

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type Building/Residential/Alteration/SFD Permit Number B25005303 Opened Date 11/26/2025
Description of Work SFD/ FINISH BASEMENT TO INCLUDE REC ROOM, (2) UTILITY ROOMS, CLOSET, AND WET BAR

Approved 12/19/2025
R/E

Online BP.

gg 12/2/25

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 3511 Street Name SNOW CHIEF Street Type RD
Unit Type --Select-- Unit # X Coordinate -76.99045 Y Coordinate 39.2745
City GLENELG State MD Zip Code 21737 Primary Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID * 897021 Parcel 141 Parcel Area 1.1 Land Value 352200 Improved Value 1403000 Exemption Value 1050800 Plan Area RURAL

Legal Description
IMPSLOT 3 1.106 A.[]3511 SNOW CHIEF RD[]THE PADDOCKS

[check spelling](#)

Block 9999 Lot 3 Census Tract 603000 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone
Plan Area State Tax Id 1403332926 Subdivision Name THE PADDOCKS
Section Area Tax Map 22
Grid Zoning District RR-DEO ADC Map 4813-B7
SDP No. Final Plan No. WP File No.
Record Plat No. 14482 WS Contract No. FDP No. Primary Yes
Owner Occupied Year Built 2001 Historic District Yes No
Historic District Registry No. Stat Area 3-04 Flood Plain Yes No
Building No

Owner (This section is not required.)

Search Reset Clear

Name * TRUST
Address Line 1 3511 Snow Chief Rd
Address Line 2
Address Line 3
Mail City Glenelg
Mail State MD
Mail Zip Code 21737
Phone 443-280-4201
Primary Yes
E-mail

nuchikajassi@hotmail.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # * **Business Name**

License Type * **First Name** **Middle Name** **Last Name**
--Select--
Primary **Address Line 1**
Yes **Address Line 2**

City **State** **ZIP Code**

Phone 1 **Phone 2** **Fax**

E-mail

Applicant (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type * **First Name** **MI** **Last Name**
Applicant **Santiago** **Azuaje**
Relationship **Full Name**
Applicant **Santiago Azuaje**
Primary **Organization Name**
No **Street Address**
7801 Old Georgetown Rd
Address Line 2

City **State** **Zip Code**
Bethesda **MD** **20814**

Phone **Cell** **Fax**
202-489-1871

E-mail *
info@quickremodels.com

Contact (This section is not required.)

Search **As Owner** **As Lic. Prof** **As Contact**

Type **First Name** **MI** **Last Name**
Contact **Santiago** **Azuaje**
Relationship **Full Name**
Applicant **Santiago Azuaje**
Primary **Organization Name**
Yes **Street Address**
7801 Old Georgetown Rd
Address Line 2

City **State** **Zip Code**
Bethesda **MD** **20814**

Phone **Cell** **Fax**
202-489-1871

E-mail
info@quickremodels.com

Addtl Info

Est Construction Cost * **Housing Units *** **Number of Buildings *** **Public Owned**
32000 0 0 No **Construction Type**
434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	No of Stories *	Basement	Bedrooms	Full Baths	Half Baths	Water *	Sewage *
1900	SQFT (Number) 2	(Number) Unfinished	0	(Number)	(Number) 0	(Number) Private	Private

Existing Utilities *
Gas & Electric

Existing Heating System *
Natural Gas

Existing Sprinkler System *
None

Type of New Fireplace
Masonry

Expiration Date
5/30/2026

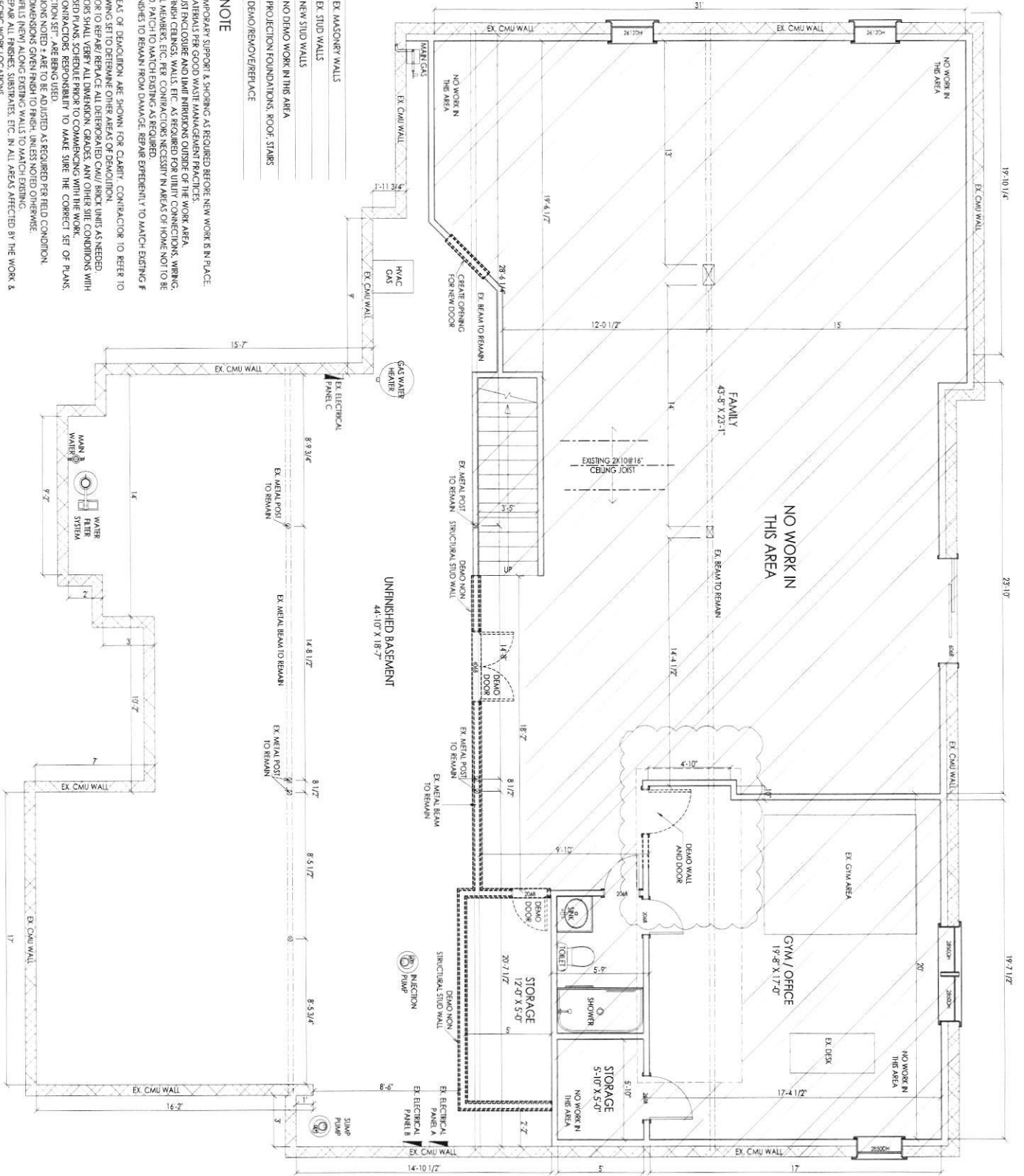
Submit Cancel

LEGEND

	EX. MASONRY WALLS
	EX. STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE

GENERAL NOTE

1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
4. DEMOLISH FINISH CEILING, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS' NECESSITY IN AREAS OF HOME NOT TO BE REMOVED. PATCH TO MATCH EXISTING AS REQUIRED.
5. DEMOLISHED MATERIALS TO REMAIN FROM DAMAGE. REPAIR EFFICIENTLY TO MATCH EXISTING IF DAMAGED.
6. MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO FINISH DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.
7. CONTRACTOR TO REPAIR/REPLACE ALL DETRODUCED CMU/BRICK UNIT AS NEEDED.
8. THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET," ARE BEING USED.
10. ALL DIMENSIONS NOTED ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.
11. NEW WALL DIMENSIONS GIVEN FROM TO FINISH, UNLESS NOTED OTHERWISE.
12. ALL WALLS BEHIND NEW WALLS TO MATCH EXISTING.
13. DEMO/REMOVE/REPLACE, ETC. IN ALL AREAS AFFECTED BY THE WORK & BEHIND SPECIFIC WORK LOCATIONS.
14. ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPT TILE & WET LOCATIONS WHICH ARE TO HAVE CHAMFERED BACKER BOARD.
15. FOR STRUCTURAL CHANGE, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
16. TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.



PROJECT DESCRIPTION:

3511 SNOW CHIEF RD 3511,
GLENELG, MD 21737

SHEET TITLE:

ARCHITECTURAL
EXISTING CONDITION
BASEMENT

NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		11/22/2025

DRAWINGS PROVIDED BY:

Vican
Design & Construction, LLC
Office: 601 Chapel Dr. Suite 2400
Glenelg, MD 21737
vicanllc@gmail.com
1201109_000

A001

SHEET:

1/4"=1'-0"

SCALE:

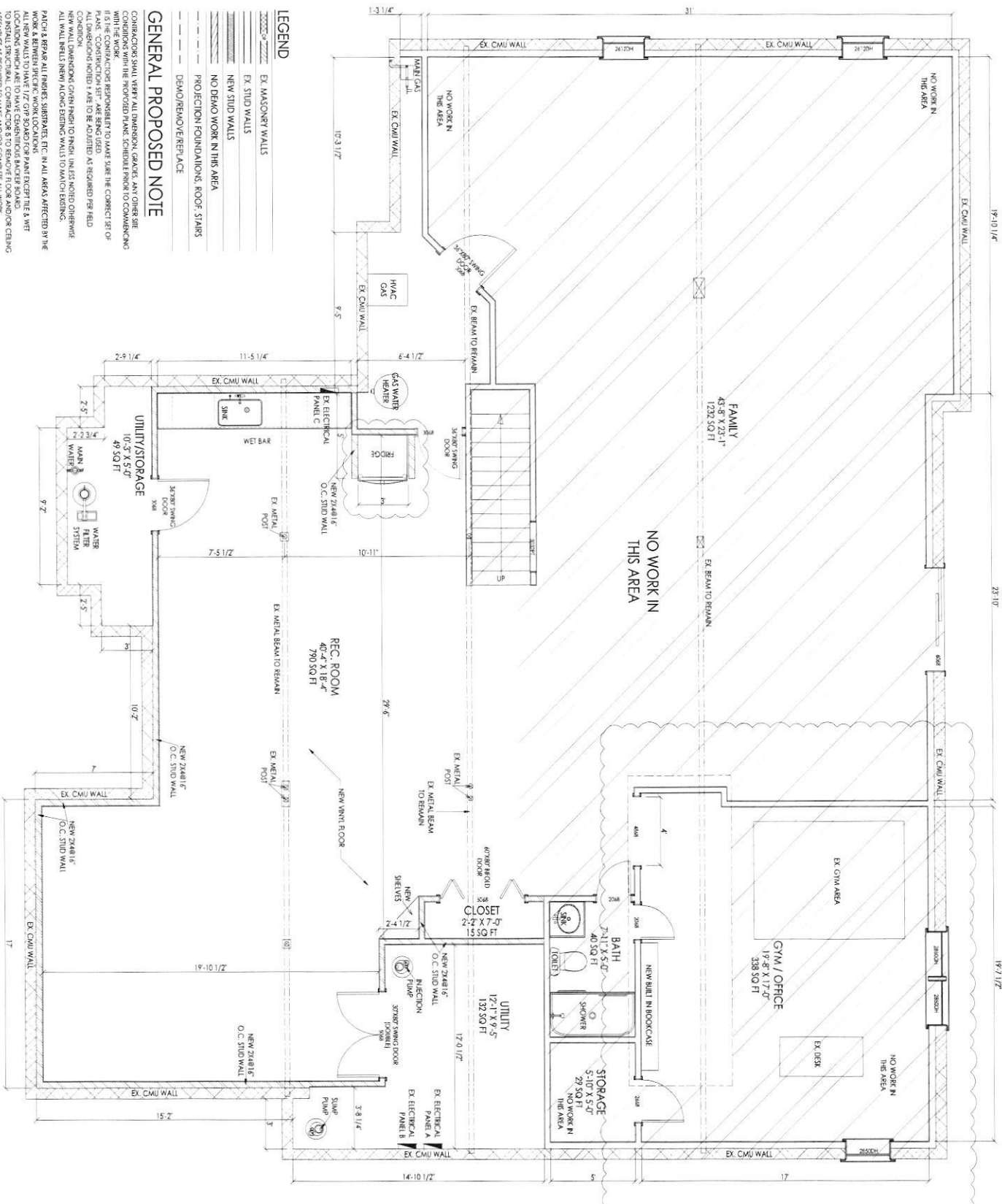
11/22/2025

DATE:

LEGEND

	EX. MASONRY WALLS
	EX. STUD WALLS
	NEW STUD WALLS
	NO DEMO WORK IN THIS AREA
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE

GENERAL PROPOSED NOTE

[illegible]

1 ARCHITECTURAL - PROPOSED
A002 ESC. Y^a=1'-0" BASEMENT

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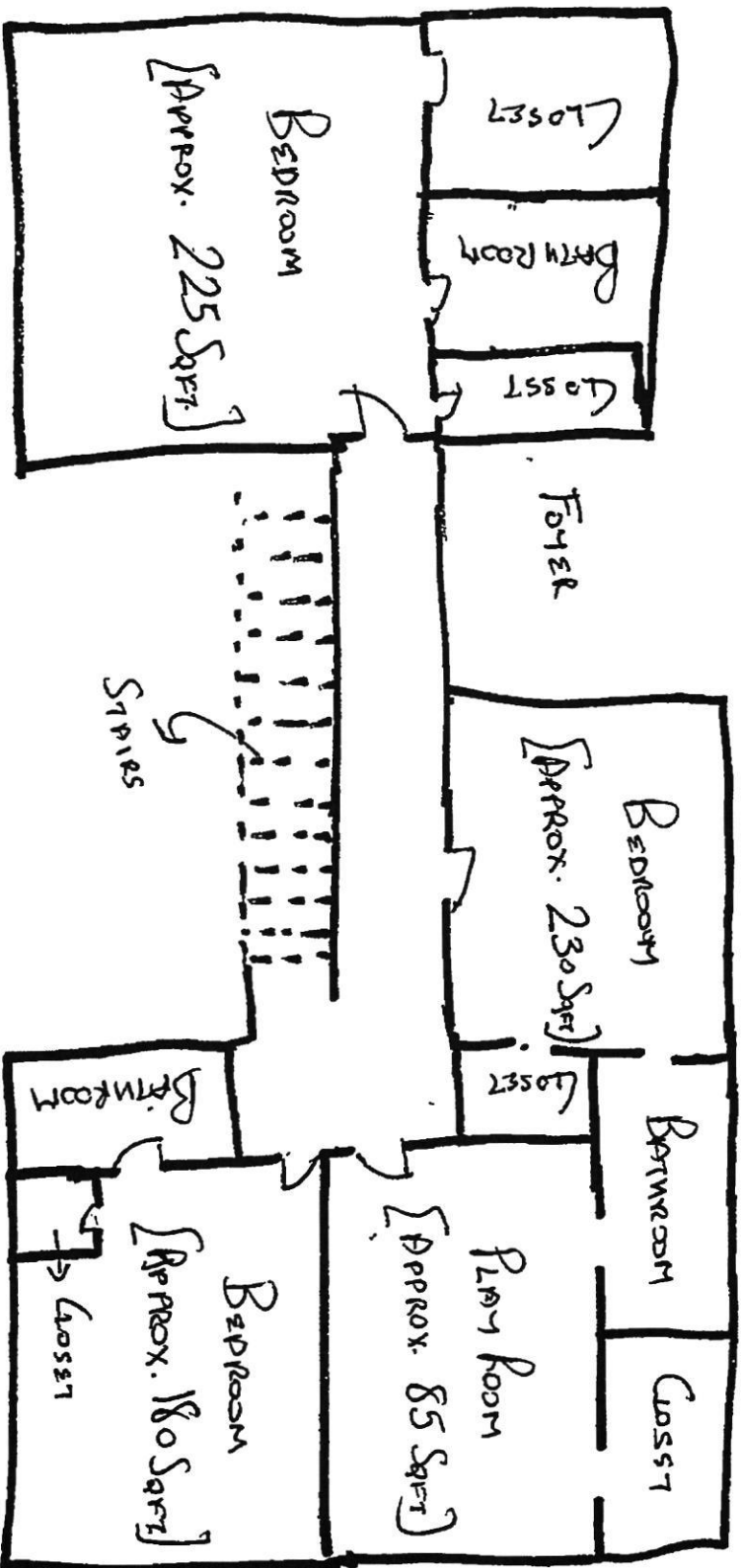
SHEET TITLE:

ARCHITECTURAL PROPOSED
REC ROOM FLOOR PLAN
BASEMENT

NO.	DESCRIPTION	BY	DATE
A	DESIGN PERMIT SET		11/22/2025

DRAWINGS PROVIDED BY:

Vican
Design & Constructions. LLC
12902 Old Chapel Ct. Bowie, MD 20720
vicanmd@gmail.com
(202) 204-8040

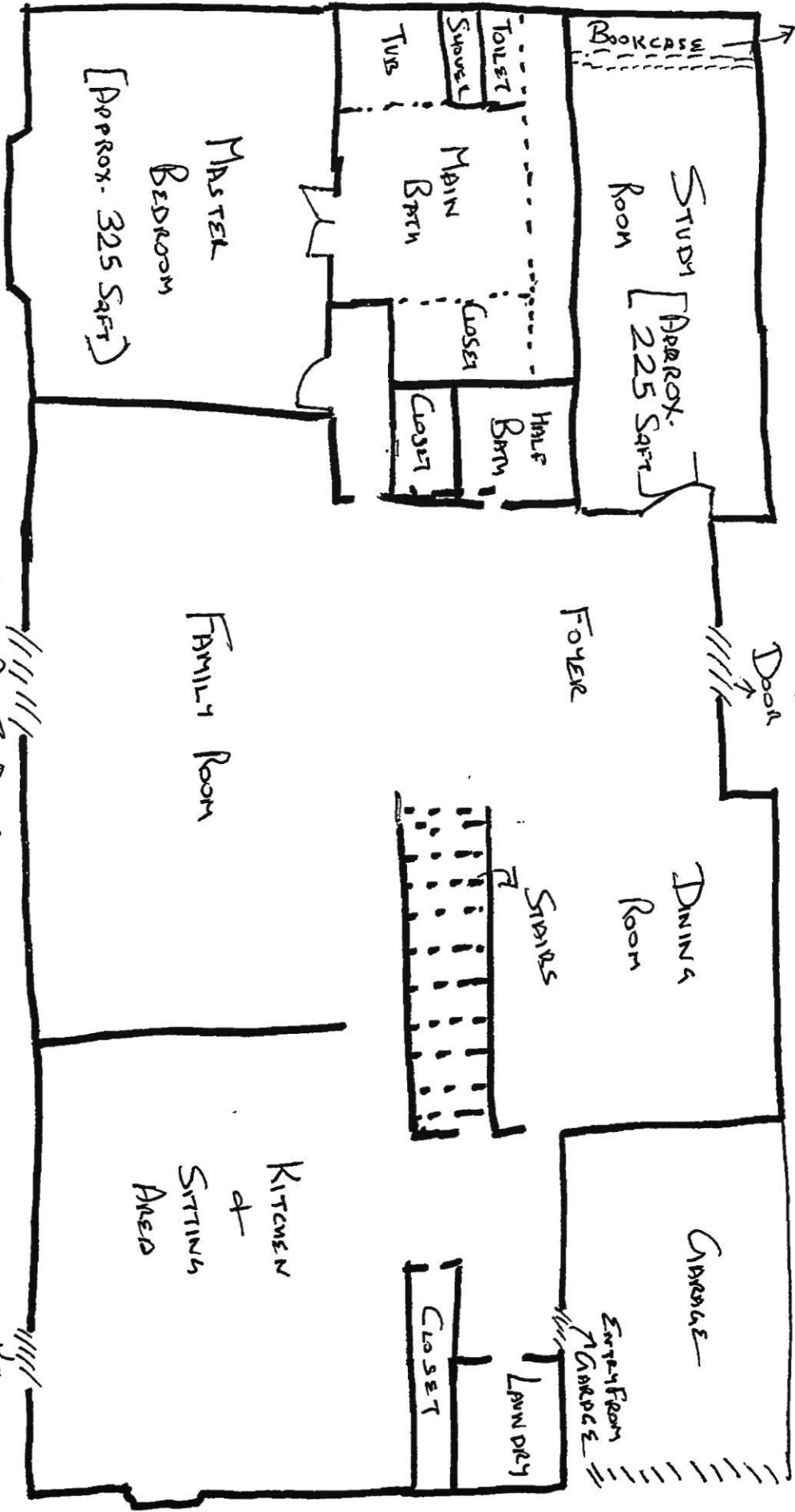


(Existing)

2nd Floor

[3511 Snow Creek Rd, Glenview, MD 21737]

BUILT-IN
BOOKCASE



(Existing)

1st Floor

[3511 Snow Creek Rd
Greenbelt, MD 21737]

Door Out To Deck

Door Out To
Deck