



**Building Permit Application**  
 Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: 4-24-13

Permit No.: B13001508

Building Address: 11632 W. Winchester Ln  
 City: ELLICOTT State: MD Zip Code: 21042  
 Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Kings Gate  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 24  
 Tax Map: \_\_\_\_\_ Parcel: 03-28351B  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 5.47

Existing Use: Residential  
 Proposed Use: \_\_\_\_\_  
 Estimated Construction Cost: \$ 175,000.00  
 Description of Work: 28'x30' Garage w/ 10'2x12' Pool Bath + 25x35 covered porch  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Dimitrios Topalitzas  
 Address: 11632 W Winchester Ln  
 City: ELLICOTT State: MD Zip Code: 21042  
 Phone: 443-745-4655  
 Email: N/A

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: Highlight Const. Co Inc  
 Contact Person: Vance Ordeppik  
 Address: 4150 Homedale Rd  
 City: Sikeston State: MO Zip Code: 65784  
 License No.: 27278  
 Phone: 410-795-2227 Fax: 410-795-2257  
 Email: highlightconst@comcast.net

Engineer/Architect Company: GBL  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<u>Depth</u> <u>Width</u>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: 2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
Use group:	<input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Residential Tree Protect Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
<input type="checkbox"/> Residential Tree Protect Permit II	<input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home

Utilities	
<u>Water Supply</u>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE HERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]  
 Email Address: highlightconst@comcast.net  
 Title/Company: \_\_\_\_\_

Print Name: Deborah Trombetta  
 Date: 4-24-13

**RECEIVED**  
 APR 24 2013  
 LICENSES & PERMITS  
 DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DFZ SETBACK INFORMATION
Front:
Rear:
Side:
State St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

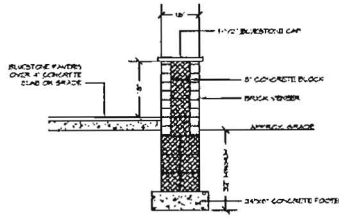
Filing Fee	\$ <u>25</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check #	<u>0278</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

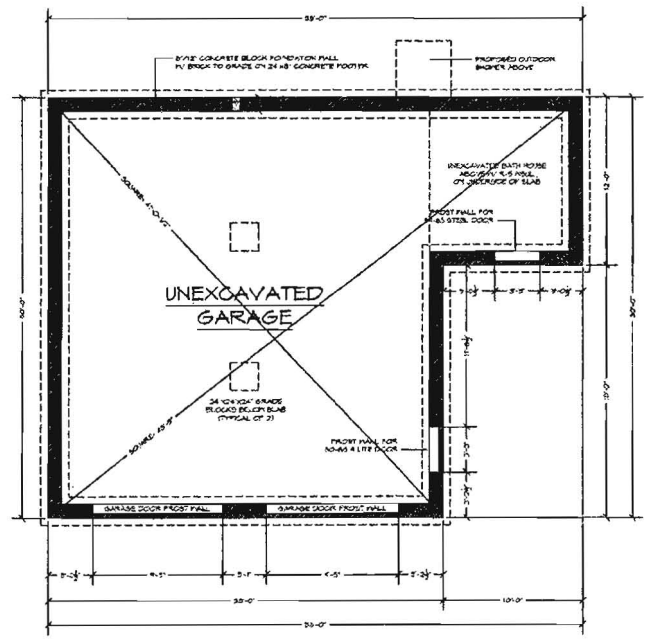
*Received from Contractor 7/19/13*

**PROPOSED UNEXCAVATED GARAGE**

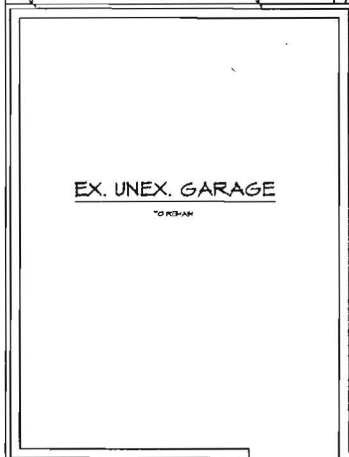
(SEE PROPOSED GARAGE FOUNDATION PLAN THIS SHEET)



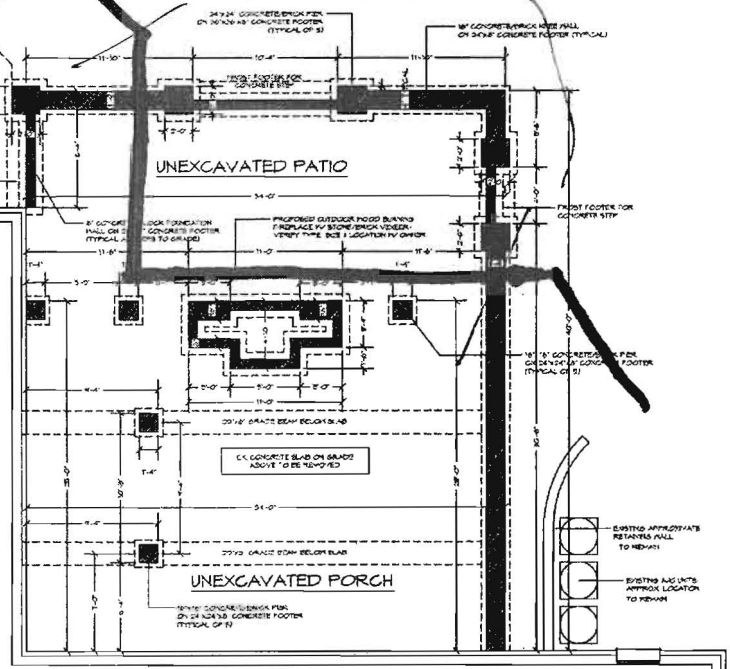
**WALL DETAIL**  
SCALE: 1/4" = 1'-0"



**PROPOSED GARAGE FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**EX. UNEX. GARAGE**  
TO REMAIN



**EXISTING BASEMENT**  
TO REMAIN

**PARTIAL PROPOSED FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**SCREEN PORCH / PATIO ADDITION TO THE TOPALTZAS RESIDENCE**

PROJECT ADDRESS  
1450 PL WASHINGTON LANE  
DULUTH CITY, MD 21034

REVISION 4/2/2013  
REVISION 2/28/2013  
REVISION 3/23/2013  
REVISION 3/4/2013

SCALE: 1/4" = 1'-0"  
DATE: 2/20/13  
SHEET NO.: 3 OF 7

**GBL CUSTOM HOME DESIGN INC.**  
PO BOX 127 PINEBLUFF, MD 21088  
PHONE: 410-326-1500



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 11632 West Winchester Lane  
 City: Ellicott City State: MD Zip Code: 21042  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 24  
 Tax Map: 16 Parcel: 341 Grid: 8  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 5,47A

Existing Use: \_\_\_\_\_  
 Proposed Use: \_\_\_\_\_  
 Estimated Construction Cost: \$ \_\_\_\_\_  
 Description of Work: BUILD 42'x20' In-Ground  
Cement pool with 8' spa, Diving Board.  
Fill By Water Truck  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Dimitrios + Kelly Topaltz  
 Address: 11632 West Winchester Lane  
 City: Ellicott City State: MD Zip Code: 21042  
 Phone: 443-211-4655 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: CUSTOM HOME POOLS INC  
 Address: 3010 SOBUS DRIVE  
 City: WESTMINSTER State: MD Zip Code: 21794  
 Phone: 410-489-9890 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: Custom Home Pools, Inc.  
 Contact Person: Mike Beavan  
 Address: 3010 Sobus Drive  
 City: Westminster State: MD Zip Code: 21794  
 License No.: \_\_\_\_\_  
 Phone: 410-489-9890 Fax: 410-489-9890  
 Email: customhomepools@verizon.net

Engineer/Architect Company: CUSTOM HOME POOLS INC  
 Responsible Design Prof: \_\_\_\_\_  
 Address: 3010 Sobus Drive  
 City: WESTMINSTER State: MD Zip Code: 21794  
 Phone: 410-489-9890 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_  
 Email Address: CUSTOM HOME POOLS INC  
 Title/Company: \_\_\_\_\_

Print Name: Mike Beavan  
 Date: \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health		<u>6-19-12 Beavan</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

RT 90

B.R.L.

REVI:  
LOT 27  
5.4759

BUILDING PERMIT

BP# \_\_\_\_\_ A# \_\_\_\_\_  
DATE: 06-19-13  
APPROVED BY: [Signature]  
PROJECT: [Signature]

SCALE 1"=50'  
DIMENSIONS FOR PERMIT  
11632 W. WINCHESTER  
ELLIOTT CITY MD 2107  
KINGS CRAFT

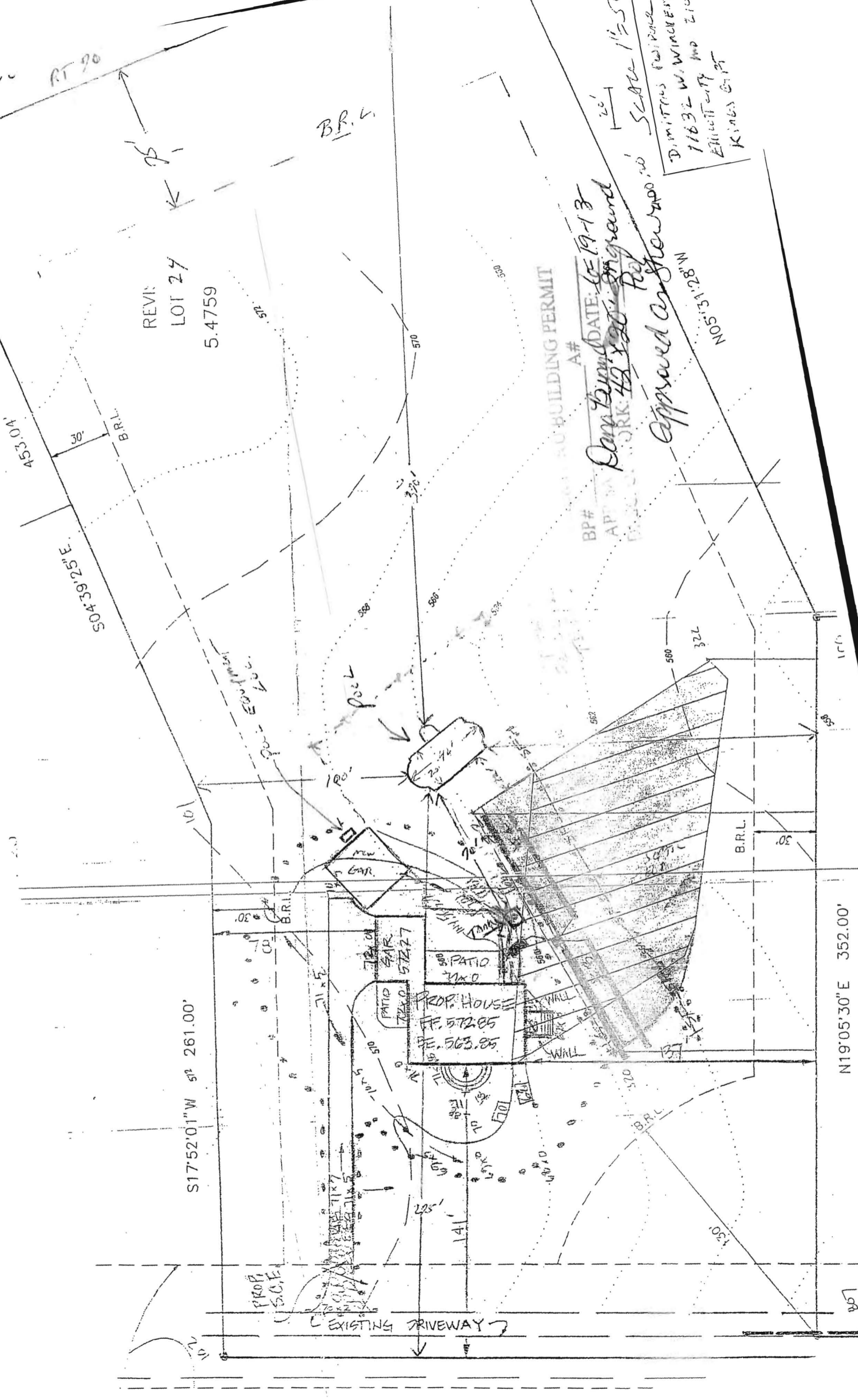
Approved and Flow No. 100  
NOS: 31.28' N

453.04'  
30'  
B.R.L.  
504.39.23'E

S1752.01"W 512 261.00'

N19'05'30"E 352.00'

S1752.01"E





Office of the Health Officer  
7178 Columbia Gateway Drive, Columbia, MD 21046-2147  
Main: 410-313-6300 | Fax: 410-313-6303  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)  
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

---

DATE: May 16, 2013

TO: Highlight Construction  
C/O Vince or Debbie  
Via-e-mail: [highlightconst@comcast.net](mailto:highlightconst@comcast.net)

RE: **Building Permit # B13001568**  
**11632 W. Winchester Lane**  
**Ellicott City, Maryland 21794**

To Whom It May Concern:

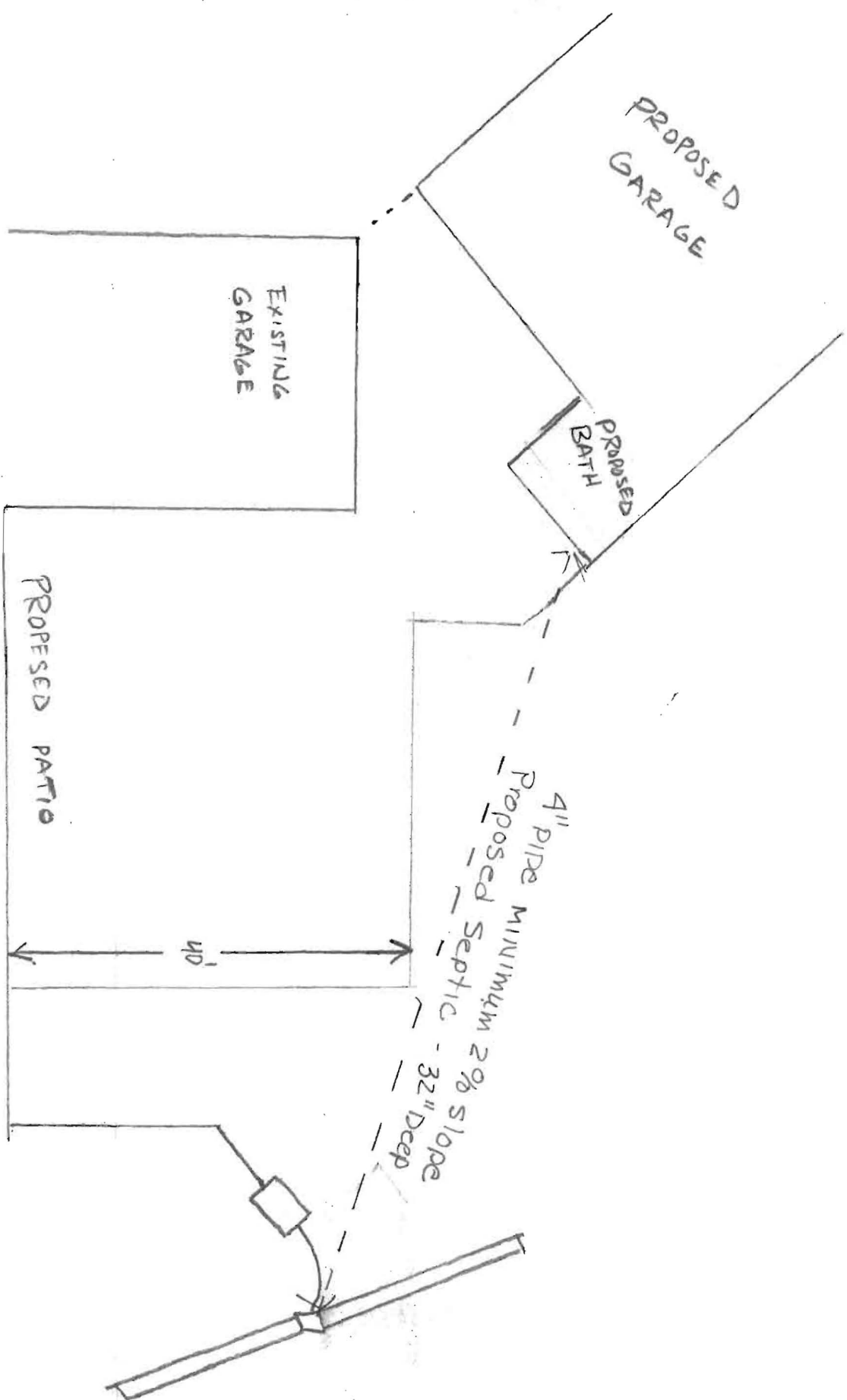
Further review is contingent upon submission of a revised building plan showing the following:

- Site plan showing your proposed addition along with the septic area and well.
- Garage must be 20 feet away from septic easement and well

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,  
  
Dana Bernard, REHS/RS  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)

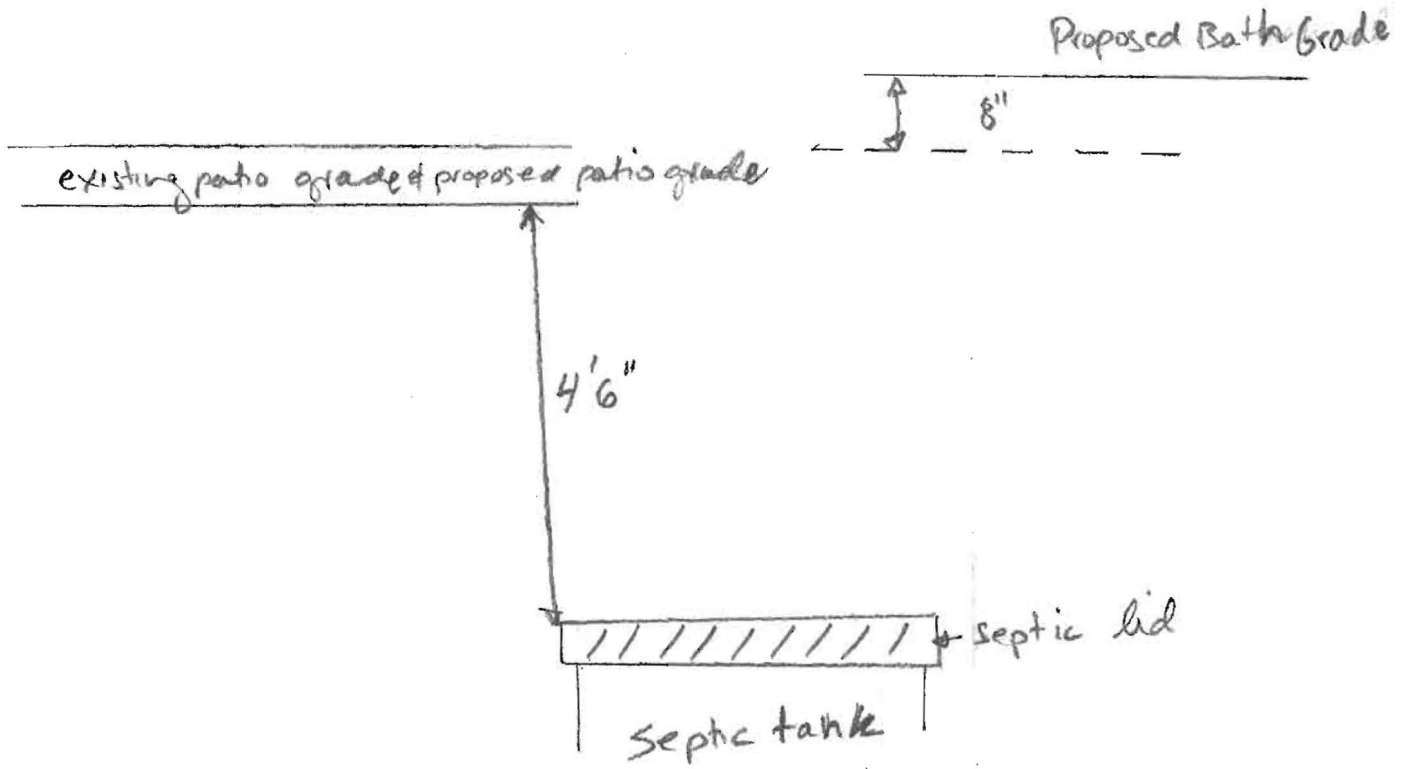
cc: Well & Septic program file

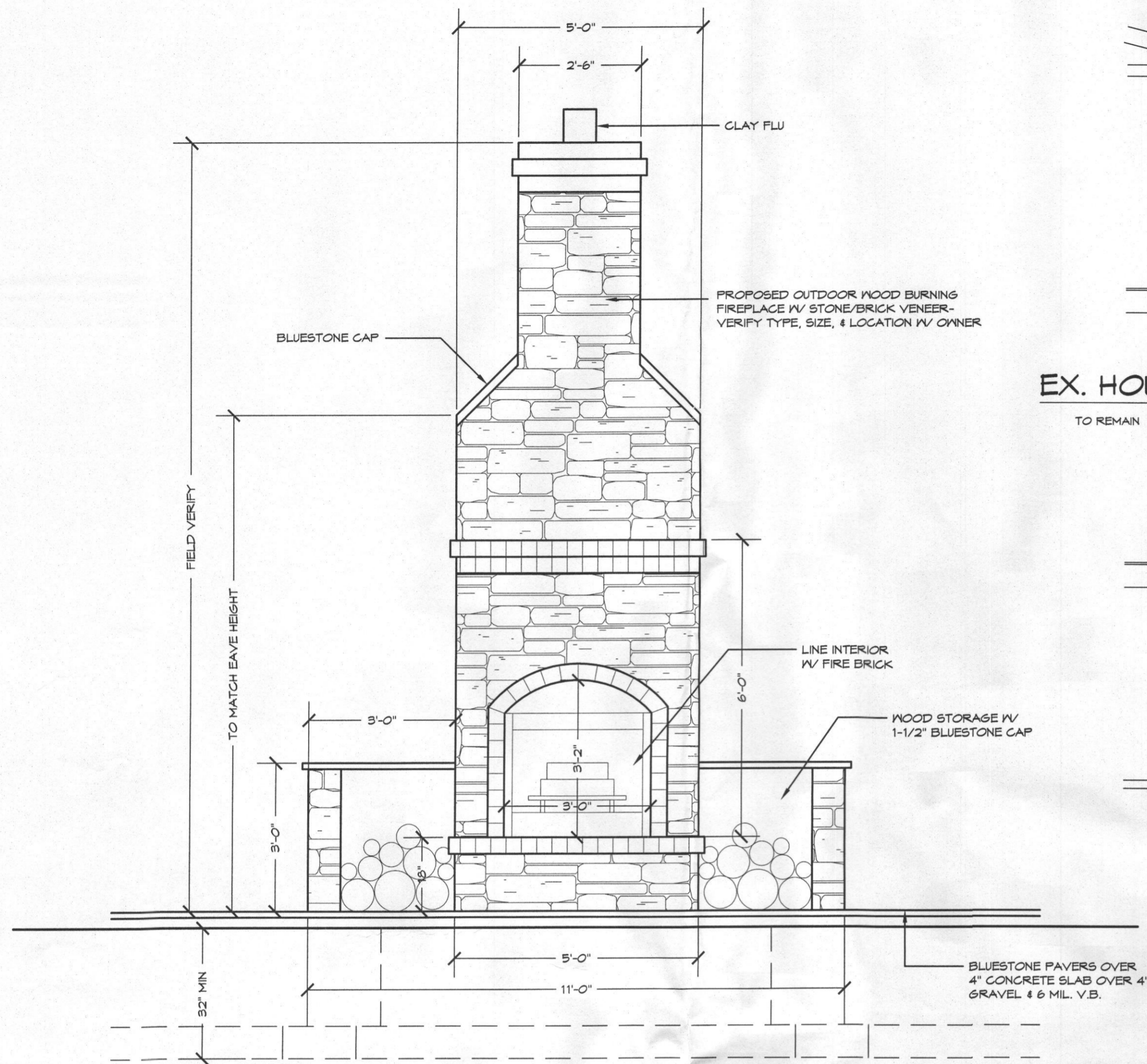


(C)

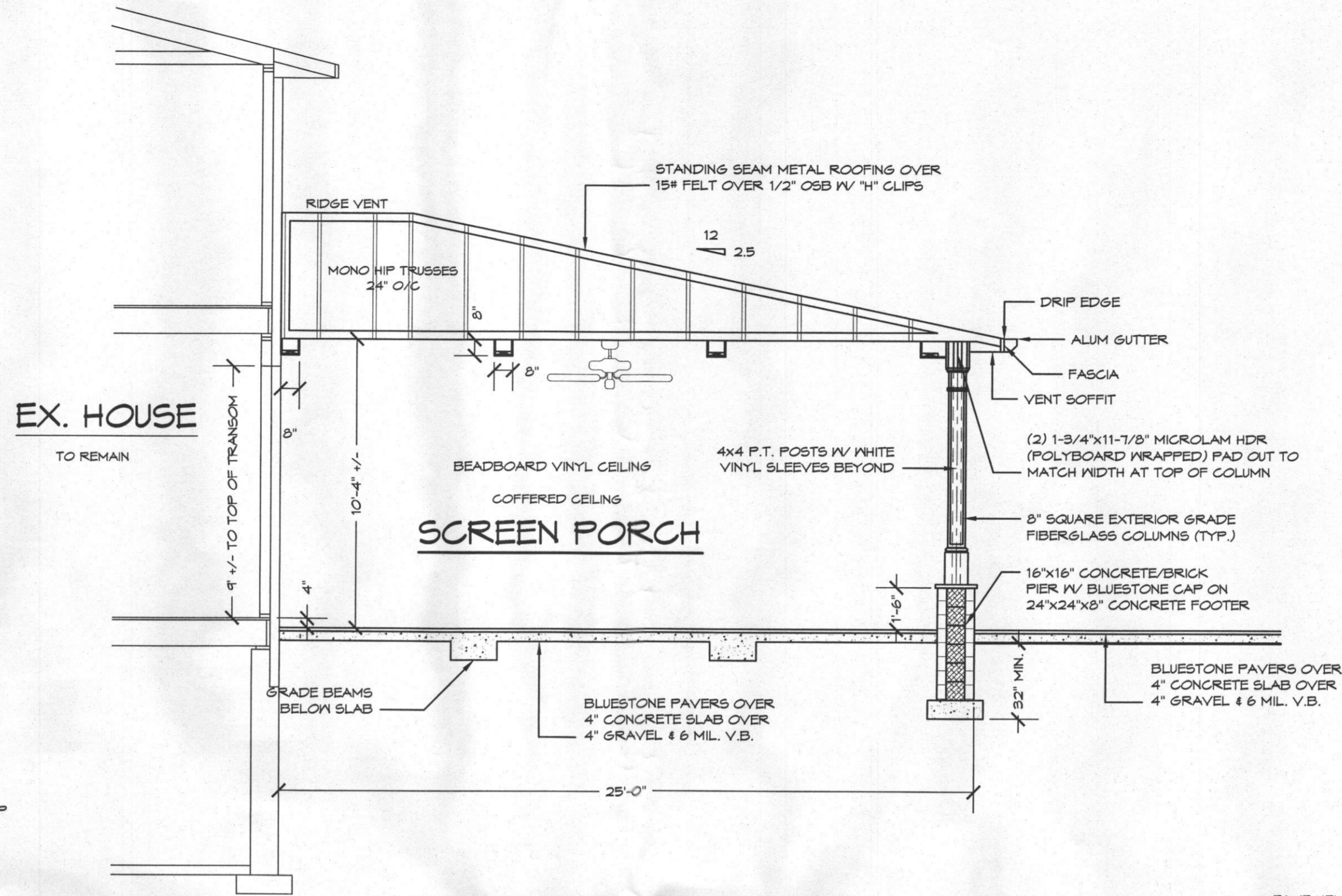
# Elevation

(B)

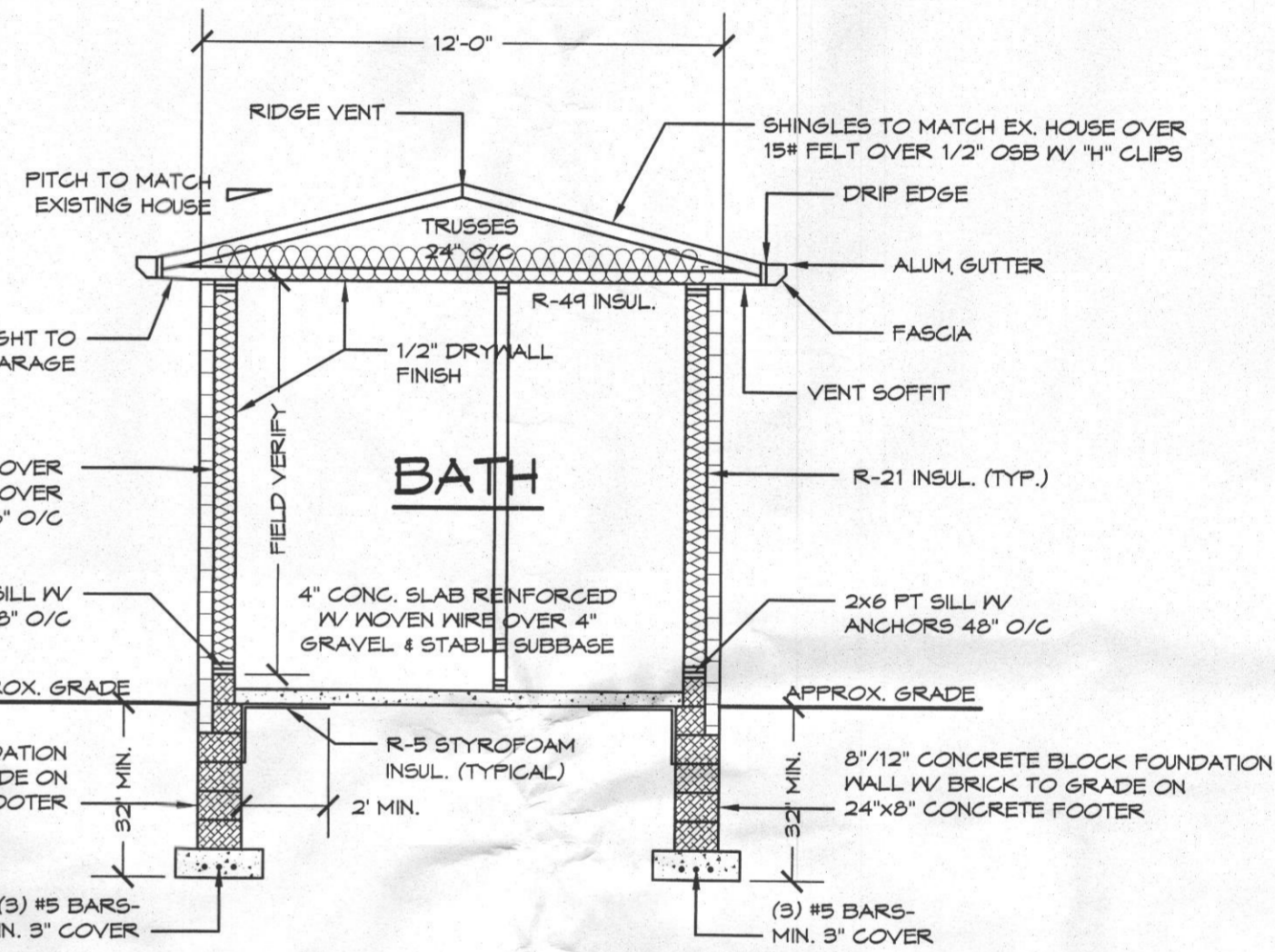




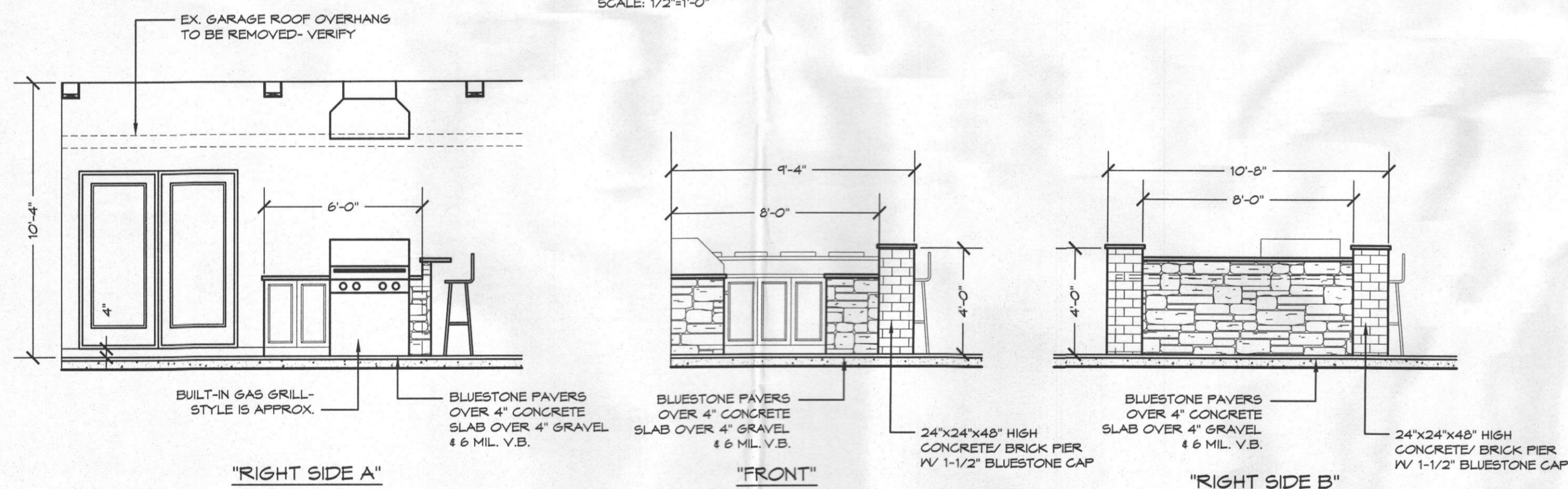
**FIREPLACE ELEVATION**  
SCALE: 1/2"=1'-0"



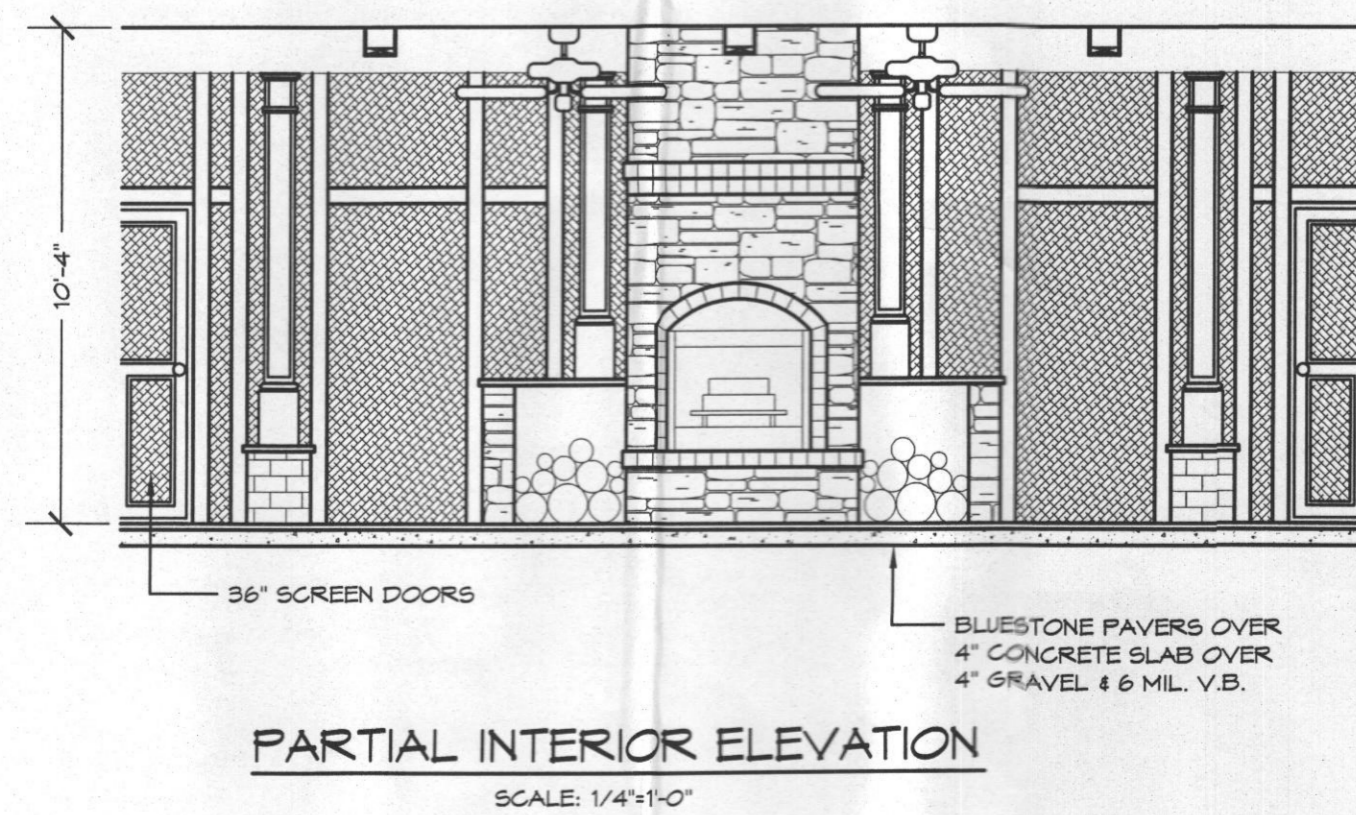
**SCREEN PORCH SECTION**  
SCALE: 1/4"=1'-0"



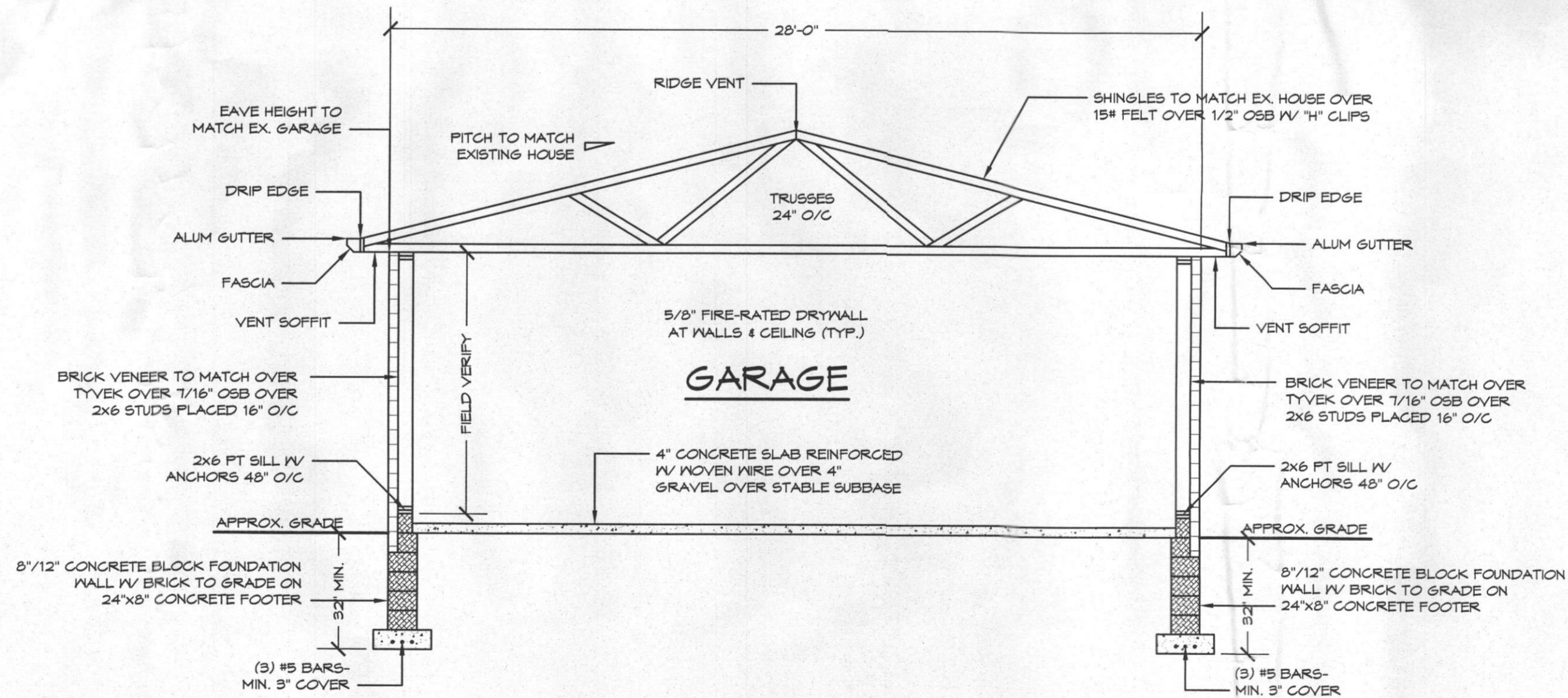
**BATH SECTION**  
SCALE: 1/4"=1'-0"



**KITCHEN/BAR ELEVATIONS**  
SCALE: 1/4"=1'-0"



**PARTIAL INTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"



**GARAGE SECTION**  
SCALE: 1/4"=1'-0"

TRUSS DESIGN NOTE:  
TRUSS DESIGN SHOWN HEREON IS STRICTLY APPROXIMATE. TRUSSES ARE TO BE PRE-ENGINEERED AND CARRY TPI SEAL. ACTUAL TRUSS DESIGN MAY VARY.

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TRUSS DESIGN SHOWN HEREON IS STRICTLY APPROXIMATE. TRUSSES ARE TO BE PRE-ENGINEERED AND CARRY TPI SEAL. ACTUAL TRUSS DESIGN MAY VARY.

**SCREEN PORCH / PATIO ADDITION TO  
THE TOPALTZAS RESIDENCE**

PROJECT ADDRESS:  
11633 W. WINGHESTER LANE  
ELLICOTT CITY, MD 21042

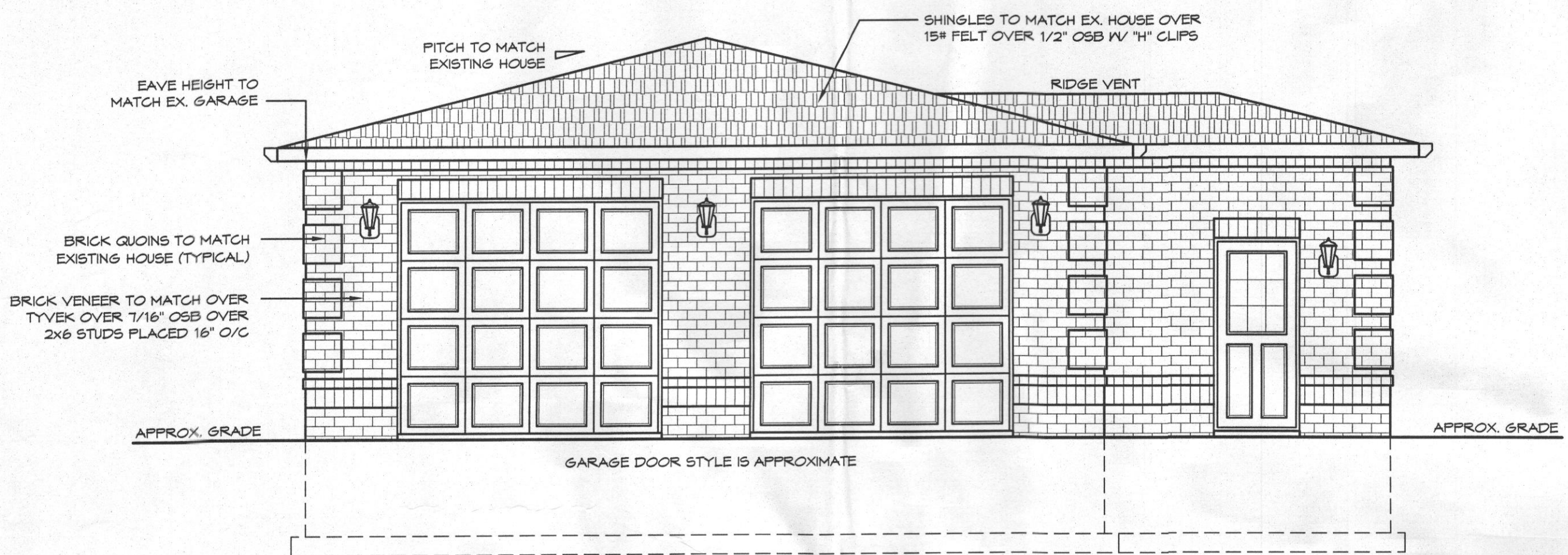
REVISED 4/2/2013  
REVISED 2/25/2013  
REVISED 2/20/2013  
REVISED 2/14/2013

SCALE: 1/4" = 1'-0"  
DATE: 2/20/13  
SHEET NO.: 6 OF 7

**GBL CUSTOM HOME  
DESIGN INC.**  
PO BOX 237 FINKSBURG, MD 21048  
PHONE 410-833-8320

FILE:TOPALTZAS

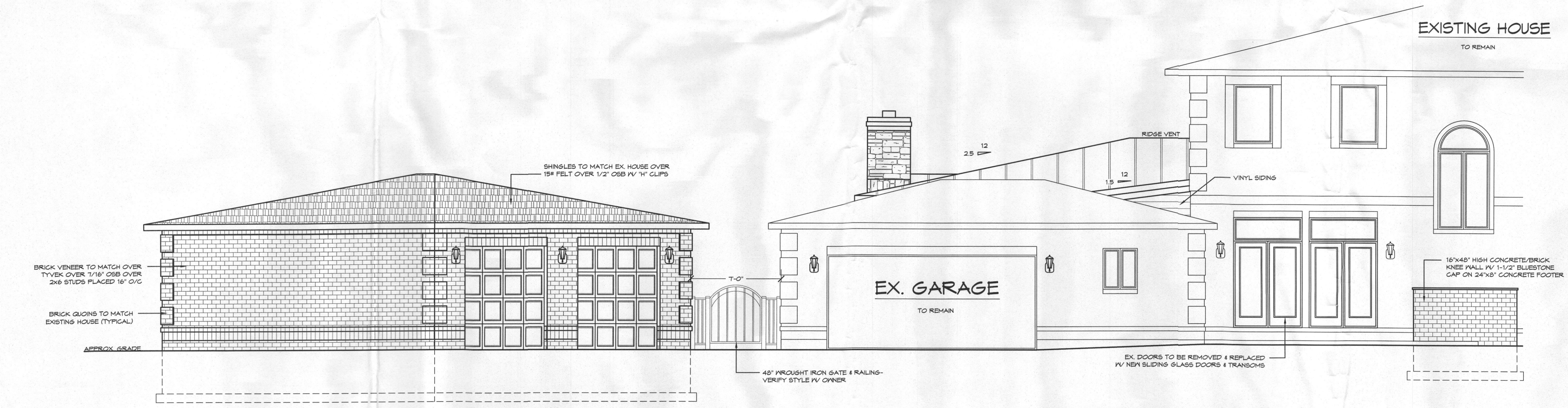
**SCREEN PORCH / PATIO ADDITION TO  
THE TOPALTZAS RESIDENCE**



**GARAGE FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PARTIAL EXISTING LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**PARTIAL PROPOSED LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

EXISTING HOUSE  
TO REMAIN

PROJECT ADDRESS:  
11632 N. WINCHESTER LANE  
ELLICOTT CITY, MD 21042

REVISED 4/2/2013  
REVISED 2/28/2013  
REVISED 2/20/2013  
REVISED 2/14/2013

FILE: TOPALTZAS

SCALE: 1/4" = 1'-0"  
DATE: 2/20/13  
SHEET NO.: 5 OF 1

**GBL CUSTOM HOME  
DESIGN INC.**  
 PO BOX 237 FINKSBURG, MD 21048  
 PHONE: 410-833-8320

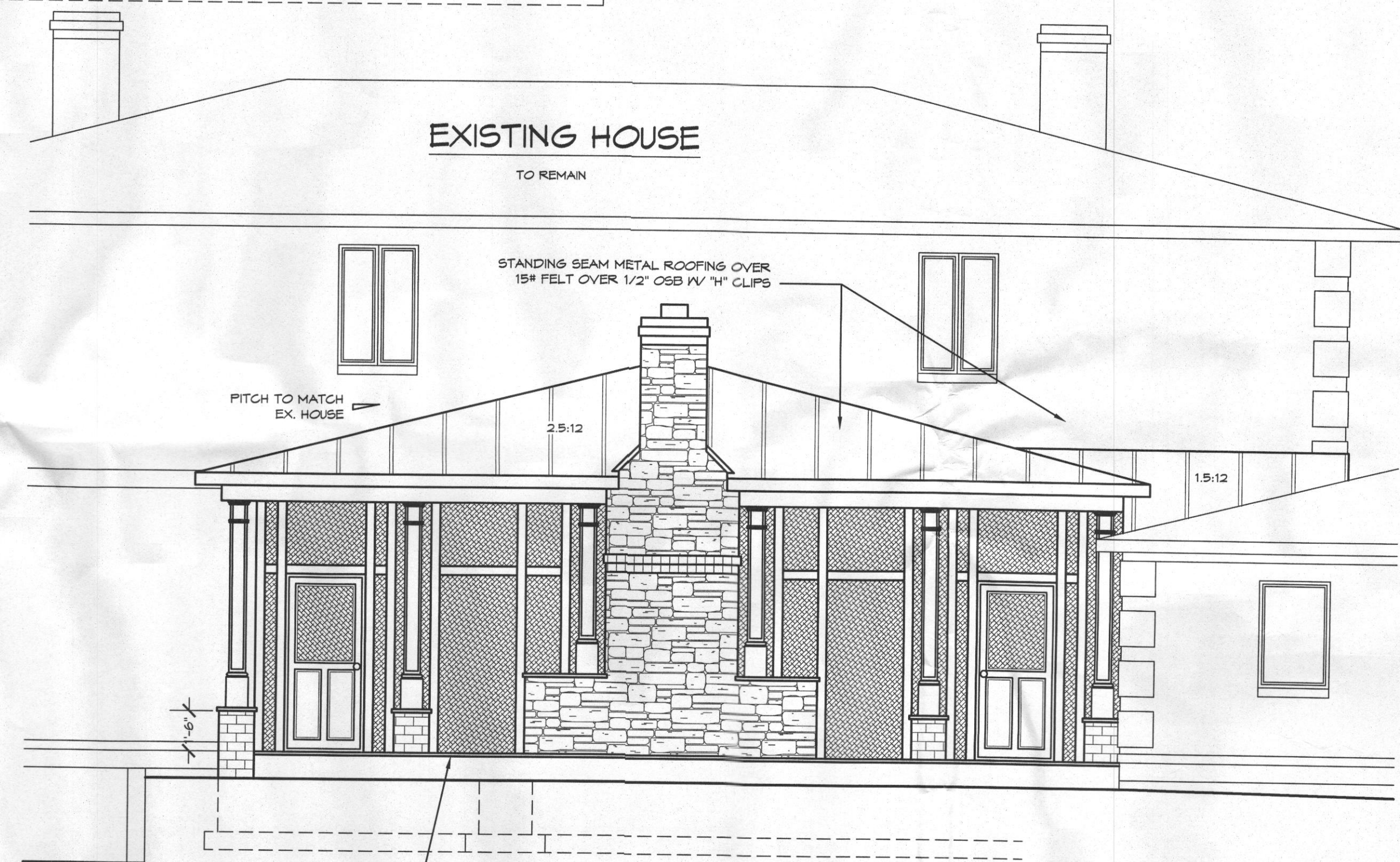
EX. HOUSE  
TO REMAIN



PARTIAL PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

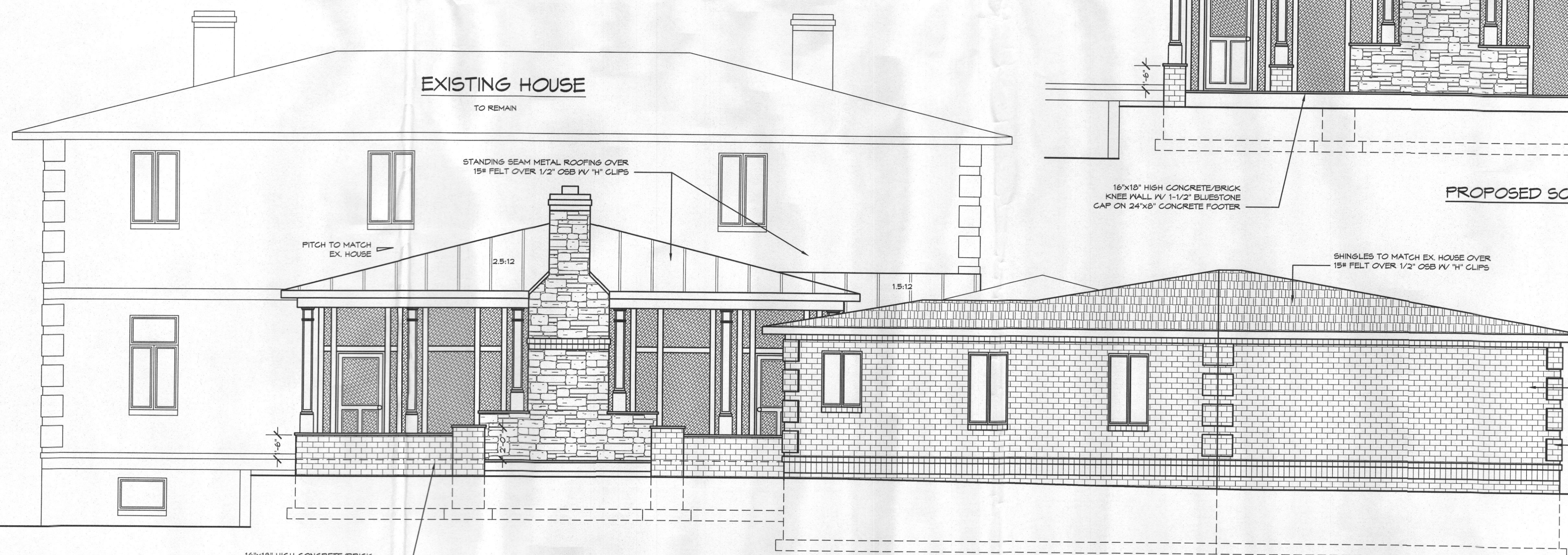
EXISTING HOUSE  
TO REMAIN



PROPOSED SCREEN PORCH REAR ELEVATION

SCALE: 1/4"=1'-0"

EXISTING HOUSE  
TO REMAIN



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

SCREEN PORCH / PATIO ADDITION TO  
THE TOPALTZAS RESIDENCE

PROJECT ADDRESS:  
11682 N. WINCHESTER LANE  
ELLCOTT CITY, MD 21042

REVISED 4/2/2019  
REVISED 2/25/2019  
REVISED 2/20/2019  
REVISED 2/14/2019

FILE: TOPALTZAS

SCALE: 1/4" = 1'-0"

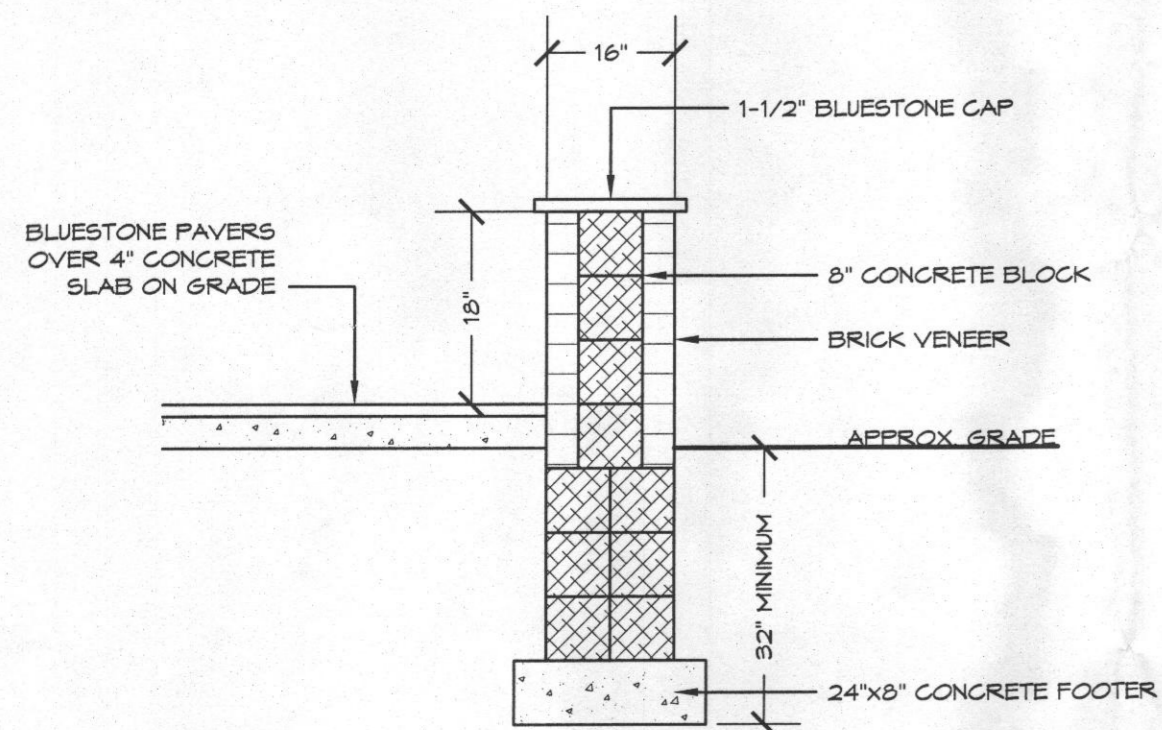
DATE: 2/20/19

SHEET NO.: 4 OF 7

GBL CUSTOM HOME  
DESIGN INC.  
PO BOX 237 FINKSBURG, MD 21048  
PHONE 410-833-8320

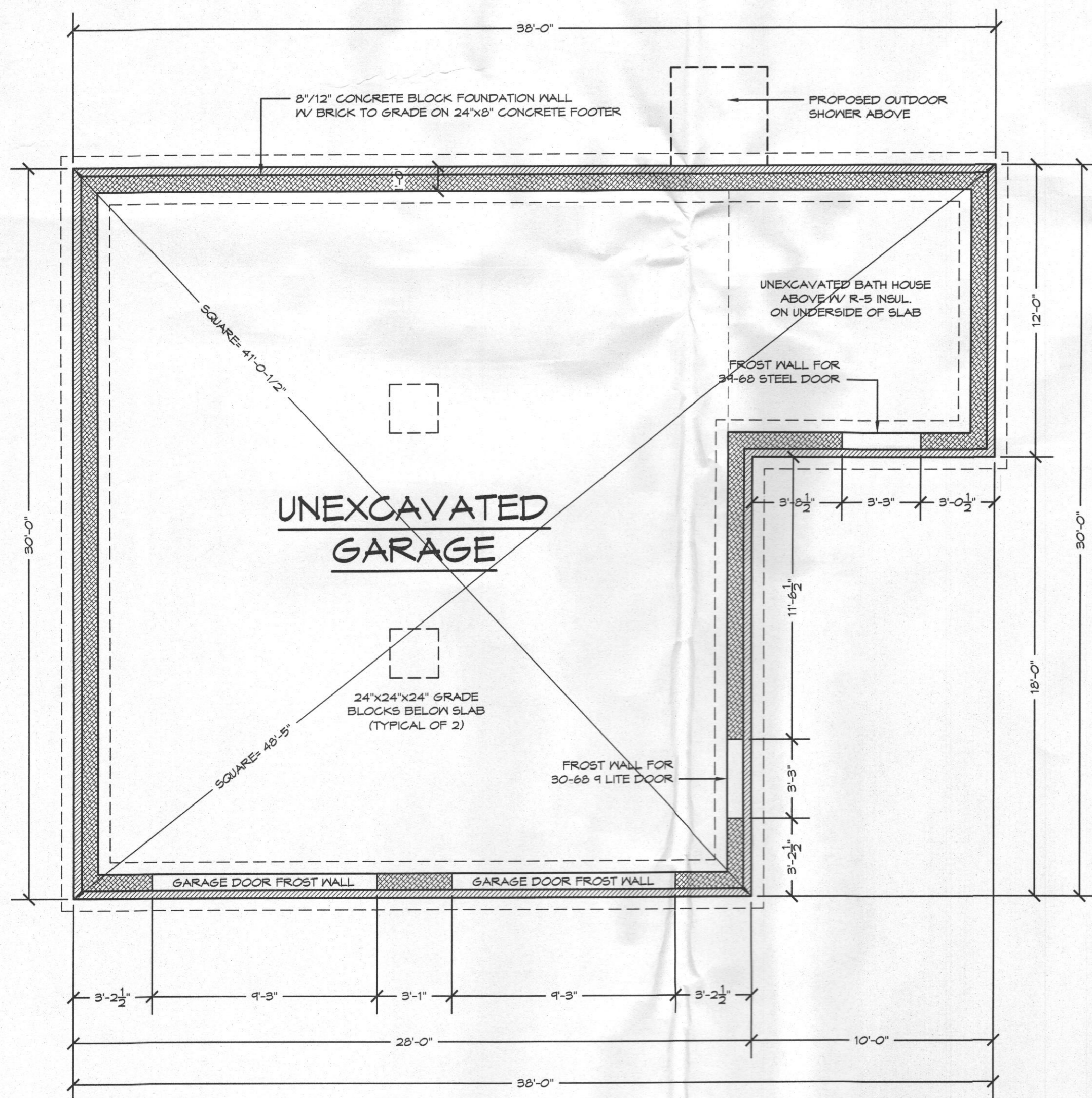
**PROPOSED  
UNEXCAVATED GARAGE**

(SEE PROPOSED GARAGE FOUNDATION PLAN- THIS SHEET)



**WALL DETAIL**

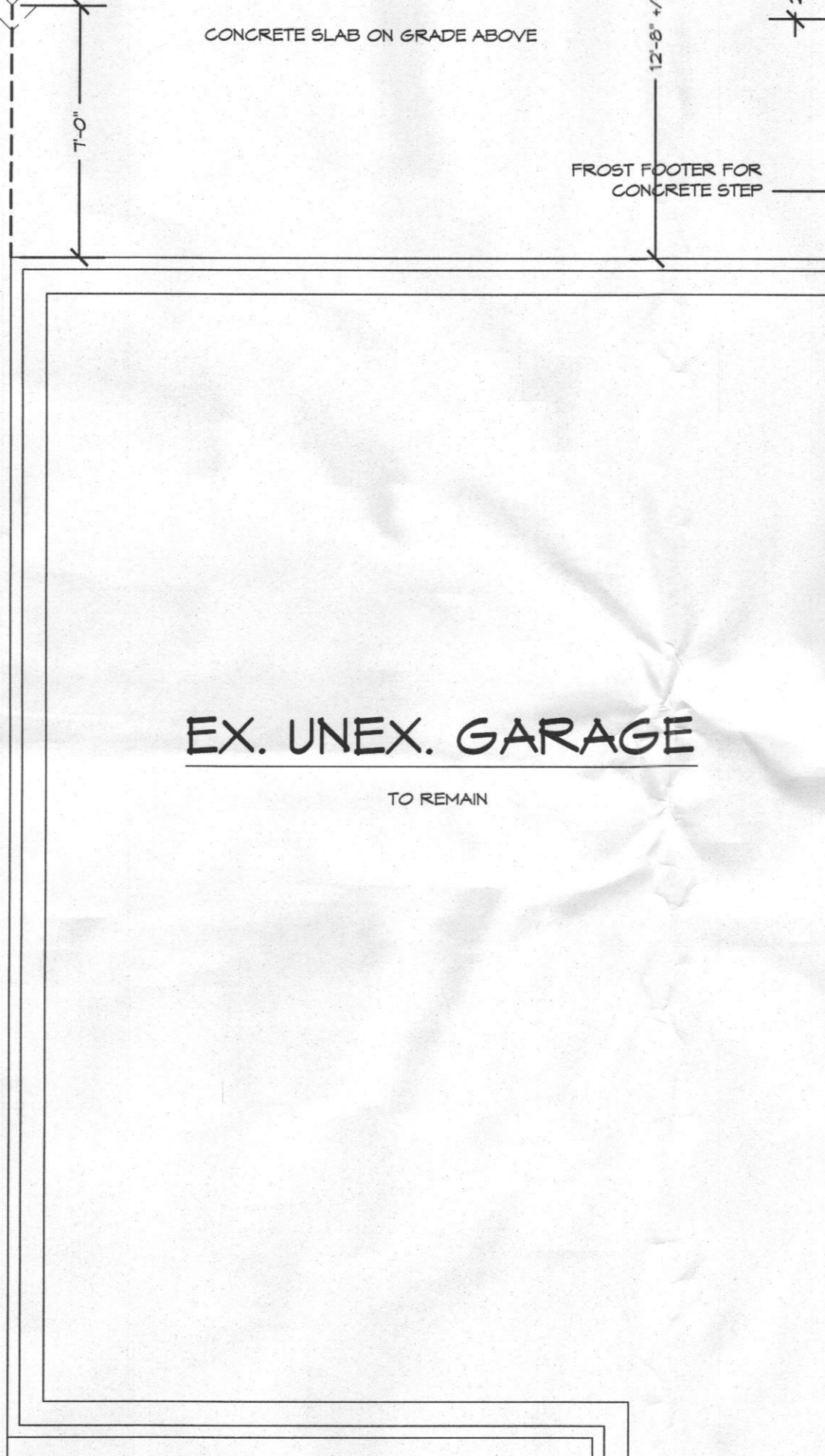
SCALE: 1/2"=1'-0"



**UNEXCAVATED  
GARAGE**

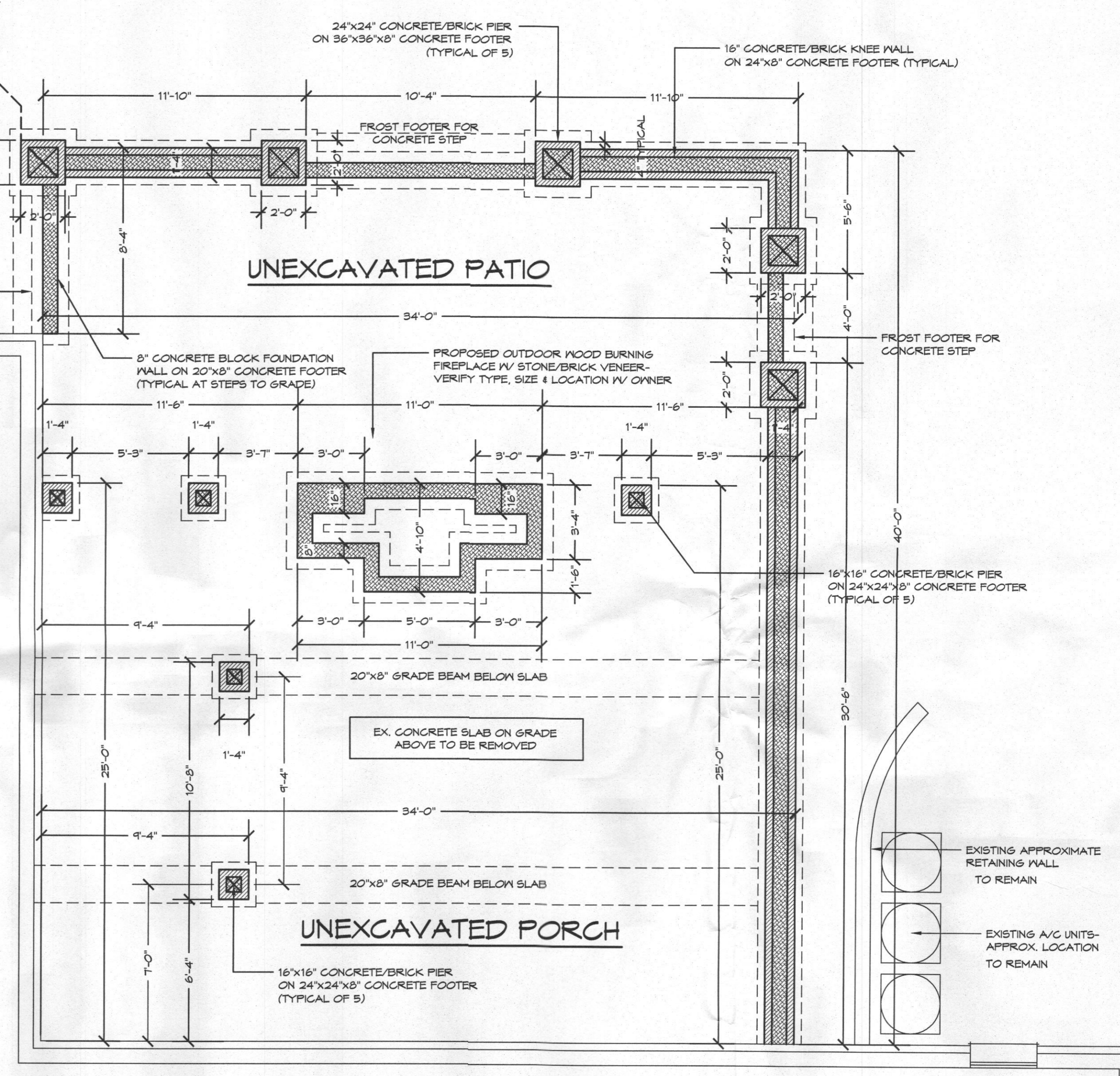
**PROPOSED GARAGE FOUNDATION PLAN**

SCALE: 1/4"=1'-0"



**EX. UNEX. GARAGE**

TO REMAIN



**UNEXCAVATED PATIO**

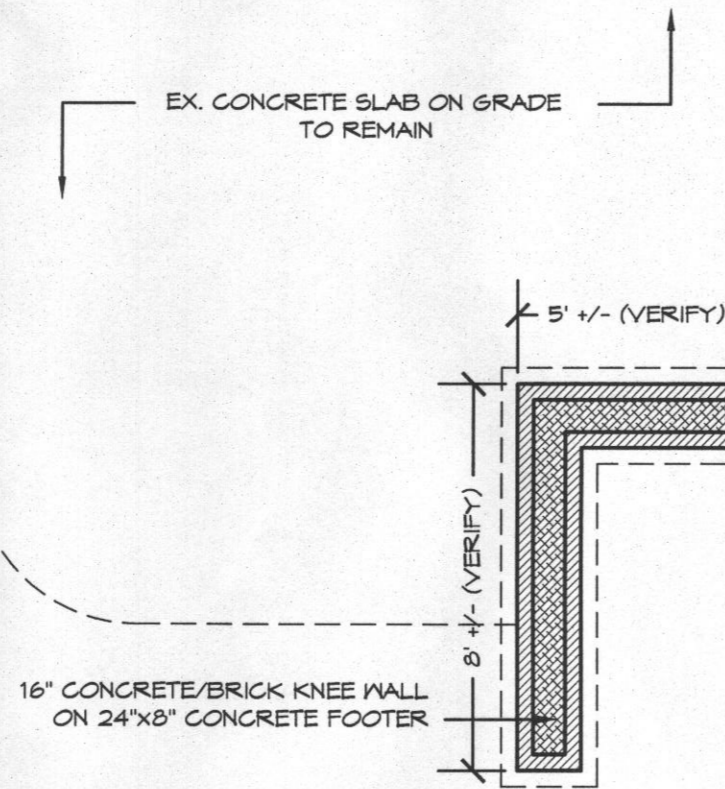
**UNEXCAVATED PORCH**

**EXISTING BASEMENT**

TO REMAIN

**PARTIAL PROPOSED FOUNDATION PLAN**

SCALE: 1/4"=1'-0"



16" CONCRETE/BRICK KNEE WALL  
ON 24"x8" CONCRETE FOOTER

**SCREEN PORCH / PATIO ADDITION TO  
THE TOPALTZAS RESIDENCE**

PROJECT ADDRESS:  
11632 N. WINCHESTER LANE  
ELLICOTT CITY, MD 21042

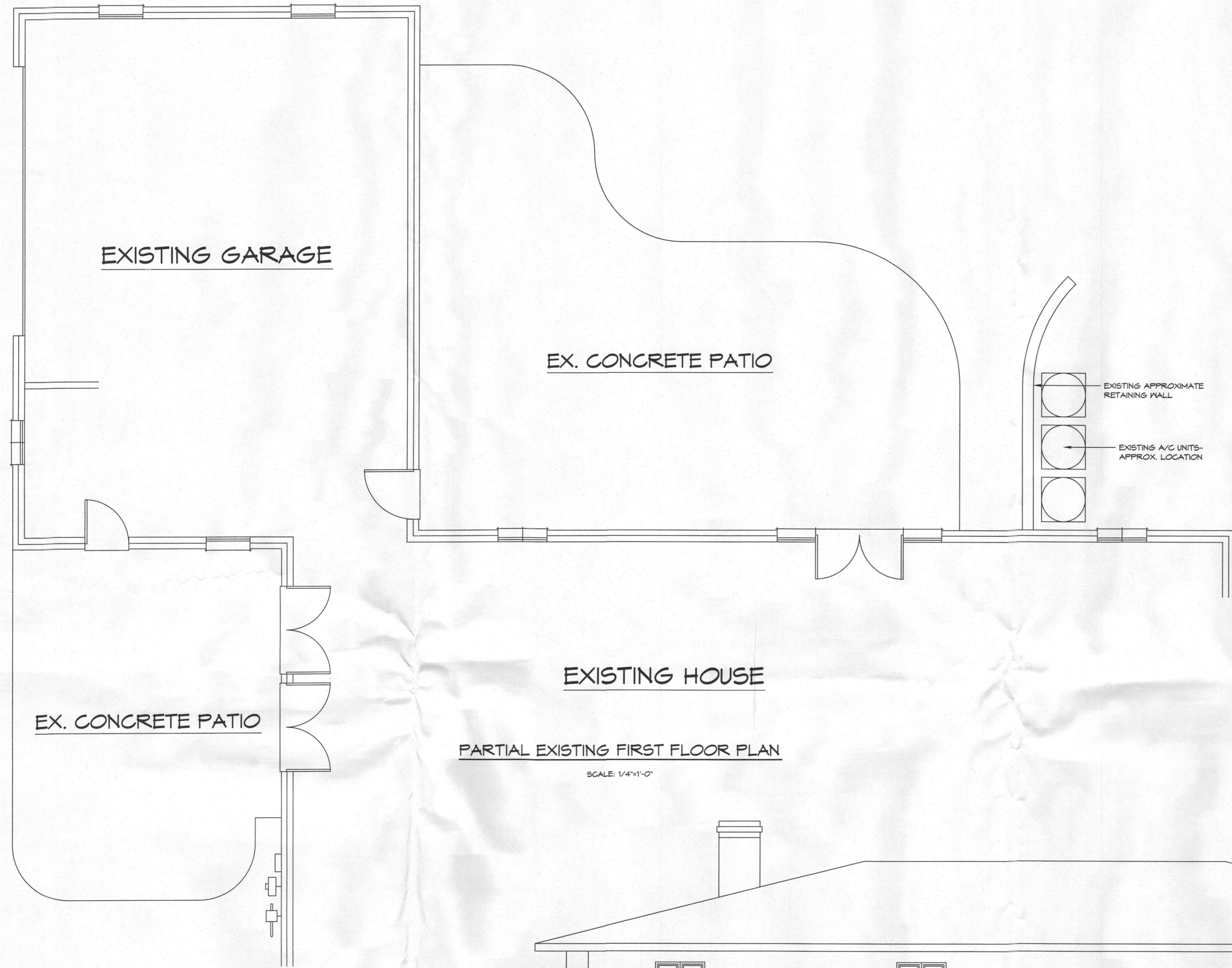
REVISED 4/2/2013  
REVISED 2/25/2013  
REVISED 2/20/2013  
REVISED 2/14/2013

SCALE: 1/4" = 1'-0"  
DATE: 2/20/13  
SHEET NO.: 9 OF 7

**G.B.L. CUSTOM HOME  
DESIGN INC.**  
PO BOX 237 FINKSBURG, MD 21048  
PHONE 410-833-8320

FILE: TOPALTZAS





EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"

SCREEN PORCH / PATIO ADDITION TO  
THE TOPALTZAS RESIDENCE

PROJECT ADDRESS:  
11632 N WINCHESTER LANE  
ELLICOTT CITY, MD 21042

REVISED 4/2/2013  
REVISED 2/25/2013  
REVISED 2/20/2013  
REVISED 2/14/2013

FILE: TOPALTZAS

SCALE: 1/4" = 1'-0"

DATE: 2/20/13

SHEET NO.: 1 OF 1

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