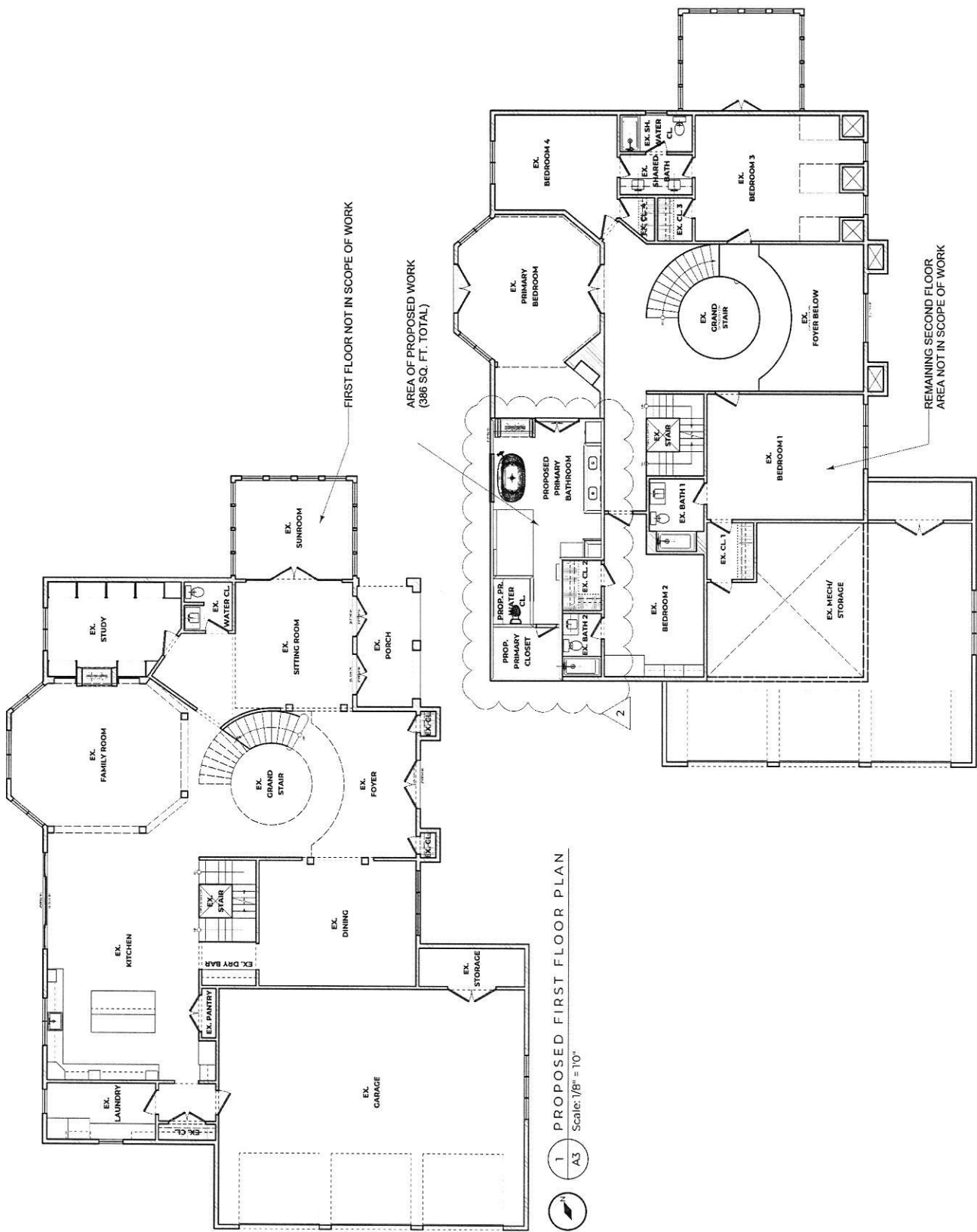
PROPOSED INTERIOR BUILD-OUT FOR
7200 Preservation Ct
Fulton, MD 20759

Client's Approval	Date
Client's Approval	Date
Client's Approval	Date

PROPOSED PLANS

DATE	07/22/2026
SCALE	AS SHOWN
DESIGNED BY	H.T.B.
CHECKED BY	---

A3



2 PROPOSED SECOND FLOOR PLAN
Scale: 1/8" = 10"

SCOPE OF WORK

13. ACCESSORIES, MIRRORS, AND DOOR HARDWARE

- 13.1 Install one Delta Cassidy 79750-CZ wall-mounted toilet paper holder, Champagne Bronze, or approved equivalent.
- 13.2 Install two Delta Cassidy 79746-CZ wall-mounted towel rings, Champagne Bronze, or approved equivalents.
- 13.3 Install three Delta Cassidy 79735-CZ double robe hooks, Champagne Bronze, or approved equivalents.
- 13.4 Install one Amba RW-H-55B heated towel warmer, approximately 23-5/8 inches wide by 31-7/8 inches high, satin brass, or approved equivalent.

- 13.5 Install two Utternest Lennox 09727 framed mirrors, approximately 22 1/8 inches wide by 40 1/8 inches high, brushed brass, or approved equivalents.

- 13.6 Install one lighted mirror at the location indicated on the approved electrical and interior drawings.

- 13.7 Install two Emtek 235U54 privacy pocket-door locksets, satin brass, or approved equivalents.

- 13.8 Provide solid blocking and manufacturer recommended fasteners for all wall-mounted accessories, mirrors, and equipment.

- 13.9 Coordinate accessory locations with tile joints, plumbing fixtures, cabinetry, door swings, electrical devices, and required clearances.

14. DRYWALL AND TILE SUBSTRATES

- 14.1 Patch or replace drywall disturbed by demolition, framing, plumbing, electrical, ventilation, cabinetry, tile, or accessory work.

- 14.2 Provide moisture-resistant gypsum board in bathroom locations outside direct wet areas where permitted by code.

- 14.3 Provide approved cementitious backer board and waterproofing within the shower and other direct wet areas.

- 14.4 Do not install standard paper-faced gypsum board as a tile substrate within the shower wet area.

- 14.5 Provide required corner bead, tape, joint compound, fasteners, control joints, and finished transitions.

- 14.6 Coordinate substrate thicknesses to provide flush transitions between tile, drywall, cabinetry, trim, and adjacent finishes.

15. PAINTING, TRIM, AND FINISH CARPENTRY

- 15.1 Prepare, prime, and paint new and disturbed walls, ceilings, doors, trim, and other non-tiled surfaces.

- 15.2 Match adjacent existing finishes where new and existing construction meet unless otherwise identified by the approved finish schedule.
- 15.3 Install or reinstall baseboard, casing, crown molding, cabinet trim, fillers, toe kicks, valances, and related finish carpentry.

- 15.4 Provide finished transitions around cabinetry, mirrors, doors, tile, countertops, and plumbing fixtures.

- 15.5 Seal transitions between tile, countertops, cabinetry, plumbing fixtures, and painted surfaces with compatible mildew-resistant sealant.

- 15.6 Touch up damaged cabinet, wall, ceiling, trim, and finish surfaces after installation of fixtures and accessories.

- 15.7 Provide a complete and finished appearance throughout the defined work area.

16. PERMITS, INSPECTIONS, AND CODE COMPLIANCE

- 16.1 Obtain required building, plumbing, electrical, and mechanical permits applicable to the proposed work.

- 16.2 Coordinate and obtain all required Howard County inspections.

- 16.3 Concealed work shall not be covered before completion of required inspections.

- 16.4 Correct work identified as deficient by the authority having jurisdiction.

- 16.5 Install all materials and equipment in accordance with applicable codes, approved permit documents, manufacturer instructions, and listed product requirements.

- 16.6 Maintain required access to valves, electrical junction boxes, controls, equipment, cleanouts, and serviceable components.

- 16.7 Provide fireblocking, draftstopping, air sealing, insulation, and penetration sealing where existing assemblies are opened or modified.

17. TESTING AND PROJECT CLOSEOUT

- 17.1 Complete required testing and inspections before final closeout.

- 17.2 Verify proper operation of all plumbing fixtures, drains, shower controls, valves, faucets, and water-heating accessories.

- 17.3 Verify proper operation of the electric radiant floor-heating system and thermostat.

- 17.4 Verify proper operation of all lighting, dimmers, occupancy sensors, receptacles, exhaust fans, lighted mirror, and heated towel warmer.

- 17.5 Verify proper operation and adjustment of cabinetry, drawers, doors, pocket door hardware, and accessories.

- 17.6 Repair damage caused by construction activities.

- 17.7 Remove protective coverings, surplus materials, construction debris, and temporary equipment.

- 17.8 Clean the Primary Bathroom, Primary Closet, connecting areas, fixtures, tile, glass, cabinetry, countertops, and adjacent affected surfaces.

- 17.9 Provide applicable manufacturer instructions, controls, warranties, and maintenance information to the owner.

- 17.10 Obtain final approvals and close applicable permits.

18. EXCLUSIONS AND WORK OUTSIDE THE PROJECT AREA

- 18.1 Work within second-floor bedrooms or other second-floor rooms outside the Primary Bathroom, Primary Closet, and immediately connecting hall and alcove areas is excluded.

- 18.2 Work anywhere on the first floor is excluded.

- 18.3 Fireplace modifications, fireplace servicing, fireplace tile, fireplace bump-out construction, arched fireplace detailing, and linewash finishes are excluded.

- 18.4 Structural modifications not specifically indicated on the approved permit drawings are excluded.

- 18.5 Exterior additions or modifications are excluded except for required bathroom-exhaust termination penetrations and associated weatherproofing.

- 18.6 Changes to the building use, occupancy, footprint, or means of egress are excluded.

- 18.7 Replacement of building systems or finishes outside the defined work area is excluded except for limited connections required to serve the renovated Primary Bathroom and Primary Closet.

- 18.8 Work resulting from concealed damage, hazardous materials, code violations, or unforeseen conditions is excluded unless documented and authorized through the applicable change and permit-revision process.

- 18.9 Work involving the existing electrical-panel workspace or other existing conditions outside the defined renovation area is excluded unless specifically added through an approved revision.

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15. PAINTING, TRIM, AND FINISH CARPENTRY

- 15.1 Prepare, prime, and paint new and disturbed walls, ceilings, doors, trim, and other non-tiled surfaces.

- 15.2 Match adjacent existing finishes where new and existing construction meet unless otherwise identified by the approved finish schedule.
- 15.3 Install or reinstall baseboard, casing, crown molding, cabinet trim, fillers, toe kicks, valances, and related finish carpentry.

- 15.4 Provide finished transitions around cabinetry, mirrors, doors, tile, countertops, and plumbing fixtures.

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- 16.6 Maintain required access to valves, electrical junction boxes, controls, equipment, cleanouts, and serviceable components.

- 16.7 Provide fireblocking, draftstopping, air sealing, insulation, and penetration sealing where existing assemblies are opened or modified.

17. TESTING AND PROJECT CLOSEOUT

- 17.1 Complete required testing and inspections before final closeout.

- 17.2 Verify proper operation of all plumbing fixtures, drains, shower controls, valves, faucets, and water-heating accessories.

- 17.3 Verify proper operation of the electric radiant floor-heating system and thermostat.

- 17.4 Verify proper operation of all lighting, dimmers, occupancy sensors, receptacles, exhaust fans, lighted mirror, and heated towel warmer.

- 17.5 Verify proper operation and adjustment of cabinetry, drawers, doors, pocket door hardware, and accessories.

- 17.6 Repair damage caused by construction activities.

- 17.7 Remove protective coverings, surplus materials, construction debris, and temporary equipment.

- 17.8 Clean the Primary Bathroom, Primary Closet, connecting areas, fixtures, tile, glass, cabinetry, countertops, and adjacent affected surfaces.

- 17.9 Provide applicable manufacturer instructions, controls, warranties, and maintenance information to the owner.

- 17.10 Obtain final approvals and close applicable permits.

REVISIONS	
NO.	DATE
1	7/22/2026
2	7/22/2026
3	7/22/2026
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8	7/22/2026
9	7/22/2026
10	7/22/2026

**DESIGN
BUILD**

7200 Preservation Ct
Fulton, MD 20759

Keator Residence

PROPOSED INTERIOR BUILD-OUT FOR

7200 Preservation Ct
Fulton, MD 20759

Client's Approval	Date
Client's Approval	Date
Client's Approval	Date

**SCOPE OF
WORK**

DRAWING TITLE

SCALE
AS SHOWN

DATE
07.22.2026

DESIGNED BY
H.T.B.

SHEET NO.
A1.2

2-14-02 11am Layout
2/15/02 F.H. PM

11/15/01 Layout 11 A.M. Cancelled
11/19/01 Layout NOON

05-434025

ISSUE DATE: 10/31/2001

APPROVAL DATE: 2/14/02

PERMIT INDEXED

P 516401

A 513574-C

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Fogle's Septic Clean, Inc IS PERMITTED TO INSTALL ☒ ALTER ☐

ADDRESS: 580 Obrecht Road, Sykesville PHONE NUMBER: 410-795-5670

SUBDIVISION: Pindell Woods LOT NUMBER: 24

ADDRESS: 7200 Preservation Court PROPERTY OWNER: Dale Thompson Builders

SEPTIC TANK CAPACITY (GALLONS): 1500

PUMP CHAMBER CAPACITY (GALLONS): N/A

NUMBER OF BEDROOMS: 5

SQUARE FEET PER BEDROOM: 180

LINEAR FEET OF TRENCH REQUIRED: 225

TRENCHES:	Trench to be 2.0 feet wide. Inlet 3.5 feet below original grade. Bottom maximum depth 7.5 feet below original grade. Effective area begins at 3.5 feet below original grade. 4.0 feet of stone below distribution pipe.
LOCATION:	Starting at the bend in the left lot line, place the distribution box 55' down the rear left lot line and 65' off this same lot line. Run (4) trenches on contour to left side of lot as shown on plan.
NOTES:	

PLANS APPROVED: MER 10/31/01 OK (B3) DATE: 10/5/01

NOTE: PERMIT VOID AFTER 2 YEARS

NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

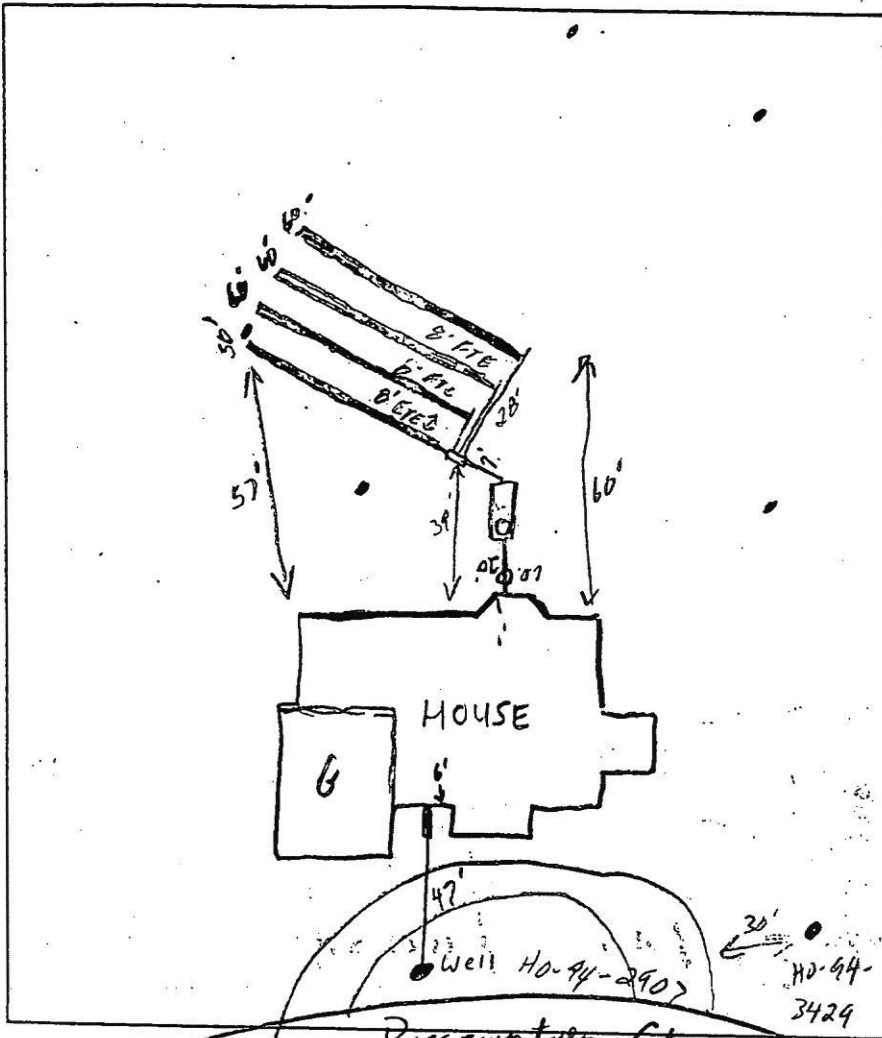
NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

A513574-C

NOT TO SCALE



TRENCH DATA

TRENCH WIDTH 2'
TRENCH INLET DEPTH 3.5'
TRENCH BOTTOM DEPTH 7.5'
DEPTH OF STONE 4'
NUMBER OF TRENCHES 4'
TOTAL TRENCH LENGTH 230'
ABSORBENT AREA 920 #
DISTRIBUTION BOX LEVEL Yes
BAFFLE IN DISTRIBUTION BOX Yes

SEPTIC TANK DATA

SEPTIC TANK 1500 TS GALLONS
MANHOLE RISER Front 3' 4"
6 INCH INSPECTION PORT N/A

PUMP CHAMBER DATA

PUMP CHAMBER GALLONS N/A
MANHOLE RISER N/A
ALARM _____
PUMP PERFORMANCE TEST _____

PRE-CONSTRUCTION INSPECTION: 2/14/02 Layout per B.P. Need to find original grade on S.E. corner, fill dirt graded (S)

INSPECTION COMMENTS: 2/14/02 OK to cover to tank 2/19/02 OK to cover all work (S) 2/25/03 New well 30' off driveway. Can't see original well w/ snow? (S)

INSPECTOR

[Signature]

DATE SYSTEM APPROVED

2/19/02