

Menu Save Reset Cancel Help

Approved MOC
10/10/25

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Alteration/SFD	B25004374	10/03/2025
Description of Work		
SFD/REPAIR & REPLACE SUNROOM FROM TREE AND WATER DAMAGE: TRUSSES, SHEATHING, ROOFING, GAURDRAILS, INSULATION, INTERIOR FINISHES, MECHANICAL, ELECTRICAL AND MISC.**REPAIR PER ENGINEER'S REPORT, SUBJECT TO FIELD INSPECTION**		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
14820	VIEW WAY	CT
Unit Type	Unit #	X Coordinate
-Select-		-77.01574
City	State	Zip Code
GLENELG	MD	21737
Primary		Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
911210	56	3.53	300100	1231700	931600	RURAL
Legal Description						
IMPSLOT 14 3.531 A[]14820 VIEW WAY CT[]THE WARFIELDS						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	14	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405413311	THE WARFIELDS					
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-5	RC-DEO	4932-H1					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.					
9586							
Owner Occupied	Year Built	Historic District					
☐ Yes ☐ No	1993	☐ Yes ☒ No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	☐ Yes ☒ No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *
CHENC
Address Line 1
14820 VIEW WAY CT
Address Line 2
Address Line 3
Mail City
GLENELG
Mail State
MD
Mail Zip Code
21737
Phone
443-739-4833
Primary
Yes
E-mail

bethany_j_hall@yahoo.com

Cell Number

Fax Number

Professionals (This section is not required.)

License # *	Business Name		
08010078947	CLARKSVILLE CONSTRUCTION SERVICES		
License Type *	First Name	Middle Name	Last Name
MHC Ind	ADAM	TEDDY	AUGUST
Primary	Address Line 1		
Yes	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	ZIP Code
	ANNAPOLIS JUNCTION	MD	21045-0000
	Phone 1	Phone 2	Fax
	4433863099		4105312966
	E-mail		
	ADAMAUGUST1970@GMAIL.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	ADAM	TEDDY	AUGUST
Relationship	Full Name		
Applicant	ADAM TEDDY AUGUST		
Primary	Organization Name		
No	CLARKSVILLE CONSTRUCTION SERVICES		
	Street Address		
	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	Zip Code
	ANNAPOLIS JUNCTION	MD	21045 000
	Phone	Cell	Fax
	4433863099		4105312966
	E-mail *		
	permitting@clarksvilleconstruction.net		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	ADAM	TEDDY	AUGUST
Relationship	Full Name		
Applicant	ADAM TEDDY AUGUST		
Primary	Organization Name		
Yes	CLARKSVILLE CONSTRUCTION SERVICES		
	Street Address		
	INC 05 130714		
	Address Line 2		
	12011 GUILFORD ROAD SUITE 101		
	City	State	Zip Code
	ANNAPOLIS JUNCTION	MD	21045 000
	Phone	Cell	Fax
	4433863099		4105312966
	E-mail		
	permitting@clarksvilleconstruction.net		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
134500	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

RESIDENTIAL ALTERATION INFO

RESIDENTIAL ALTERATION INFORMATION

Total Square Footage *	No of Stories *	Basement	Bedrooms	Full Baths	Half Baths	Water *	Sewage *
202	SQFT (Number) 2	(Number) Partially Finished	0	(Number) 0	(Number)	(Number) Private	Private

Existing Utilities *

Gas & Electric

Existing Heating System *

Electric & Propane Gas

Existing Sprinkler System *

None

Type of New Fireplace

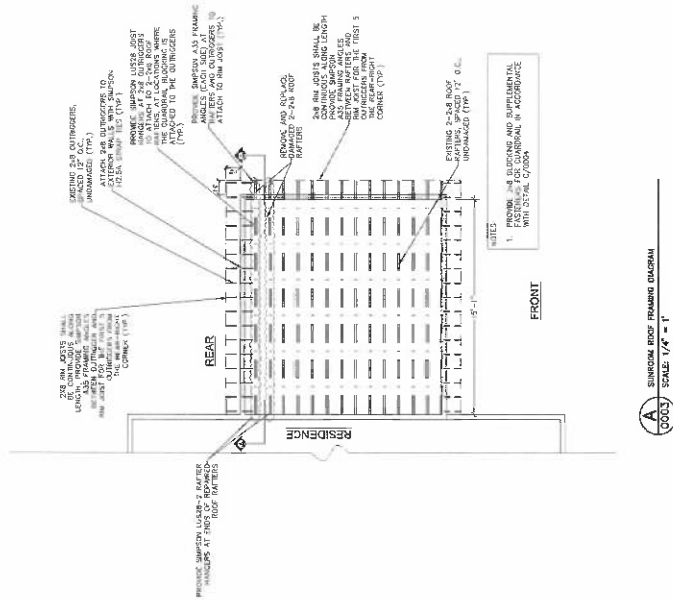
--Select--

Expiration Date

4/4/2026

Submit

Cancel



CHENG RESIDENCE
TREE IMPACT DAMAGE REPAIR
14820 VIEW WAY COURT
GLENELG, MD 21737

CLARKSVILLE CONSTRUCTION
PO BOX 6004 COLA DRIVE
SUITE 123
HANOVER, MD 21076

SUBMISSIONS / REMISIONS		
Q	DESCRIPTION	DATE
1	CONSTRUCTION DOES	9/26/01

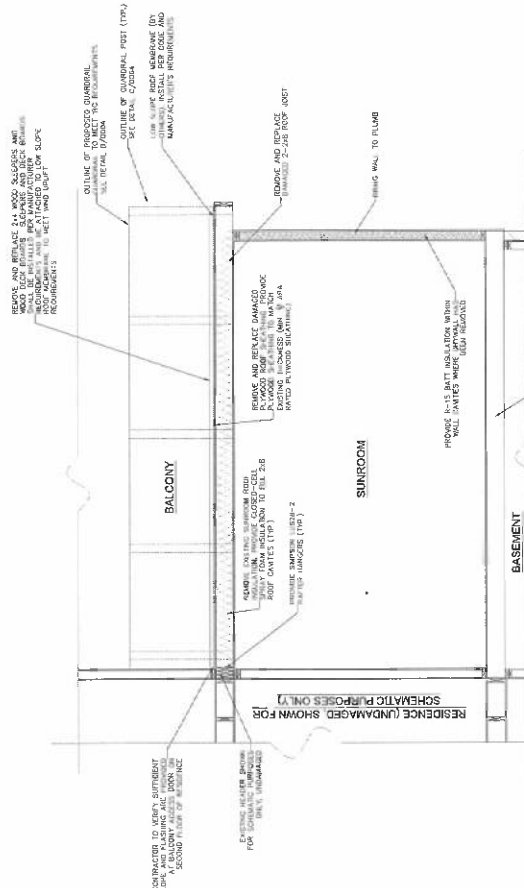


SUNROOM ROOF
FRAMING PLAN
AND
ELEVATIONS

DATE:	8/28/25
PROJECT #	1260-0039
DRAWN BY	G. SAILORY
CHECKED BY	M. DAN
APPROVED BY	R. SMITH

0000

PROFESSIONAL CERTIFICATION I HEREBY AFFIRM THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE.

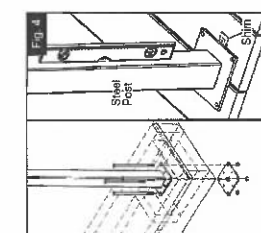
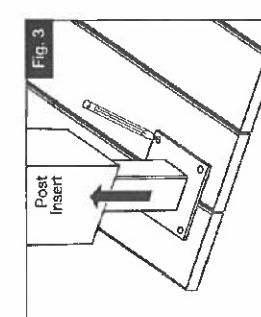
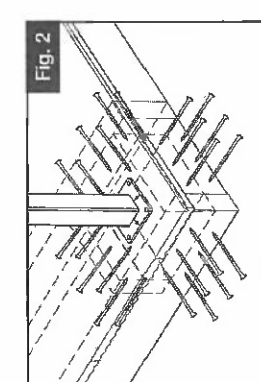
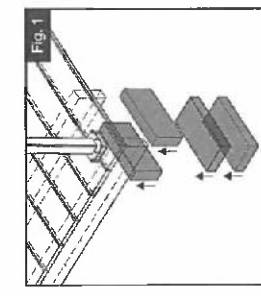


NOTE: 1. GUARDRAIL SYSTEM SHALL BE INSTALLED PER CODE AND MANUFACTURER REQUIREMENTS. 2. CONTRACTOR TO VERIFY SUFFICIENT SLOPE AND FLASHING ARE PROVIDED AT BALCONY ACCESS DOOR ON SECOND FLOOR OF RESIDENCE.

A CROSS SECTION
0004
SCALE 1/2" = 1'

GUARDRAIL POST AND RAILING INSTALLATION DETAILS

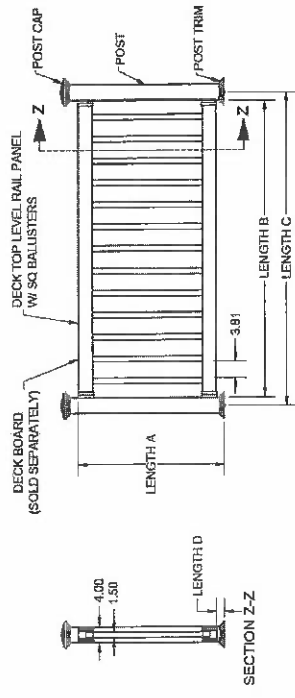
- GUARDRAIL POSTS SHALL BE INSTALLED PER CODE AND MANUFACTURER REQUIREMENTS.
- INSTALL BLOOMING AT POST LOCATIONS:
 - REAR/BACK ALL POST LOCATIONS, INSTALL THREE (3) HORIZONTAL 2x8 BLOOMS BETWEEN TWO (2) VERTICAL 2x8 BLOOMS (Fig. 1).
 - USING AT LEAST THREE (3) #10x31 DECK SCREWS PENETRATING THROUGH THE JOISTS AT LEAST 1" INTO THE BLOOMS (Fig. 2).
 - THE JOISTS MUST BE INSTALLED TO MEET THE REQUIREMENTS WITH SIMPSON LUGGED JOIST HANGERS.
- PREPARE TO ATTACH:
 - RAISE BOTTOM INSERT TEMPORARILY TO ALLOW ROOM TO FASTEN STEEL POST TO DECK (Fig. 3).
 - MARK HOLES THROUGH THE BOTTOM PLATE OF STEEL POST (Fig. 4).
 - REMOVE STEEL POST AND DRILL 3/4" HOLE IN ALL FOUR MARKS THROUGH THE DECK BOARD AND BLOOMING.
- ATTACHING POST:
 - PROVIDE 3/4" DIAMETER HOT-DIPPED GALVANIZED (OR STAINLESS STEEL) BOLTS AND NUTS APPROXIMATELY 1" LONGER THAN THE DISTANCE BETWEEN STEEL MOUNTING PLATES (MINIMUM 5").
 - PUSH 3/4" BOLTS DOWN THROUGH POST PLATE AND ATTACH NUTS (POST CAN BE LIVELoad AS NEEDED BY USING VINYL SHIMS) (Fig. 4).
- FINISHING:
 - RETURN BOTTOM INSERT TO ORIGINAL POSITION.
 - SLIDE VINYL POST-JACKET OVER POST INSERT.
 - SLIDE SECOND POST INSERT INTO TIP OF VINYL POST-JACKET.
 - INSTALL BASE TRIM AROUND POST-JACKET AT DECK SURFACE BEFORE INSTALLING RAILING.



** THESE MANUFACTURER SKETCHES ONLY SHOWS 3 LAYERS OF HORIZONTAL BLOOMING - 3 LAYERS SHALL BE PROVIDED.

C GUARDRAIL ATTACHMENT DETAIL
0004
NOT TO SCALE

VINYLLINE DECK TOP LEVEL AND STAIR RAIL DETAILS



NOTE: (A) FINISHED RAIL HEIGHT (TOP OF RAIL TO FLOOR) = 38" - 42" (B) PANEL LENGTH = 47.75" - 59.75" - 71.75" - 85.75" - 119.75" (C) MAX SPANS = 120X36" IRC, 98X42" IBC (D) BOTTOM SPACE = 2"

1. INSTALL GUARDRAIL PER CODE AND MANUFACTURER'S REQUIREMENTS

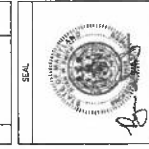
B GUARDRAIL DETAIL
0004
NOT TO SCALE



CHENG RESIDENCE
TREE IMPACT DAMAGE REPAIR
14820 VIEW WAY COURT
GLENELG, MD 21737

OWNER/CLIENT:
CHURCHVILLE CONTRACTING
7830 DUNE DRIVE
DUNES, MD 21076

SUBSIDIARY / REGION	
SALES / REGION	
CONSTRUCTION DEPT	



CROSS SECTION & DETAILS

DATE	6/21/20
PROJECT #	17049-009
DRAWN BY	C. J. J. J.
REVIEWED BY	F. SMITH

SHEET NO. 0004
OF 4

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND.

OBSERVATIONS AND FINDINGS

The following damage to the residence and sunroom resulted from the tree impact:

1. Two (2) 2-ply 2x8 roof rafters for the sunroom were damaged by the tree impact. These are the first two rafters at the rear side of the sunroom. Damage consists of splitting and fracturing. *See Photographs 5 & 6.*
2. The plywood roof sheathing and low-slope membrane was damaged above the damaged sunroom roof rafter.
3. Several 2x8 outriggers along the outermost damaged sunroom roof rafter were dislodged and are no longer attached to the roof rafter. *See Photograph 7.*
4. The rear and right-side walls of the sunroom were found to be out of plumb when measured from the rear-right sunroom corner. *See Photograph 8.*
5. The insured reported that water leakage started occurring at the left-side door/window of the sunroom after the tree impact.
6. The guardrail along the perimeter of the topside of the sunroom roof (i.e. balcony) and the sleepers/deckboards were removed prior to our inspection and was reportedly damaged by the tree impact.
7. A portion of OSB sheathing for the right-side gable end wall of the main structure was damaged by the tree impact. *See Photograph 9.*
8. There is no evidence of damage to the residence roof framing or sunroom floor framing.

DISCUSSION

During our inspection, the sunroom roof was covered by a tarp and the low slope roof membrane could not be inspected. It is our understanding that the roof membrane was damaged and is to be replaced in its entirety. The replacement insulation and low-slope membrane for the sunroom roof must meet current building codes in order to replace the roof membrane. The proposed scope of work below reflects these requirements.

REPAIR RECOMMENDATIONS

The following scope of work is recommended to repair tree impact damages:

1. All work shall be performed in accordance with the local building code and industry standards.



TIBER

ENGINEERING GROUP

TiberEngineering.com 301-943-6334 P.O. Box 570 Ellicott City, MD 21041

September 29, 2025

Mr. Tom McHale
Clarksville Construction
7830 Coca Cola Drive
Suite 123
Hanover, MD 21076

Re: *Insured:* Jeffrey & Bethany Cheng
Location: 14820 View Way Court
Glenelg, MD 21737
Claim: Tree Impact Damage
TEG No.: T260-009

Dear Mr. McHale:

Per your request, on August 14, 2025, Gabe A. Sarecky, E.I.T., inspected the property and on September 12, 2025, Ryan W. Smith, P.E. inspected the property located at 14820 View Way Court, Glenelg, MD 21737. The purpose of our inspection was to determine the tree impact damage to the subject property, and to provide repair recommendations, if applicable. Our inspection consisted only of visible observations of visible portions of the property and did not include any destructive testing, unless otherwise noted. The following report details our observations, findings and conclusions related to the claim. Directional conventions are as viewed when standing and looking at the front of the property. Observations are depicted in the attached photographs.

BACKGROUND

The subject property is a two-story, single-family residence with a basement. There is a sunroom at the right-side of the residence. The main roof structure is constructed of 2X10 rafters, spaced 16" o.c. that extend from the front to the rear. The main roof and gable end walls are covered with oriented strand board (OSB) sheathing. The sunroom roof structure is constructed of 2-ply 2x8 rafters, spaced 12" o.c. that extend from side to side. The sunroom roof is covered by plywood roof sheathing with a low-slope asphalt-based membrane at the topside. It was reported that 2x4 sleepers, deck boards and a non-penetrating guardrail were provided on the roof of the sunroom. The exterior walls of the sunroom are constructed of 2x4 studs, spaced 16" o.c., with OSB sheathing and siding at the exterior.

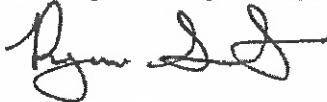
Prior to our inspection, a tree struck the sunroom and right-side gable end wall of the residence. The tree impact resulted in structural and cosmetic damage to the sunroom and residence. *See Photographs 1 to 4.*

unusual conditions should be reported to our office immediately. All repairs and temporary protection should be conducted in accordance with accepted industry standards and with all applicable codes.

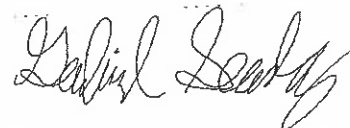
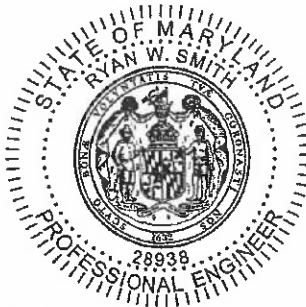
In preparing this report, we have attempted to be thorough and accurate and to meet the standards generally expected from members of the engineering profession. Unless otherwise noted, this report was prepared for the purpose of evaluating a specific alleged claim. Unless specifically stated; no representation, guarantee, or warranty as to the future performance of the property is made, intended or implied. In the event that additional information becomes available that could affect the conclusions reached in this investigation, we reserve the right to review, and if required, change the opinions presented herein.

Sincerely yours,

Tiber Engineering Group, LLC



Ryan W. Smith, P.E.
President



Gabriel A. Sarecky, E.I.T.
Engineering Associate

Professional Certification: I hereby approve that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License Number: 28938; Expiration Date: 4/8/2026

2. Obtain all necessary permits prior to starting work.
3. Provide temporary shoring as necessary.
4. Remove damaged portions of OSB plywood wall sheathing for residence right-side gable end wall. Provide 24/0 APA rated OSB wall sheathing for repair areas.
5. Remove low slope roof membrane at sunroom roof.
6. Remove damaged 2-ply 2x8 sunroom roof rafters. Removal of 2x8 outriggers at rear face of rafter may be required to facilitate removal of roof rafter.
7. Remove damaged portions of plywood roof sheathing at sunroom roof.
8. Bring rear and right-side sunroom walls to plumb. Remove and reset door/window units within these walls. Address water leakage at the left-side door window.
9. Provide replacement 2-ply 2x8 rafters for sunroom roof. Attach 2x8 outriggers to roof rafter with Simpson A34 framing angles at each side.
10. Provide replacement plywood roof sheathing at damaged areas of sunroom roof. The plywood roof sheathing shall match existing thickness (minimum 24/16 APA rated plywood roof sheathing with clips).
11. Install low slope roof membrane at sunroom roof. Provide 2x4 wood sleepers and wood deck boards above roof membrane. Installation of roof membrane, sleepers, and wood deck boards by others. 2x4 wood sleepers shall have an uplift resistance.
12. Install guardrail, guardrail attachments, and supplemental fasteners at sunroom roof in accordance with drawing details.
13. Provide R-15 insulation within wall cavities where drywall has been removed.
14. Provide closed-cell spray foam insulation within sunroom roof cavities. Remove and replace damaged trim, gutters, and soffit ventilation at the right-side sunroom roof edge.
15. Remove and replace damaged interior finishes.
16. All mechanical, electrical, fire safety, life safety, interior coverings, and exterior coverings are by others.

The repairs outlined above will restore the structure to its pre-damaged condition. During any repairs, exposed building elements should be carefully inspected and any damaged or displaced components not discussed above should be repaired as needed. Any extreme or



Photograph 1 - Front elevation of residence.



Photograph 2 - Right-side elevation of residence.



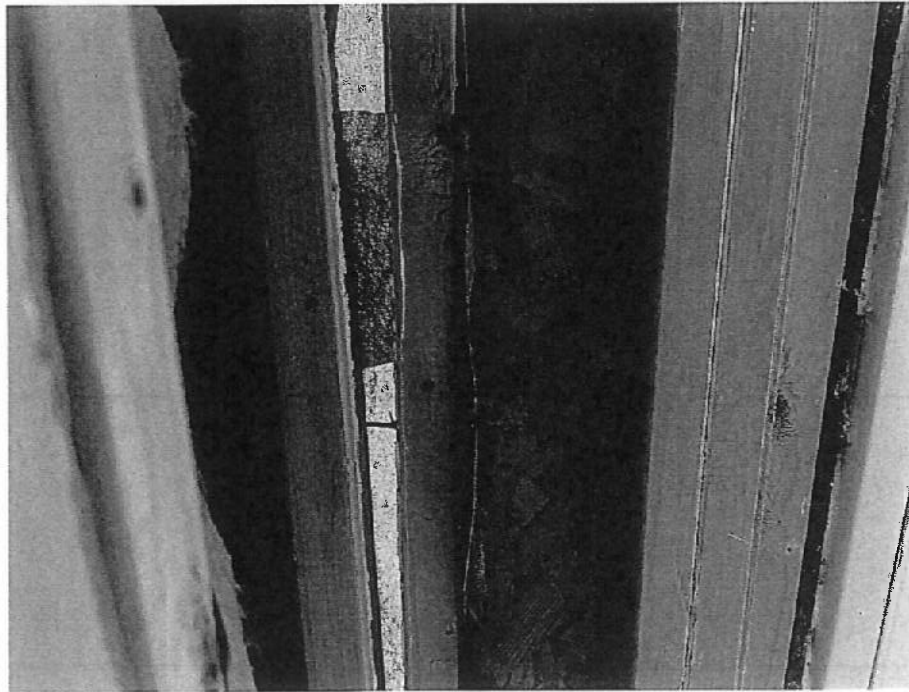
Photograph 3 - Rear elevation of residence.



Photograph 4 - Left-side elevation of residence.



Photograph 7 - Detached 2x8 outriggers adjacent to damaged 2-ply 2x8 roof rafter.



Photograph 8 - Dislodged and out of plumb right-side wall of sunroom.



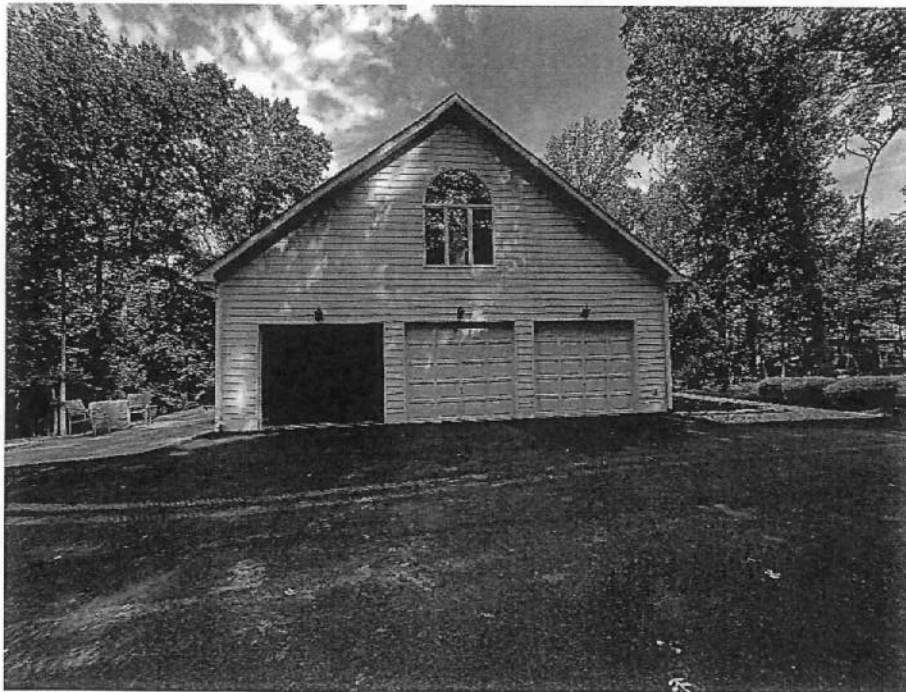
Photograph 5 - Damaged 2-ply 2x8 roof rafter and plywood roof sheathing for sunroom.



Photograph 6 - Damaged 2-ply 2x8 roof rafter and plywood roof sheathing for sunroom.



Photograph 3 - Rear elevation of residence.



Photograph 4 - Left-side elevation of residence.



Photograph 9 - Damaged portion of OSB wall sheathing at right-side gable end wall of residence roof.

7/14/92 LATE AM
7/16/92 1:00 PM

05-403311
PERMIT

Fate

SEWAGE DISPOSAL SYSTEM
DEPARTMENT OF HEALTH AND MENTAL HYGIENE

P 48277

A 40778

DISTRICT 5th

DATE 4/24/92

DATE SYSTEM APPROVED 7/16/92

INSPECTOR C. B. [unclear]

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
461-9933

INDEXED

Jack Fyock

IS PERMITTED TO INSTALL X ALTER

ADDRESS _____ PHONE 988-9270

SUBDIVISION The Warfields LOT 14 ROAD 14820 View Way Court

PROPERTY OWNER Anthony W. Capitano

ADDRESS _____

SEPTIC TANK CAPACITY 1250 GALLONS

NUMBER OF BEDROOMS 4

180 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 240

TRENCHES - Trench to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 4.5 feet below original grade. Effective area begins at 3 feet below original grade. 1.5 feet of stone below distribution pipe.

LOCATION - Starting from the intersection of the 128.35' and 425.49' lot lines, place the distribution box 35 feet down the 425.49' lot line and 170 feet off this same lot line. Run trenches on contour in both directions.

NOTE - NO trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. *OK 4/13/92 RB*

PLANS APPROVED BY Mark Rifkin DATE 3/05/92

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON, CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED.

NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

***INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

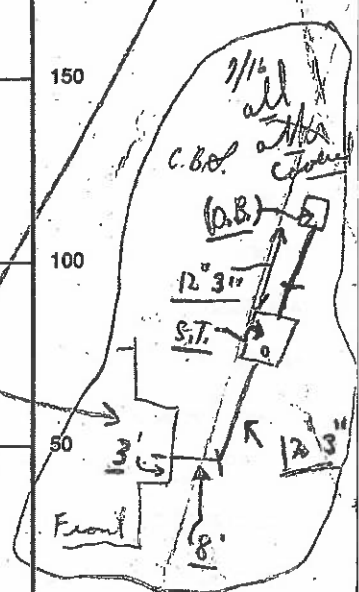
HD-260(6-90)

***CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEM.**

BLDG. PERMIT SIGNED
AND RETURNED 9/25/92

Serial # 45378 - 3rd
1-500 gal propane tank

A 40778



REMARKS: 7/14/92 (R.H.) P.C.O.
7/16/92 all covered except pipe back from pit Box to Home.
7/16/92 - NOON - Final ; ok to cover all work. C.B.V

DATE SYSTEM APPROVED 7/16/92 INSPECTOR Charles Bryan, Chief