



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/13/14

Permit No.: B14004173

Building Address: 13110 Greenberry Lane
 City: Clarksville State: MD Zip Code: 21020
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: 2
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family house
 Estimated Construction Cost: \$ 250,000
 Description of Work: New 2 story "Monticello II" with 3 car garage, 4' ext to family room, master suite 1st floor, morning room, finished lower level
 Occupant or Tenant: Rear covered porch
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR INC
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Jim Kerwin
 Address: PO Box 552
 City: Weddington State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturBuildingServices.com

Contractor Company: NV Homes
 Contact Person: Ryan Johnson
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth Width	
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim@DecaturBuildingServices.com
 Email Address
AGENT
 Title/Company

JIM KERWIN
 Print Name
11/13/2014
 Date

RECEIVED
 NOV 13 2014

LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>11/13/14</u>	<u>H. O. Osipowicz</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>820507</u>



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 5/20/15

Permit No.: B15002062

13112 Greenberry Ln

Building Address: 5003 The Francis Lane
City: Clarks Summit State: MD Zip Code: 21020
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
Proposed Use: SFD w/ propane tank
Estimated Construction Cost: \$ 3000
Description of Work: Install 1000 gallon in-ground propane tank

Occupant or Tenant: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: Owner
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Robert Williams
Address: 5003 The Francis Lane 13110 Greenberry Ln
City: Clarks Summit State: MD Zip Code: 21020
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Jeremy Clancy
Address: 1050 1253
City: Clarks Summit State: MD Zip Code: 21027
Phone: 410-313-2277 Fax: _____
Email: Jeremy@AppliedandApproved.com

Contractor Company: Tech Air
Contact Person: Jeff Kennedy
Address: 1560 A-D Galen Center Dr
City: Bellows State: MD Zip Code: 21027
License No.: 68164
Phone: 410-515-4393 Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: Contractor
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
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Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
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<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

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Applicant's Signature: Jeremy Clancy Print Name: Jeremy Clancy
Email Address: Jeremy@AppliedandApproved.com Date: 5/20/15
Title/Company: _____

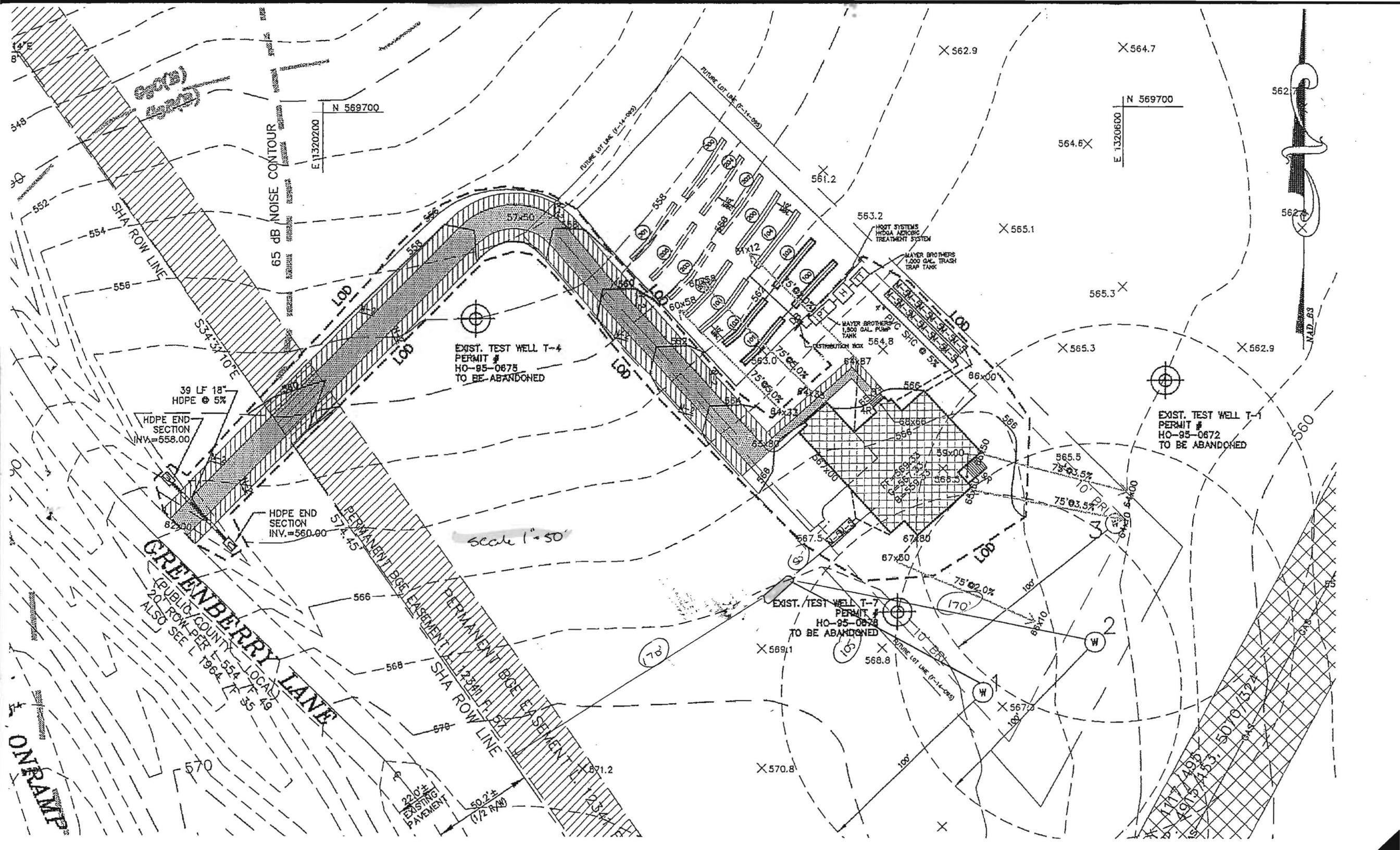
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

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Tech Fee	\$ <u>10.00</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110</u>
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>4498</u>



65 dB NOISE CONTOUR

EXIST. TEST WELL T-4
PERMIT #
HO-85-0678
TO BE ABANDONED

EXIST. TEST WELL T-7
PERMIT #
HO-85-0678
TO BE ABANDONED

GREENBERRY LANE
(PUBLIC/COUNTY ROAD)
20' ROW PER T-554, T-49
ALSO SEE L 1994 T-35

Scale 1" = 50'

N 569700

N 569700
E 1320600

562.7

564.6

562.9

564.7

561.2

565.1

565.3

565.3

562.9

39 LF 18"
HDPE @ 5%

HDPE END SECTION
INV.=558.00

HDPE END SECTION
INV.=560.00

EXIST. TEST WELL T-7
PERMIT #
HO-85-0678
TO BE ABANDONED

569.1

568.8

567.3

570.8

FUTURE LOT LINE (E-14-199)

FUTURE LOT LINE (E-14-199)

SCORE LOT LINE (E-14-199)

NAD 83

560

565

564

563

562

ON RAMP

570

571.2

22.0'±
EXISTING PAVEMENT

50.2'±
(1/2 TRW)

75'02.0%

75'03.5%

75'03.5%

170'

170'

150'

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Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, June 02, 2015 12:25 PM
To: 'JEREMY@APPLIEDANDAPPROVED.COM'
Subject: building Permit Status_Comment

Jeremy:

B15002062_13112 Greenberry Road

- Do you really want to place the propane tank for Lot 2 on lot 1? This will cause a delay in our office at time of subdivision review/approval.

B15002066_14395 Howard Road

- Approval pending revised BAT Plan.

B15002061_14049 Tridelphia Road

- The site plan that accompanied this BP was for 14040 Triadelphia Road

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
410.313.1786

COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 4/15/2015

To: HANK OSWALD HEALTH Dept.
(Person's Name and Division)

From: JIM KERWIN (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Greenberry

Project site address 5008 Bee Frances Way

Permit # B14004173 SDP # _____

Other information pertinent to this project _____

RECEIVED
APR 15 2015
LICENSES & PERMITS
DIVISION

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Floor Plans (be specific).
- Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

Please Print Name

Telephone No:

E-Mail Address:

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by che

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 1/12/15

To: Health Dept
(Person's Name and Division)

From: Jim Kerwin (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Warfields
Project site address 13110 Greenberry lane
Permit # B14004173 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- 2 Copies of Floor Plans (be specific).
 Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

RECEIVED
JAN 19 2015
LICENSES AND PERMITS
DIVISION

Contact Person Information: (Required)

Please Print Name _____ Telephone No: _____
E-Mail Address: _____

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by CHA

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, December 04, 2014 11:10 AM
To: 'JIM@DECATURBUILDINGSERVICES.COM'
Subject: B14004173_13110 Greenberry Lane

Jim Kerwin:

This letter is in response to building permit B14004173 (13110 Greenberry Lane). The application describes the construction of a single family home. Upon review of the submittal, the site plan did not include the well or septic components along with invert septic line elevation at the house and tank. Additionally, house floor plans and a BAT plan are required for this review.

Building permit approval is being withheld until a revised site plan, floor plans and a BAT plan have been forwarded to the Health Department for review and approval. I may be reached at (410) 313-1786 if you would like to discuss the project.

Respectfully,

Hank Oswald

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
410.313.1786

HANK OSWALD

B14004173

CLIFTON PARK II



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT							CRAWL SPACE							ATTACHED GARAGES		OPTIONAL ROOMS				DETAILS STANDARD	
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	THREE CAR SIDE ENTRY	TWO CAR SIDE ATTACHED	CONSERVATORY	SUITE FIRST FLOOR	MORNINGS ROOM	BONUS ROOM		
NOTE SHEET	2							2														
FRONT ELEVATIONS - SIDING		3							3													D-1
FRONT ELEVATIONS - BRICK		4			7	8			4													D-2
FRONT ELEVATIONS - SIDING/STONE		5	6						5	6	7	8		10.1	10.2							D-3
RIGHT SIDE ELEVATIONS - SIDING OR SIDING/STONE		11	13	14	16	18.1	18.2		11	13	14	16	18.1	18.2								D-4
RIGHT SIDE ELEVATIONS - BRICK		12		15	17				12		15	17										D-5
LEFT SIDE ELEVATIONS - SIDING OR SIDING/STONE		19	21	22	24	26.1	26.2		19	21	22	24	26.1	26.2								D-5a
LEFT SIDE ELEVATIONS - BRICK		20		23	25				20		23	25										D-6
REAR ELEVATIONS - SIDING		27	29	30	32	34.1	34.2		27	29	30	32	34.1	34.2								D-7
REAR ELEVATIONS - BRICK		28		31	33				28		31	33										D-8
FOUNDATION		35	36	37.1	37.2	37.1	41.2		35	36	37.1	37.2	37.1	41.2								D-8a
HOLD DOWN DETAILS	43								43							38	38	38	38	42		D-11
PLUMBING GROUND WORKS	44								44													D-12
BASEMENT PLAN	46.1	46.1	46.1	46.2	46.2	46.3	46.3		45													D-12b
FIRST FLOOR PLAN	47		48	48	44.1	44.1	44.2		47		48	48	44.1	44.1	44.2							D-12c
FIRST FLOOR PLAN PARTIALS	50								50													D-13
SECOND FLOOR PLAN	54	56	56	56	56	56	56		54	56	56	56	56	56		50	53					D-14
SECOND FLOOR PLAN PARTIALS	57								57													D-15
BUILDING SECTION AT FOYER	58								58													D-15a
BUILDING SECTION AT GARAGE	60								60													D-16
STAIR SECTION (FRONT STAIR) - STANDARD	62								62							60						D-16a
STAIR SECTION (FRONT STAIR) - UPGRADE	63								63													D-16b
STAIR SECTION (FRONT STAIR) - UPGRADE W/ METAL	64								64													D-17
STAIR SECTION (FRONT STAIR) - UPGRADE W/ CRAFTSMAN	66, 67.1								66, 67.1													D-17a
STAIR SECTION (REAR STAIR) - STANDARD	68								68													D-18
STAIR SECTION (REAR STAIR) - UPGRADE	69.1								69.1													D-20
STAIR SECTION (REAR STAIR) - UPGRADE W/ CRAFTSMAN	69.2								69.2													D-21
KITCHEN PLANS - CABINET HOOD 'B'	70								70													D-22
KITCHEN PLANS - CABINET HOOD 'C'	72								72													D-22a
KITCHEN PLANS - GOURMET	74								74													D-27
KITCHEN PLANS - ISLANDS	76								76													D-28
MET BAR, LAUNDRY, CHARGING CENTER	77								77													D-28a
INTERIOR DETAILS - BATH ELEVATIONS	78								78													D-29
INTERIOR DETAILS - COLUMNS / BULKHEAD	79								79													D-30
INTERIOR DETAILS - FOYER AND FAMILY ROOM WINDOWS	80	80	80	80	80	80	81		80	80	80	80	80	81								D-31
INTERIOR DETAILS - FIREPLACE DETAILS	82								82													D-34
INTERIOR DETAILS - FIREPLACE DETAILS W/ BONUS RM.	83								83													D-35
INTERIOR MISC. DETAILS	84								84													D-36
EXTERIOR ELEVATION DETAILS	87		85	85	86.1	86.2			87		85	85	86.1	86.2								D-37
EXTERIOR MISC. DETAILS	88								88													D-40
BASEMENT ELECTRICAL	88.1	88.1	88.2	88.2	88.3	88.3			88.1	88.1	88.2	88.2	88.3	88.3								D-44
FIRST FLOOR ELECTRICAL	90	90	91.1	91.1	91.2				90	90	91.1	91.1	91.2									D-45
FIRST FLOOR ELECTRICAL PARTIALS	92								92													WB-1
SECOND FLOOR ELECTRICAL	96	98	98	98	98	98			96	98	98	98	98	98		92	95					WB-2
SECOND FLOOR ELECTRICAL PARTIALS	99								99													F-1
FIRST FLOOR JOIST LAYOUT	100	101	101	102	102	102			103	104	104	105	105	105								SP-1
SECOND FLOOR JOIST LAYOUT	106	108	108	109	109	109			106	108	108	109	109	109								SP-2
ROOF FRAMING	110	111	112	113	114.1	114.2			110	111	112	113	114.1	114.2								SEP-1
TRUSS BRACING	114	120				120.2			114	120				120.2		115	116	117.2				SEP-2
BRACED HALL	121								121													SEP-3
ROOF VENTILATION	123	124	125	126	127.1	127.2			123	124	125	126	127.1	127.2								SEP-4
BASEMENT HVAC PLAN	128.1	128.2							128.1	128.2												SEP-5
CRAWL SPACE HVAC PLAN	129								129													SEP-6
FIRST FLOOR HVAC PLAN	130								130													SEP-7
SECOND FLOOR HVAC PLAN	131								131													SEP-8

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	2480
SECOND FLOOR	GROSS SQ. FT.	1987
HOUSE TOTAL	GROSS SQ. FT.	4467

ELEVATIONS SQ. FT.

ELEVATION 'A'	GROSS SQ. FT.	+0
ELEVATION 'B'	GROSS SQ. FT.	+20
ELEVATION 'C'	GROSS SQ. FT.	+120
ELEVATION 'D'	GROSS SQ. FT.	+219
ELEVATION 'K'	GROSS SQ. FT.	+32
ELEVATION 'L'	GROSS SQ. FT.	-146

ADDITIONAL SQ. FT.

MORNINGS ROOM	GROSS SQ. FT.	+160
CONSERVATORY OR SUITE FIRST FLOOR	GROSS SQ. FT.	+352
SIDE ATTACHED GARAGE	GROSS SQ. FT.	+137
SIDE ATTACHED GARAGE W/ FAMILY OFFICE	GROSS SQ. FT.	+233
5TH BEDROOM LAYOUT	GROSS SQ. FT.	+352
SITTING AREA	GROSS SQ. FT.	+165
BONUS ROOM / BEDROOM	GROSS SQ. FT.	+348
2ND FLOOR LAUNDRY		
- ELEVATION 'A'	GROSS SQ. FT.	+105
- ELEVATION 'B'	GROSS SQ. FT.	+125
- ELEVATION 'C'	GROSS SQ. FT.	+123
- ELEVATION 'D'	GROSS SQ. FT.	+141
- ELEVATION 'K'	GROSS SQ. FT.	+82
- ELEVATION 'L'	GROSS SQ. FT.	+82

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	6349
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

RECREATION ROOM	GROSS SQ. FT.	+1244
MEDIA ROOM	GROSS SQ. FT.	+317
HOME OFFICE	GROSS SQ. FT.	+233
BASEMENT BATH	GROSS SQ. FT.	+68
BASEMENT CLOSET	GROSS SQ. FT.	+44
EXERCISE ROOM	GROSS SQ. FT.	+219

FOOTPRINT

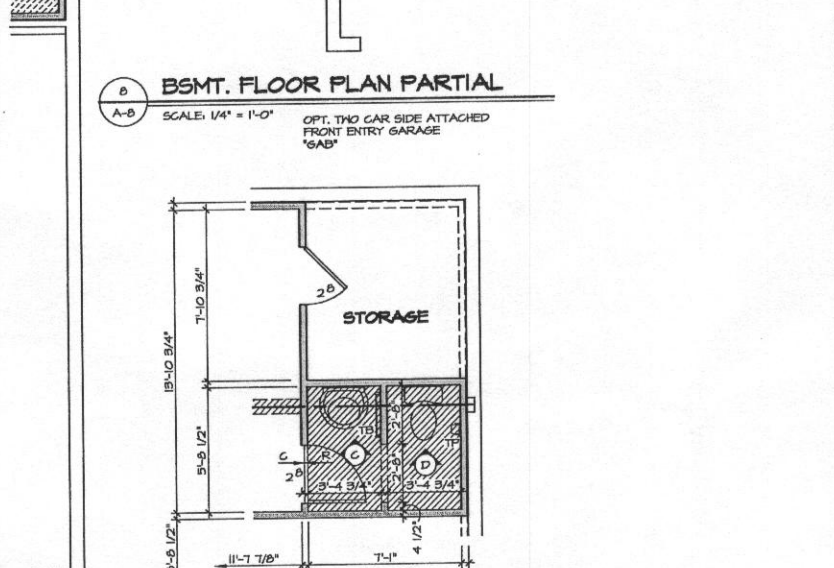
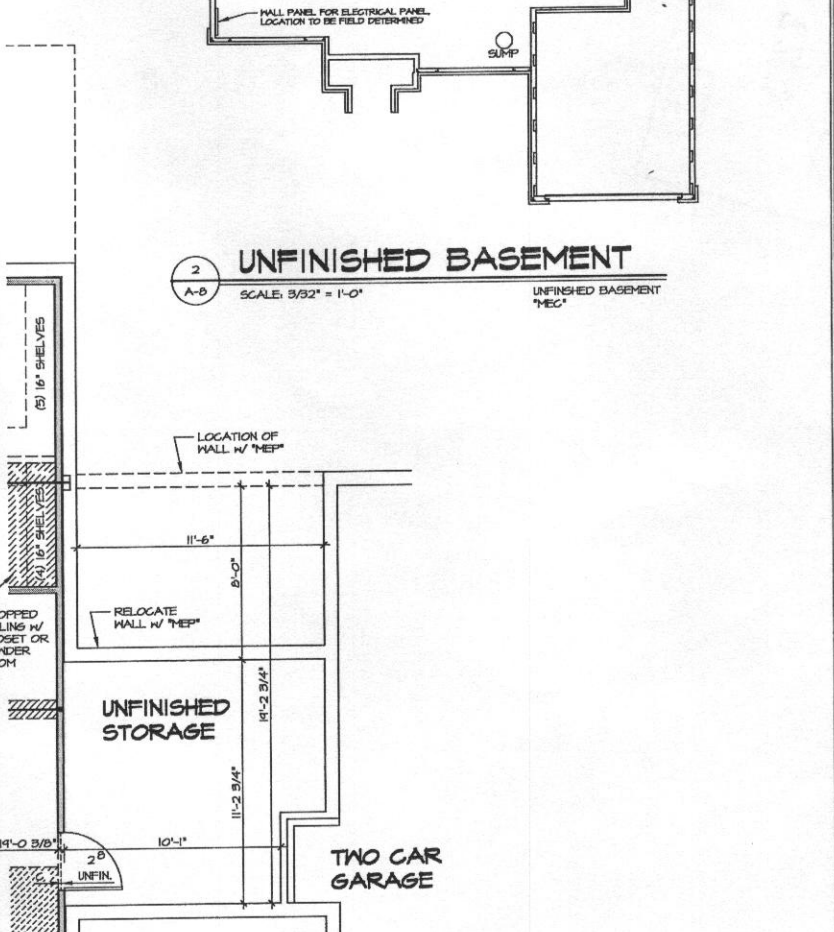
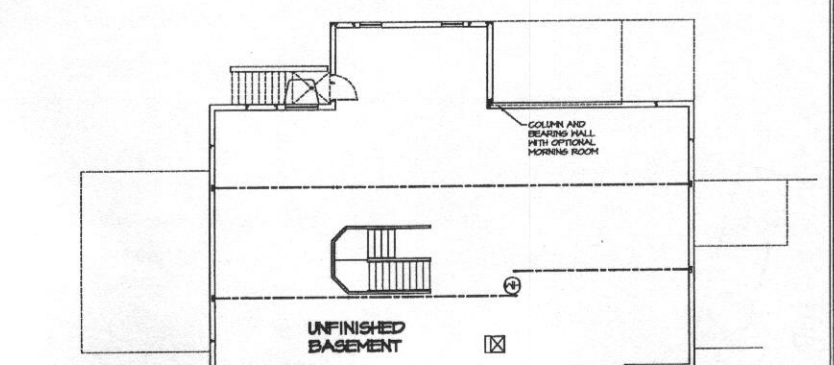
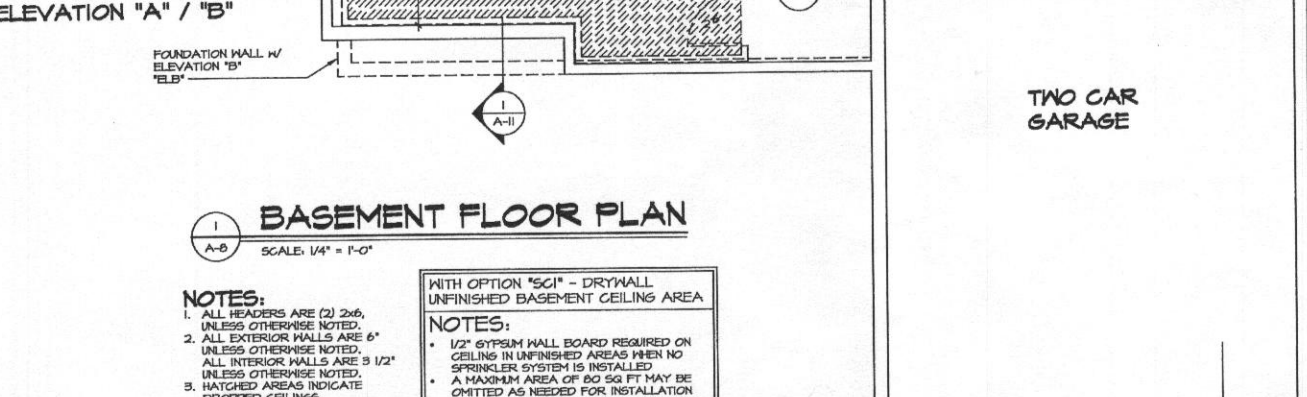
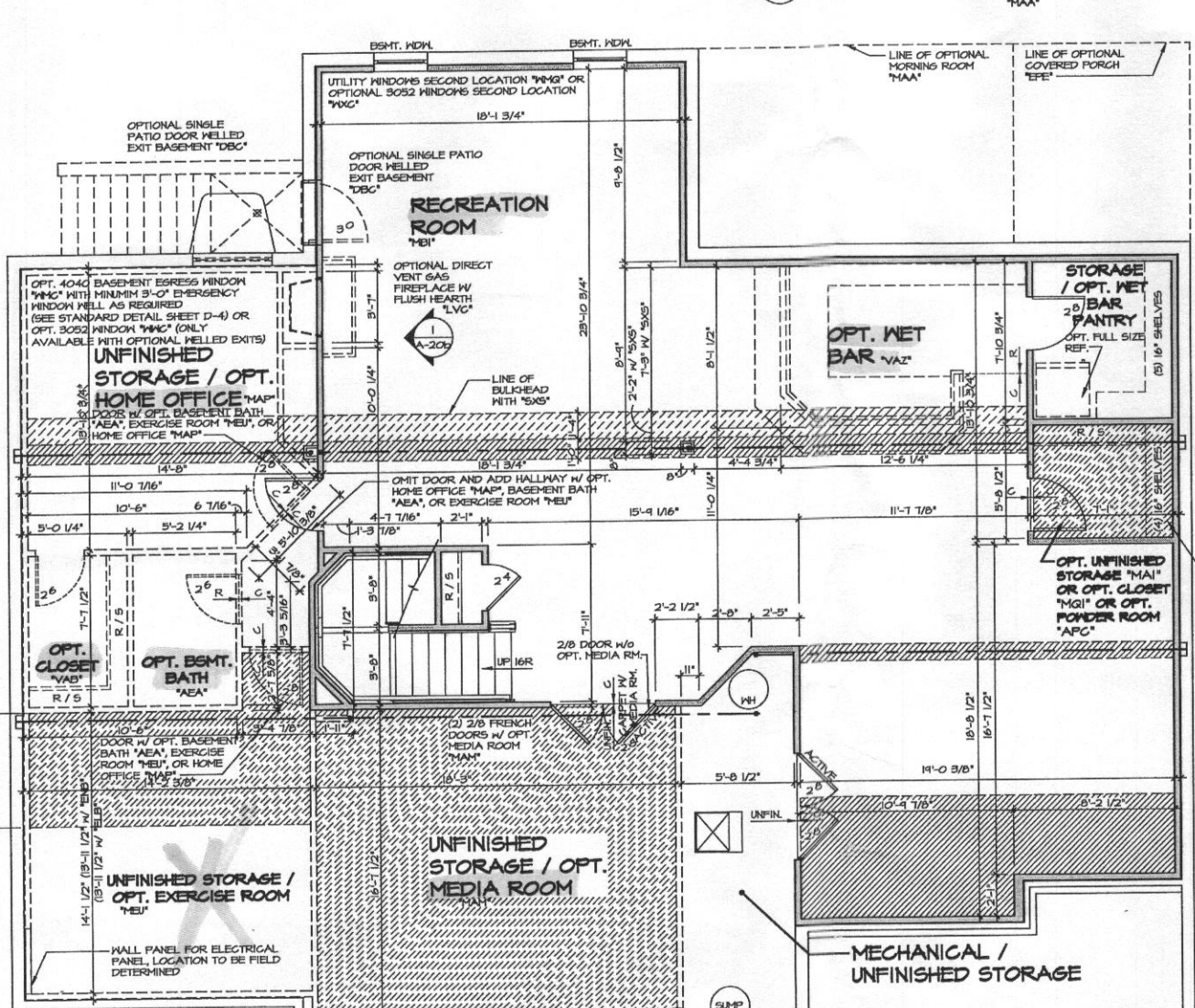
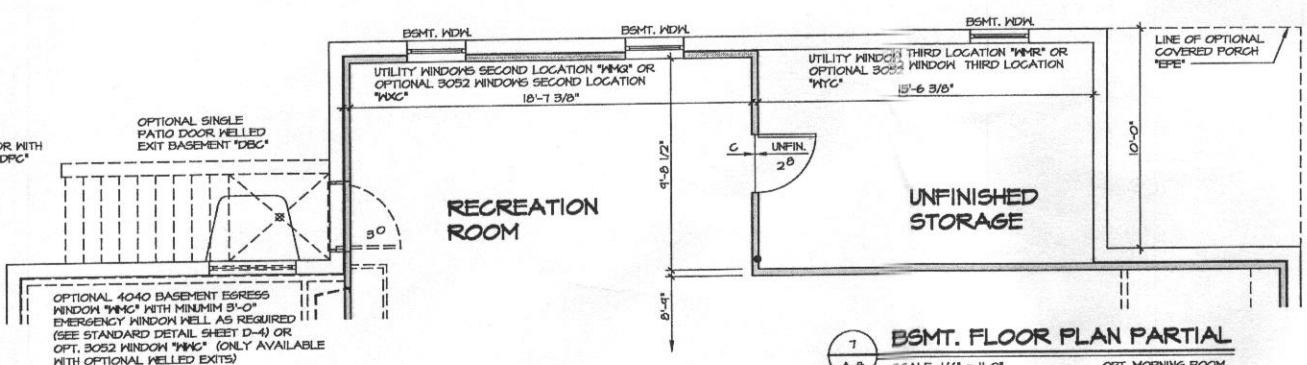
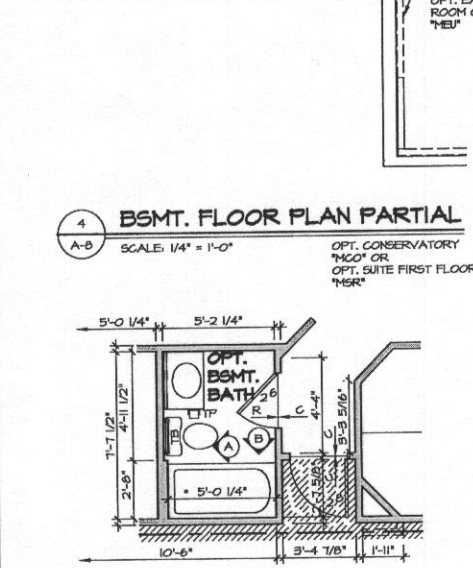
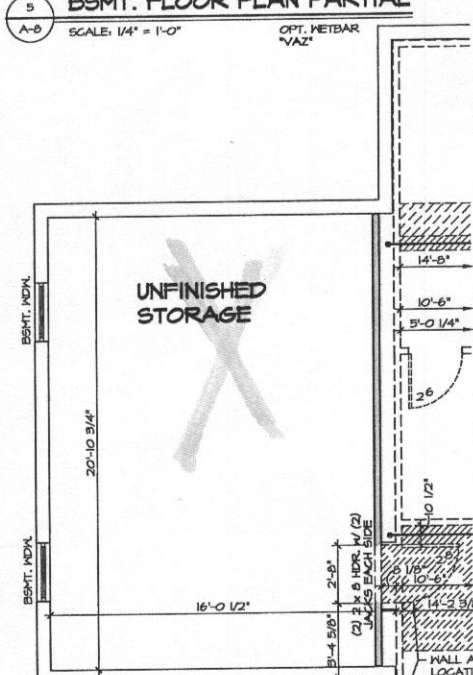
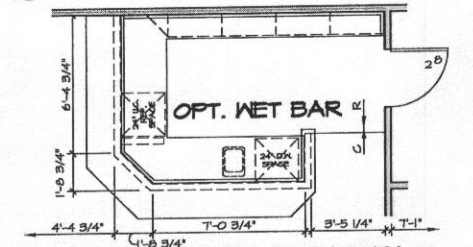
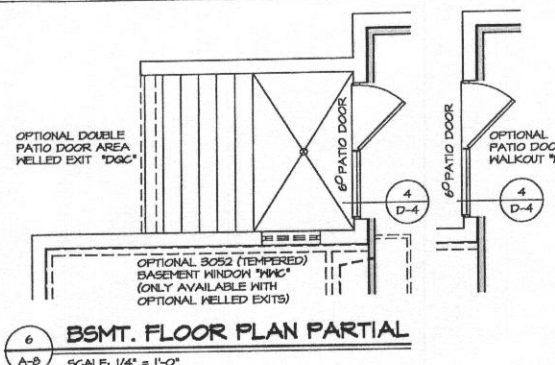
BASE HOUSE:	
WIDTH:	60'-4"
DEPTH:	68'-4"
MAXIMUM:	
WIDTH:	110'-8"
DEPTH:	78'-8"

SET - VERSION

10300-01

CS-1

JA:Oswald\DETACHED CLIFTON PARK II 10300-01\CS1.DWG 12/25/14 8:38 am



NOTES:

- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
- WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

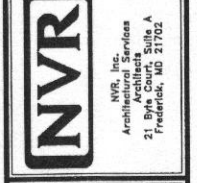
WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ. FT. MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

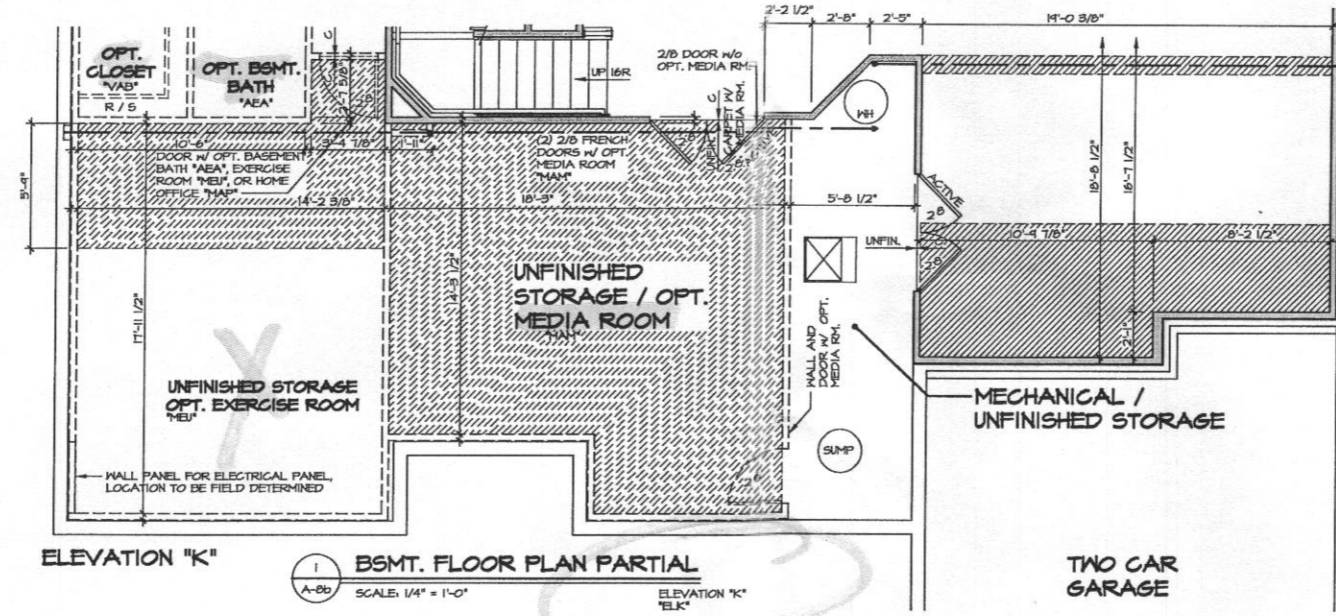
REV. NO.	DATE	REMARKS
1	07/21/14	CEL - REVISED GRAPHICAL ERROR
2	11/25/14	LSA - AUDIT REVISIONS
3	12/29/14	BSA - ADDED THE MORGIS OR TO (B) OPTIONS AT POWDER ROOM FASE 2#1956
4	3/27/14	1956 - AUDIT (REV. 03-01)
5	4/23/14	1956 - TIB CONVERSION
6	4/23/14	1956 - ADDED "SC" NOTE
7	5/29/14	1956 - ADDED "SBS" BLK/HEAD
8	6/29/14	1956 - REPLACED (T) JLS AT MORNING ROOM (V) COLUMN (PASE 2#489-9)
9	6/29/14	1956 - TURNED ON LAYERS THAT SHOW DOOR SIZE AND DIMENSIONS

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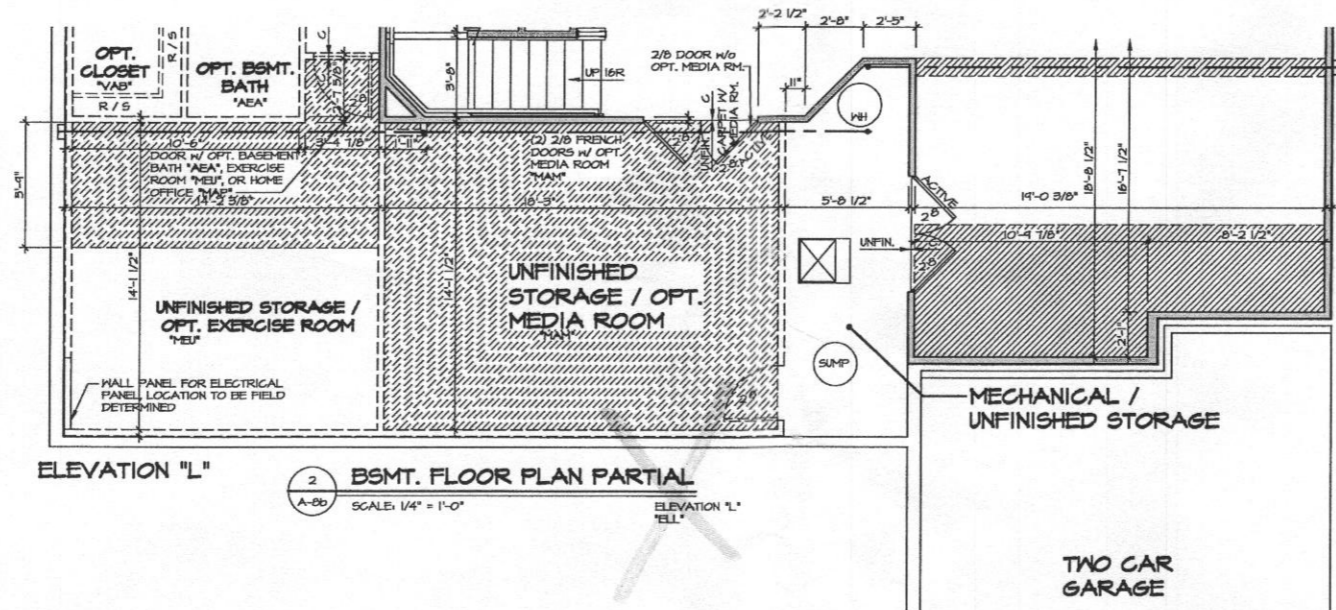


SET NO. 10300
VERSION 01
DRAWN BY A-JH
DATE: 1/10/15
OPTION FBA

MODEL CLIFTON PARK II
DRAWING TITLE BASEMENT PLAN
SHEET NO. A-8
OPTION DESCRIPTION FULL BASEMENT
46.1



ELEVATION "K" 1 BSMT. FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0" ELEVATION "K" "ELK"



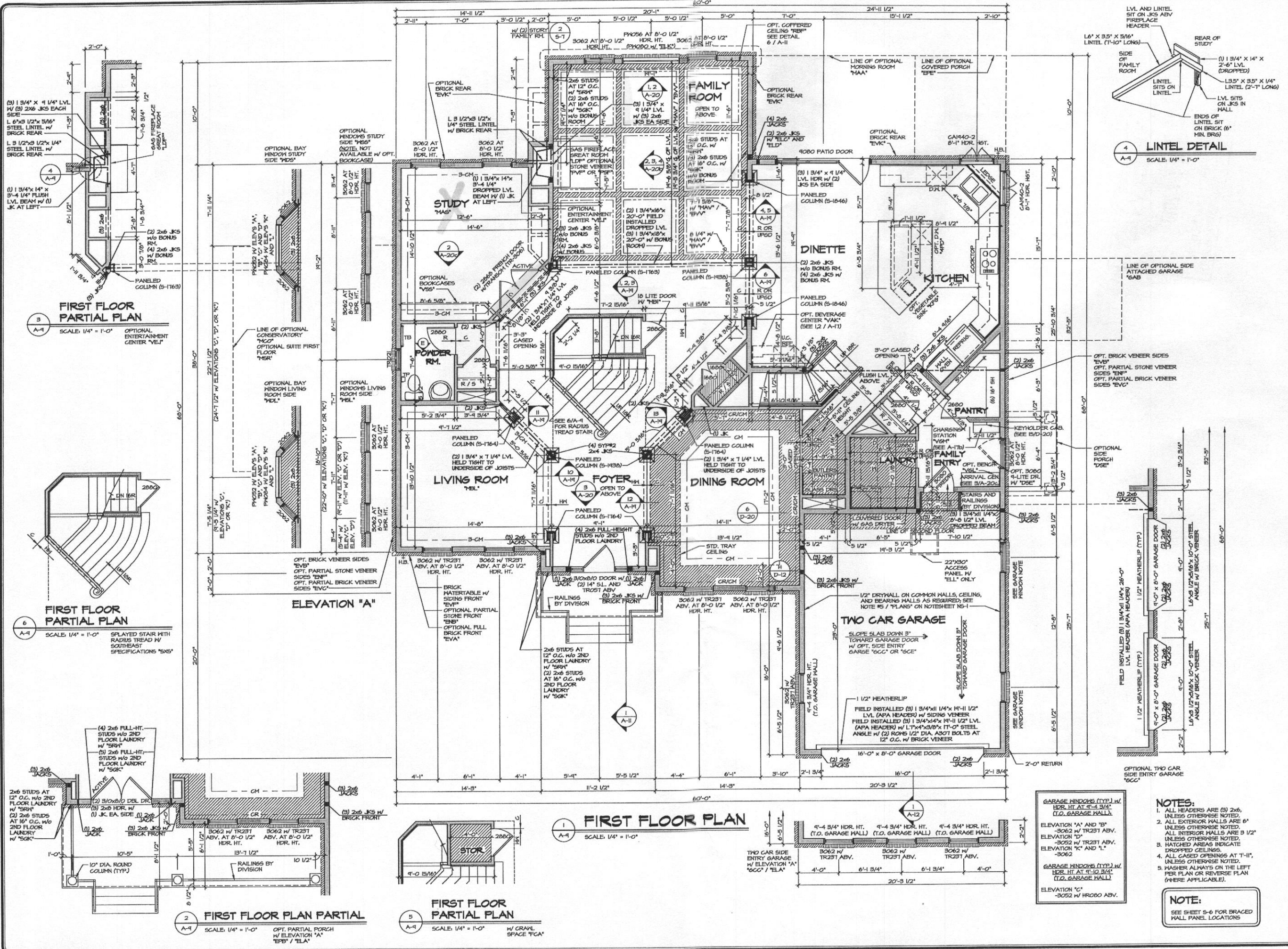
ELEVATION "L" 2 BSMT. FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0" ELEVATION "L" "ELL"

NOTE:
 FOR ADDITIONAL BASEMENT INFORMATION AND AVAILABLE OPTIONS, SEE SHEET A-8

- NOTES:**
- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 8 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS.
 - ALL CASSED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

REV. NO.	DATE	BY	CHKD.	REVISIONS	REMARKS				
1	11/25/14	BSA	AUDIT	REVISED					
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NVR Inc. Architects/Engineers 21 Bye Court, Suite A Frederick, MD 21704									
MODEL	SET NO.	DRAWING TITLE	VERSION	DATE	OPTION				
A-8b	10300	CLIFTON PARK II BASEMENT PARTIAL PLANS	01	5/8/14	PBA				
SHEET NO.	OPTION DESCRIPTION								
A-8b	FULL BASEMENT ELEVATION "K" ELEVATION "L"								
46.3									



4 LINTEL DETAIL
SCALE: 1/4" = 1'-0"

3 FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"

6 FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"

2 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"

5 FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	10/24/14	ISSUE FOR PERMITS
2	11/19/14	REVISED HORIZONTAL IN REAR STAIR (PAR 24895)
3	11/19/14	BLK - REVISED WINDOW LOCATION FOR "LVL" LEFT SIDE WINDOW "LVL" (PAR 10, 20)
4	12/29/14	CLS - ADDED NOTATION FOR CROWN AT PERIMETER OF ARRIVAL CENTER RM (PAR 10, 20)
5	01/09/15	CLS - REVISED THE MOUTH OF THE ARRIVAL CENTER RM (PAR 10, 20)
6	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
7	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
8	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
9	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
10	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
11	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
12	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
13	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
14	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
15	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
16	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
17	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
18	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
19	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)
20	01/09/15	J.R. - REVISED FULL COLUMNS FROM 5-1/2" TO 5-1/8" (PAR 24895)

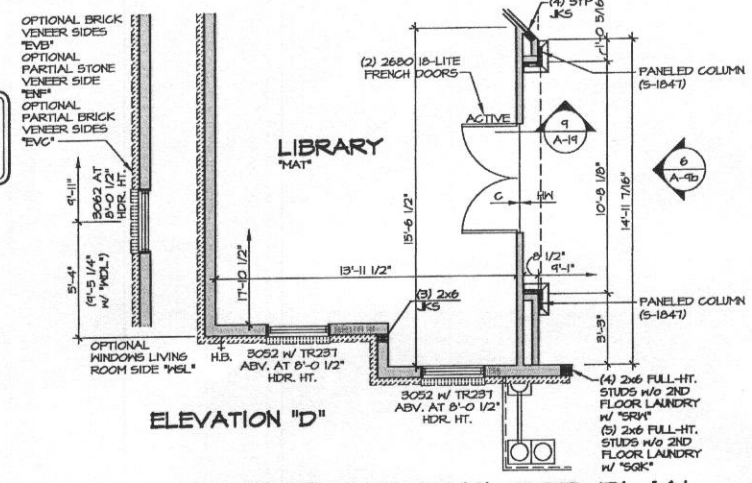
NVR
Architectural Services
21 Bye Court, Suite A
Frederick, MD 21702

MODEL: CLIFTON PARK II
DRAWING TITLE: FIRST FLOOR PLAN
OPTION DESCRIPTION: OPTION

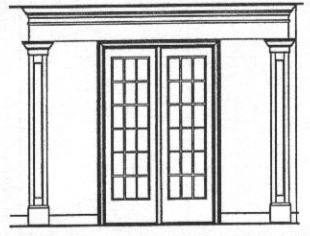
SHEET NO.	SET NO.	DATE
A-9	10300	12/7/12

DATE: 12/7/12
DRAWN BY: A-JH
OPTION

NOTE:
FOR OPTIONAL BAY WINDOW
LIVING ROOM SIDE "MCL"
INFORMATION, SEE SHEET A-1

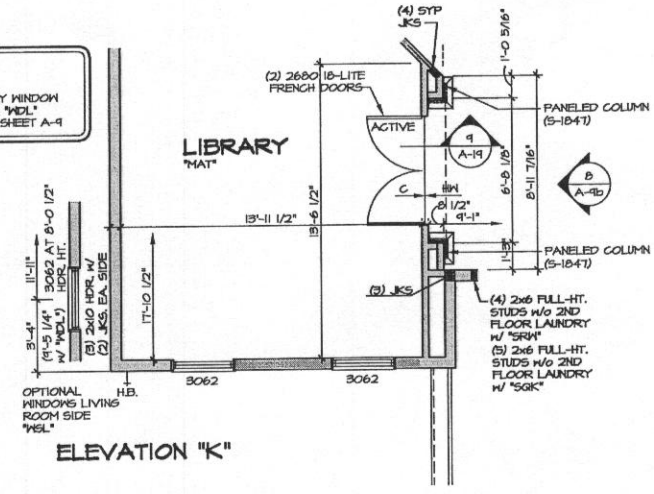


ELEVATION "D"
PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"

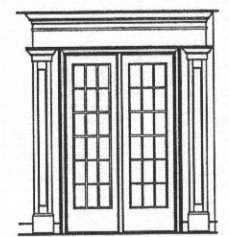


PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"
ELEVATION "D"
"ELD"

NOTE:
FOR OPTIONAL BAY WINDOW
LIVING ROOM SIDE "MCL"
INFORMATION, SEE SHEET A-1

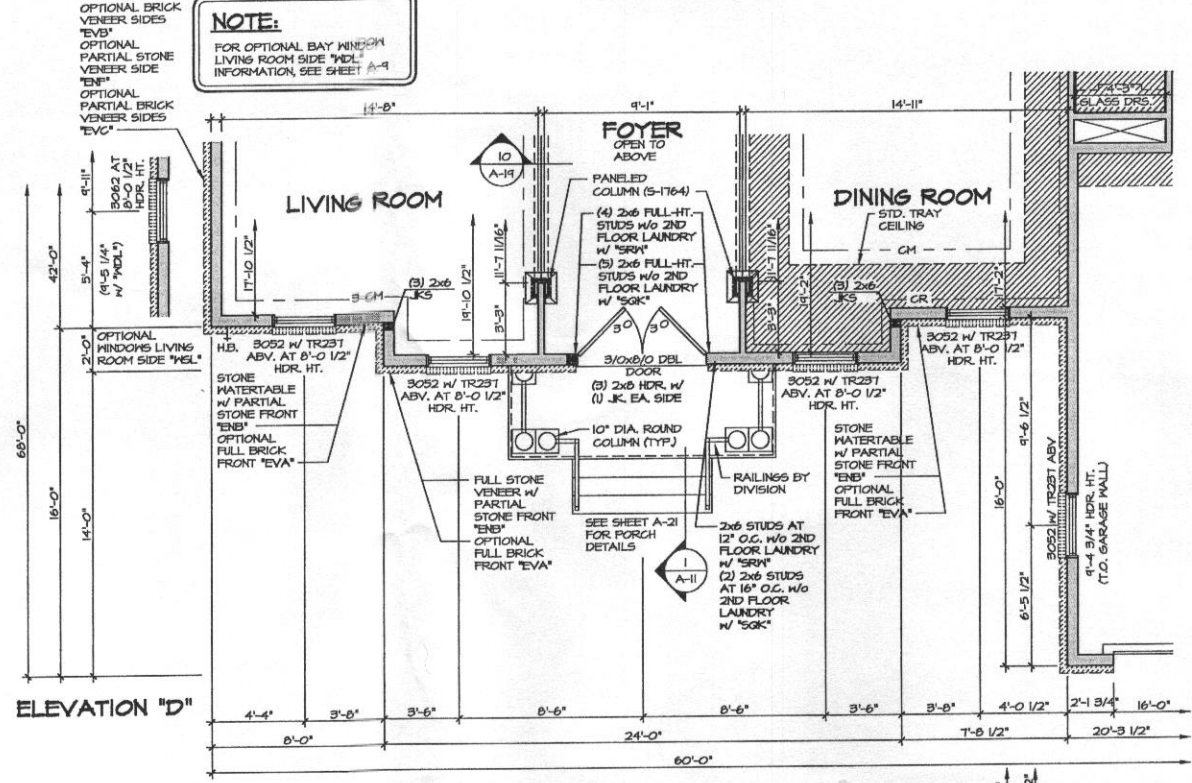


ELEVATION "K"
PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"



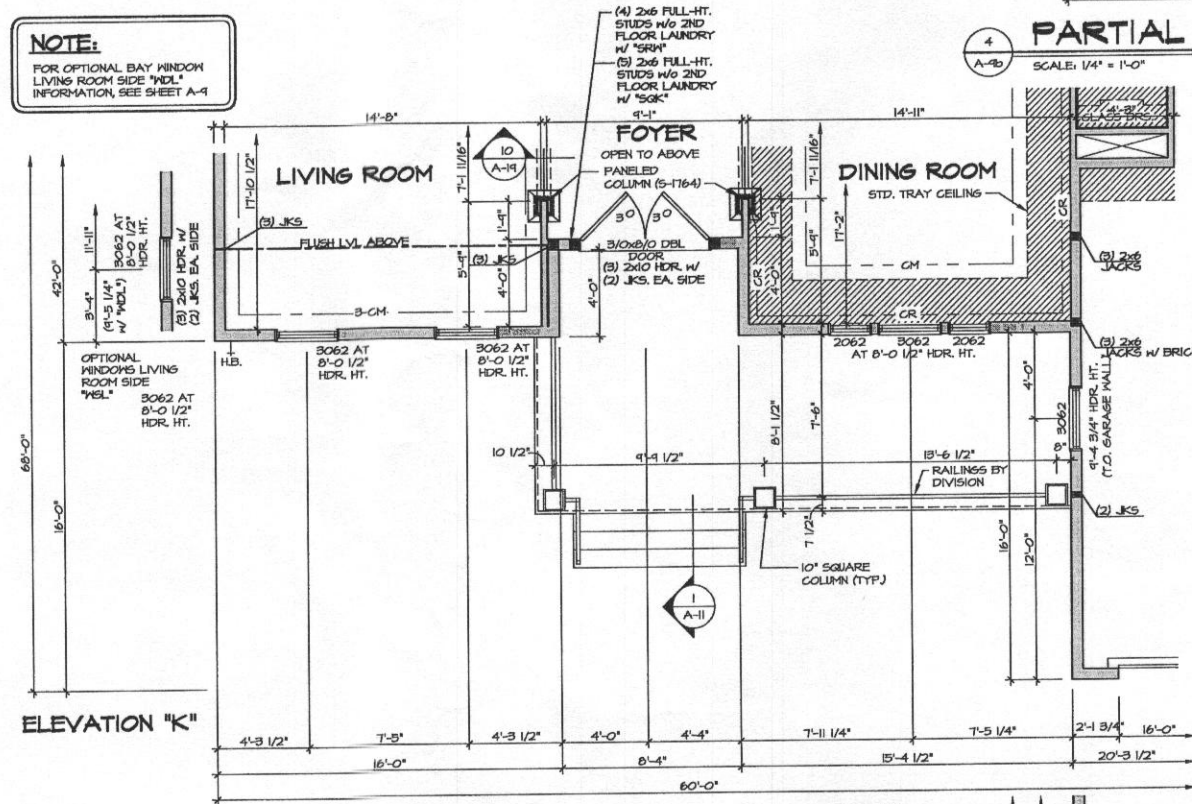
PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"
ELEVATION "K"
"ELK"

NOTE:
FOR OPTIONAL BAY WINDOW
LIVING ROOM SIDE "MCL"
INFORMATION, SEE SHEET A-1



PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"

NOTE:
FOR OPTIONAL BAY WINDOW
LIVING ROOM SIDE "MCL"
INFORMATION, SEE SHEET A-1



PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"

PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY
GARAGE "600"

PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY
GARAGE "600"

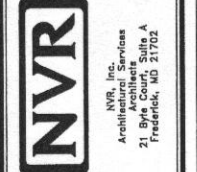
NOTE:
FOR ADDITIONAL GARAGE AND
FIRST FLOOR INFORMATION,
SEE SHEET A-1

- NOTES:**
- (1) 2x6 JK OR (2) 2x6 JKs w/ BRICK FRONT
 - ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET 5-6 FOR BRACED
WALL PANEL LOCATIONS

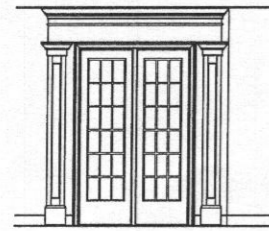
REV. NO.	DATE	REMARKS
1	8/24/14	A.J.H. - ADIT RNY BX 001
2	8/24/14	A.J.H. - ADIT RNY BX 001
3	8/24/14	L.S.S. - CHANGED PAGE NUMBER
4	8/24/14	L.L.E. - REVISED ELEVATION "D" FRENCH
5	10/21/14	L.C.E. - ADDED JACKS AT ELK PORCH BEAM
6	1/15/15	ELK - REVISED WINDOW LOCATION FOR "ELD" LEFT SIDE WINDOW "MCL" (PAR. 3012)

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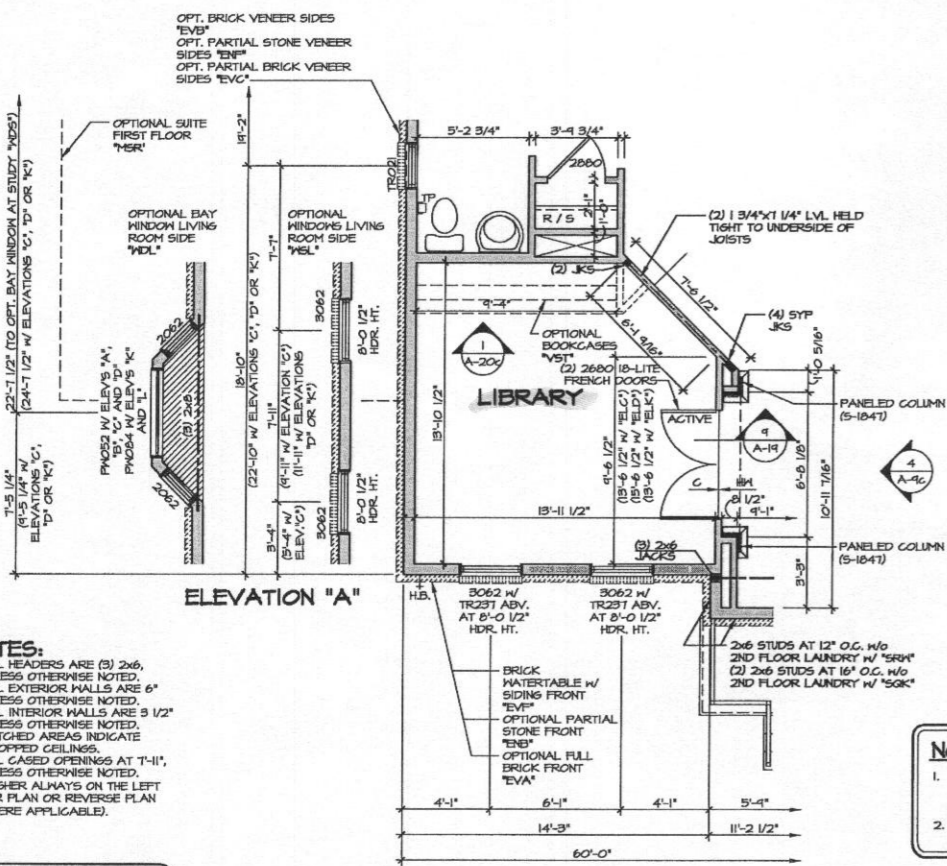


SHEET NO. 10800
VERSION 01
DRAWN BY A.J.H.
DATE: 12/21/12
OPTION
ELD
ELK

MODEL
CLIFTON PARK II
DRAWING TITLE
FIRST FLOOR PARTIAL PLANS
OPTION DESCRIPTION
ELEVATION "D"
ELEVATION "K"
49.1



4 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"

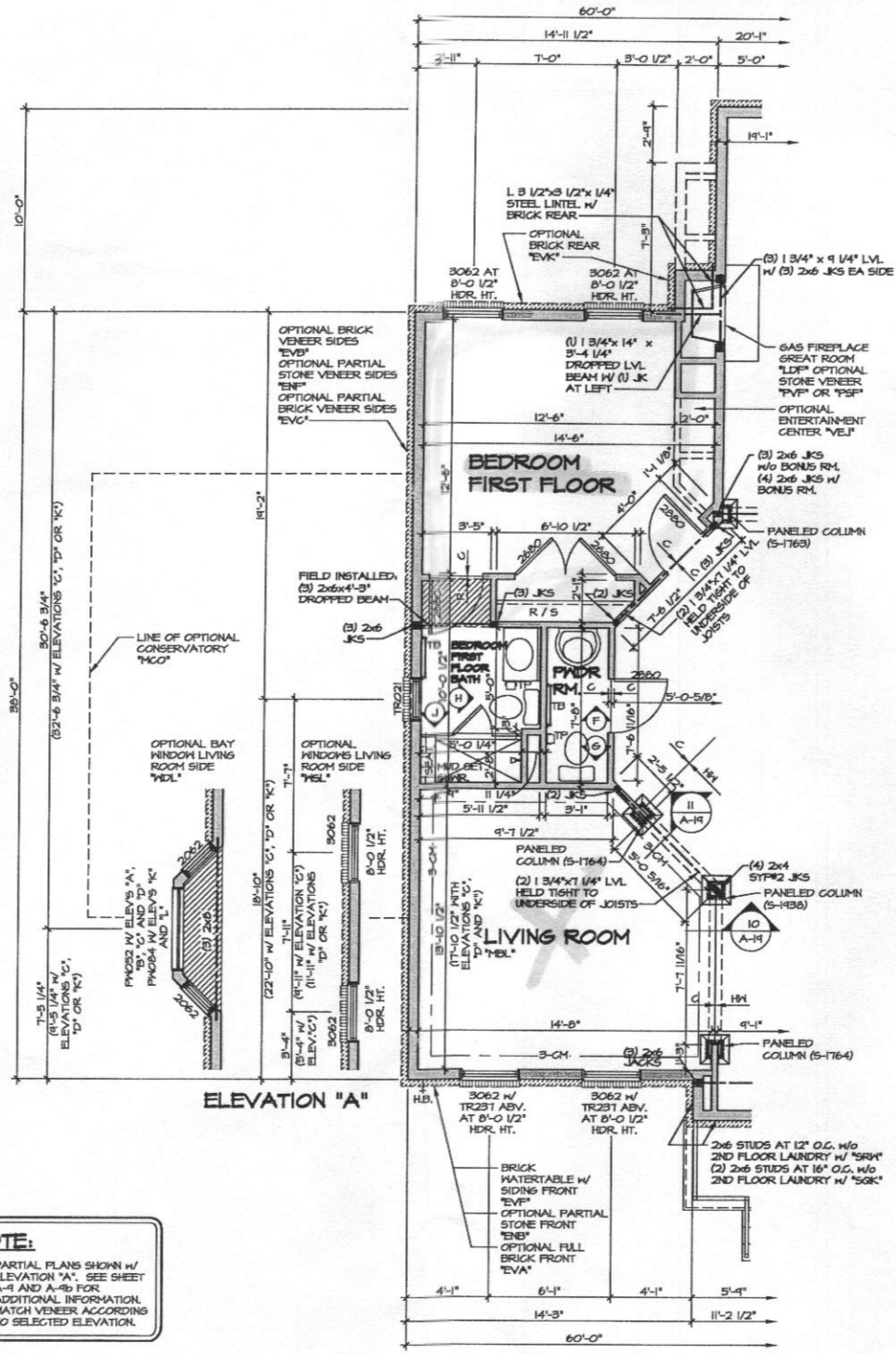


- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

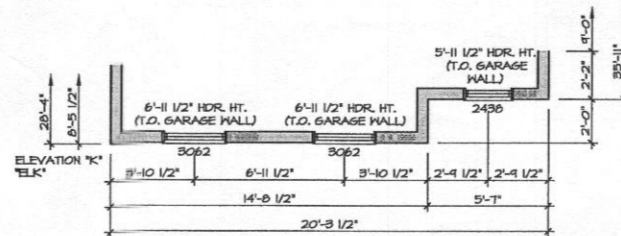
NOTE:
SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

1 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"
NOTE: N/A W/ OPT. CONSERVATORY "MCO"

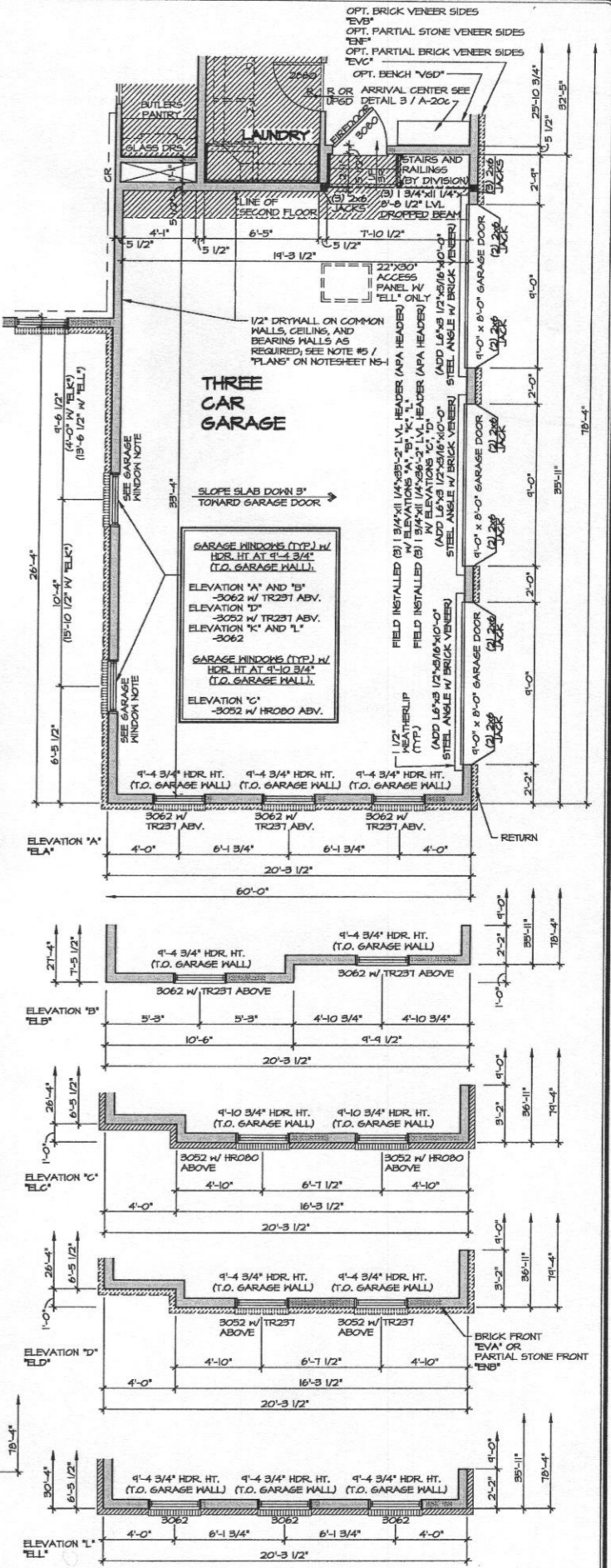
- NOTE:**
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-1 AND A-9b FOR ADDITIONAL INFORMATION.
 2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
BEDROOM FIRST FLOOR "BAR"
NOTE: N/A W/ OPT. SUITE FIRST FLOOR "MSR"



3 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
THREE CAR GARAGE SIDE ENTRY "GCE"

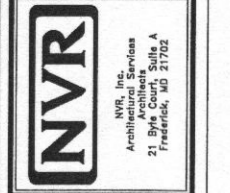


REVISIONS

REV. NO.	DATE	DESCRIPTION
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3	1/22/14	ISSUE FOR PERMITS
4	1/22/14	ISSUE FOR PERMITS
5	1/22/14	ISSUE FOR PERMITS
6	1/22/14	ISSUE FOR PERMITS
7	1/22/14	ISSUE FOR PERMITS
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10	1/22/14	ISSUE FOR PERMITS

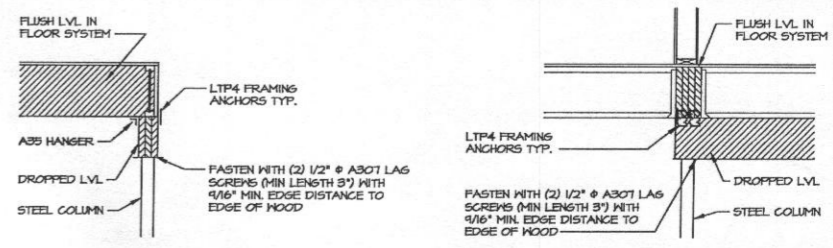
REVISIONS

REV. NO.	DATE	DESCRIPTION
1	1/22/14	ISSUE FOR PERMITS
2	1/22/14	ISSUE FOR PERMITS
3	1/22/14	ISSUE FOR PERMITS
4	1/22/14	ISSUE FOR PERMITS
5	1/22/14	ISSUE FOR PERMITS
6	1/22/14	ISSUE FOR PERMITS
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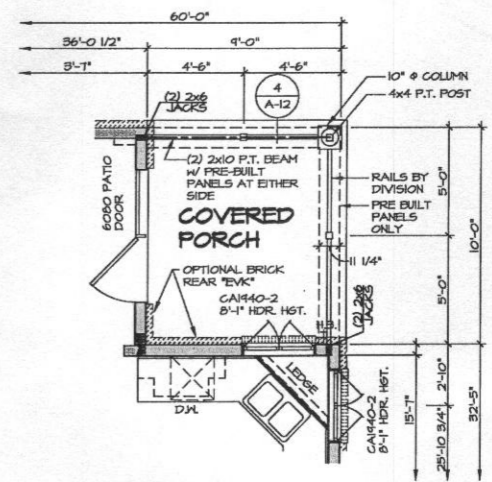


PROJECT NO.	CLIFTON PARK II
VERSION	01
DRAWN BY	A-JH
DATE	1/2/15
OPTION	MAT
DESCRIPTION	LIBRARY BEDROOM FIRST FLOOR THREE CAR SIDE ENTRY GARAGE
SHEET NO.	A-9c
TOTAL SHEETS	50

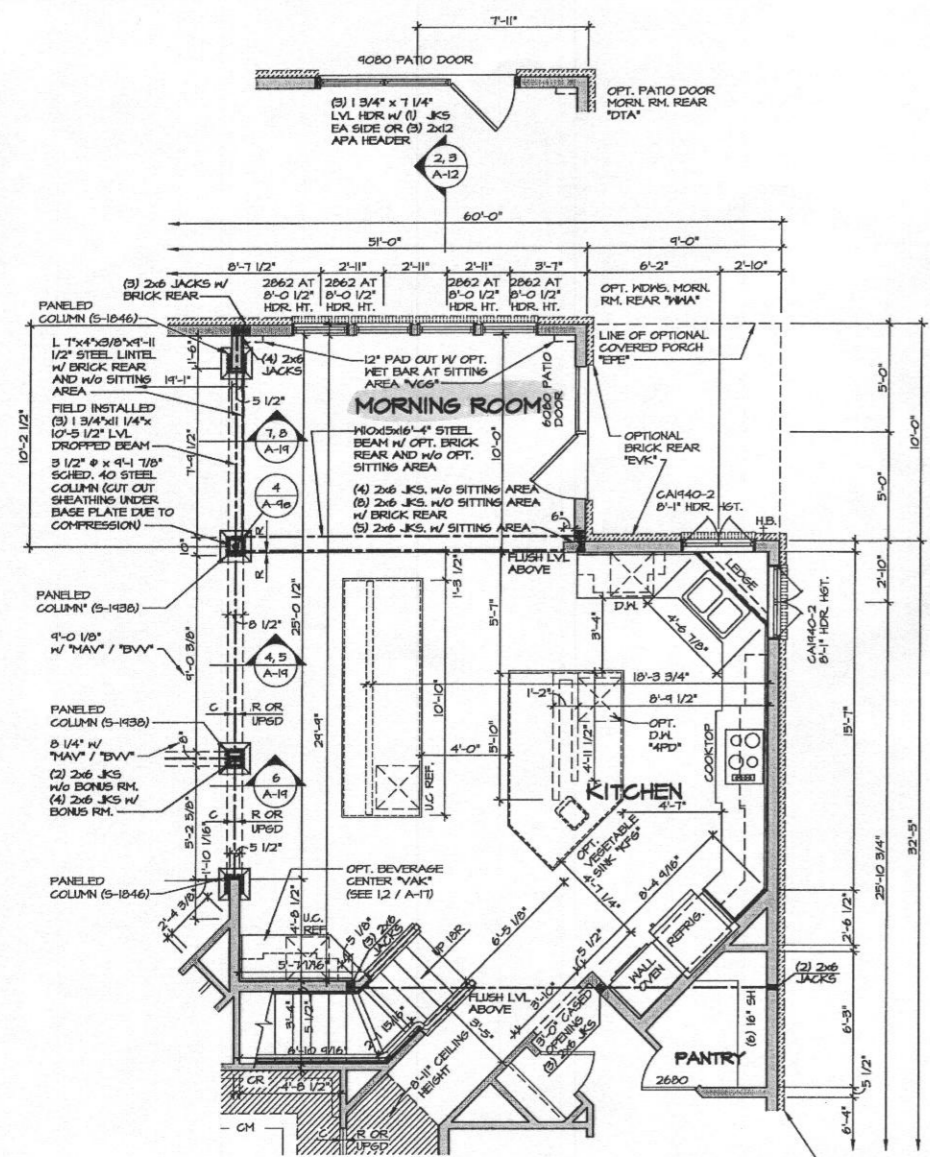
J:\DWG\14\DETACHED\CLIFTON PARK II\10500-01A\PLAN\MAT_BAR.dwg 12/17/14 - 11:54 AM



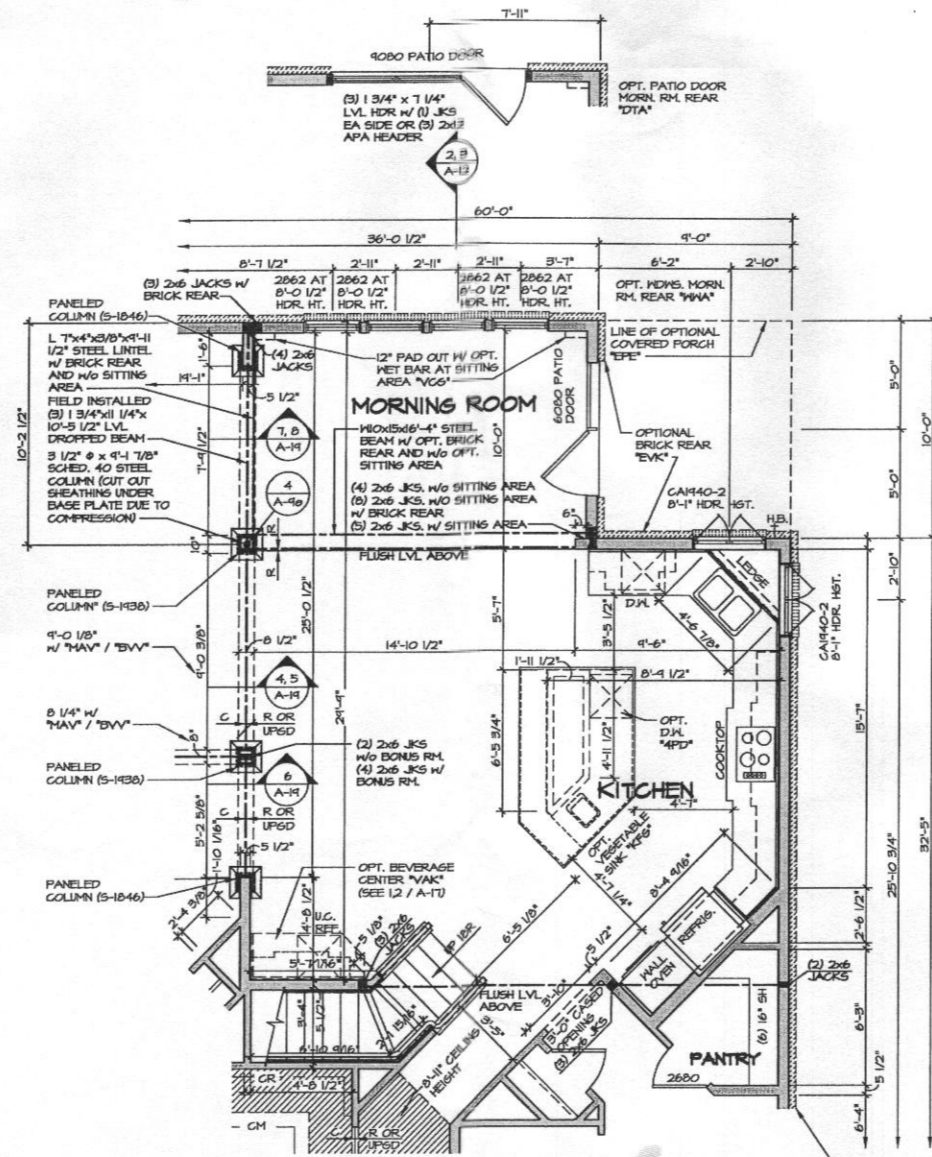
ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
COVERED PORCH
NOTE: ONLY AVAILABLE W/ "MAA"



PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM W/ SCOURNET ISLAND
"MAA" / "MFP"



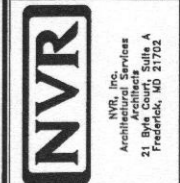
PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM
"MAA"

NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-1 AND A-2 FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
5. WAGERS ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

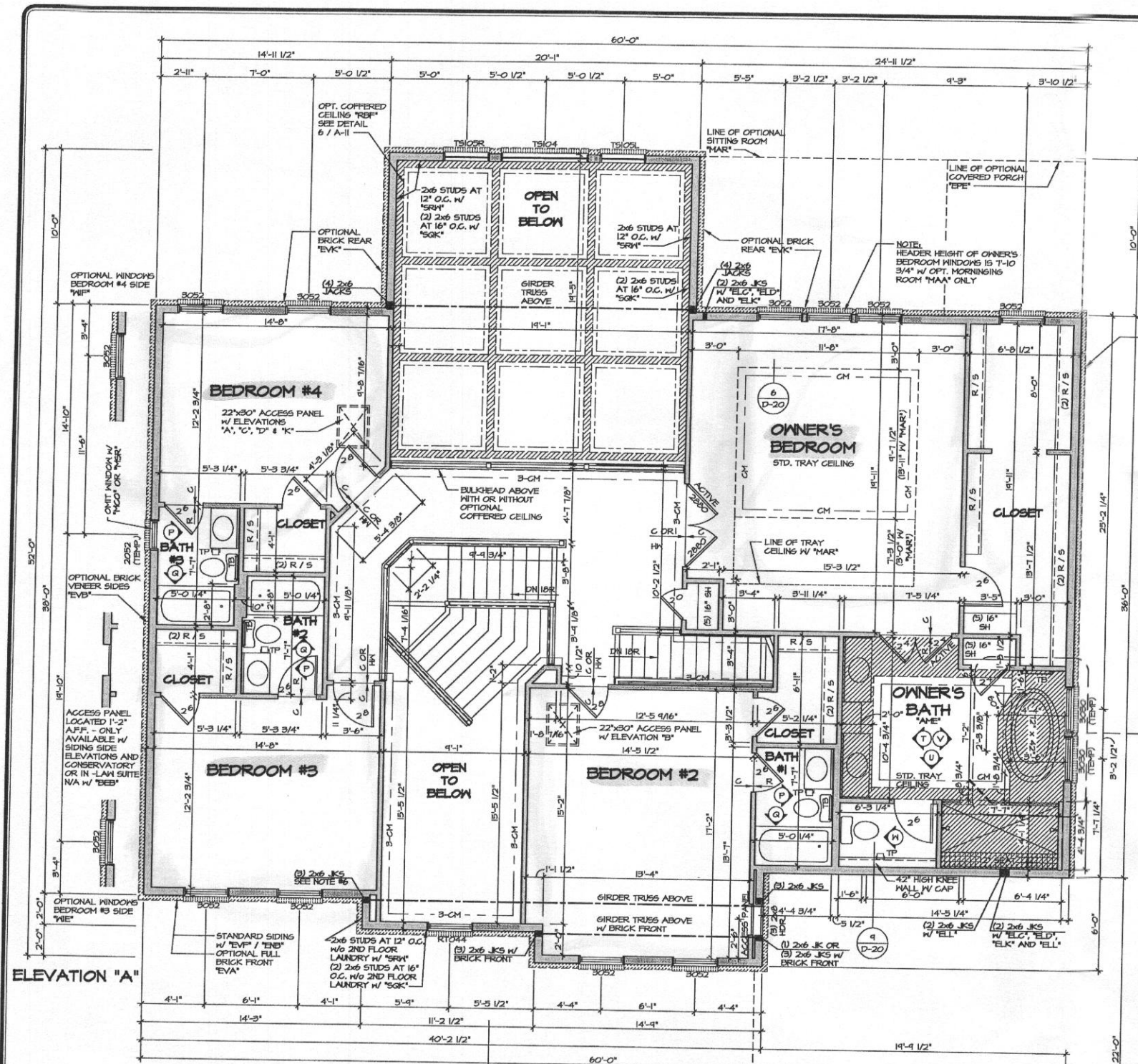
NOTE:
SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	DESCRIPTION
1	10/21/14	ISSUED FOR PERMIT
2	11/10/14	ISSUED FOR PERMIT
3	11/10/14	ISSUED FOR PERMIT
4	11/10/14	ISSUED FOR PERMIT
5	11/10/14	ISSUED FOR PERMIT
6	11/10/14	ISSUED FOR PERMIT

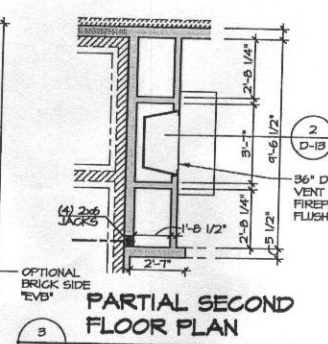


SHEET NO. A-90	MODEL CLIFTON PARK II
DRAWING TITLE FIRST FLOOR PARTIAL PLANS	DATE: 1/4/15
OPTION DESCRIPTION MORNING ROOM	OPTION MAA
52	

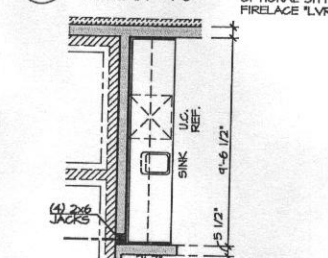
1:\DWG\A\DETACHED\CLIFTON PARK II\10500-01\PLAN\MAA.dwg 03/20/15 - 9:08 AM



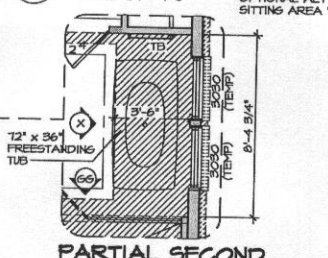
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



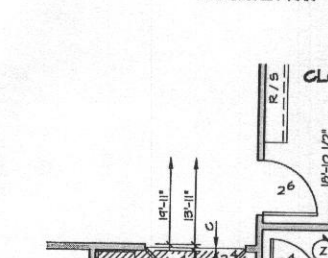
2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



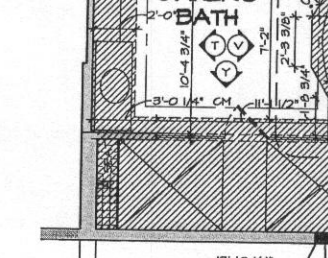
3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



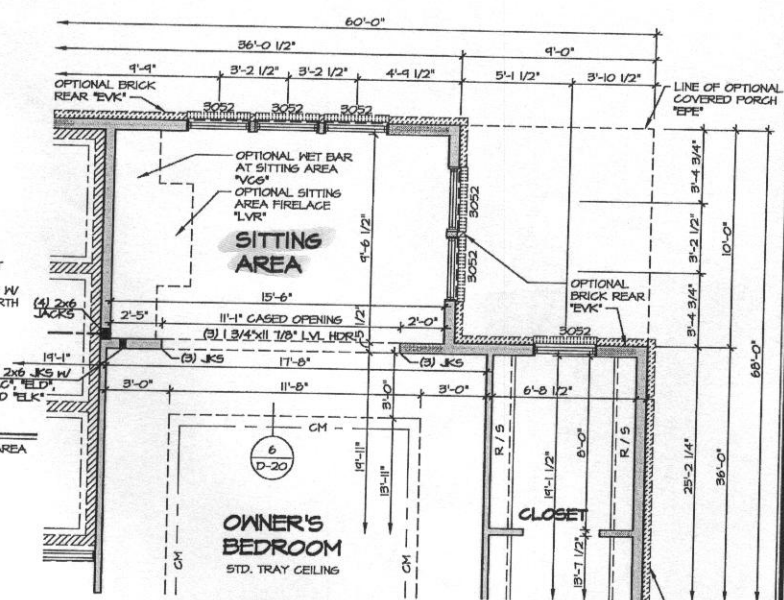
4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



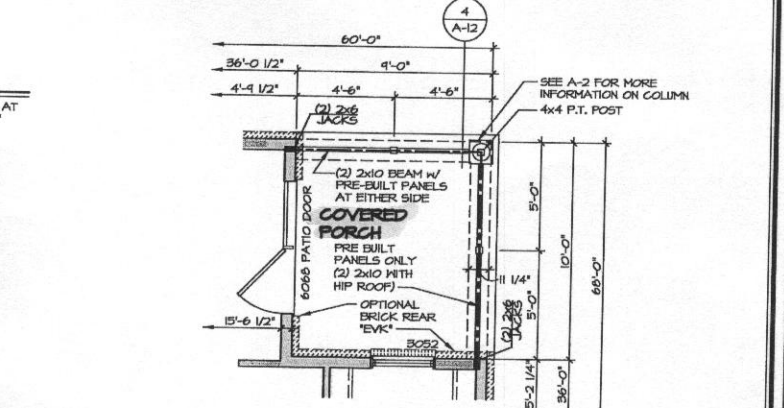
5 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



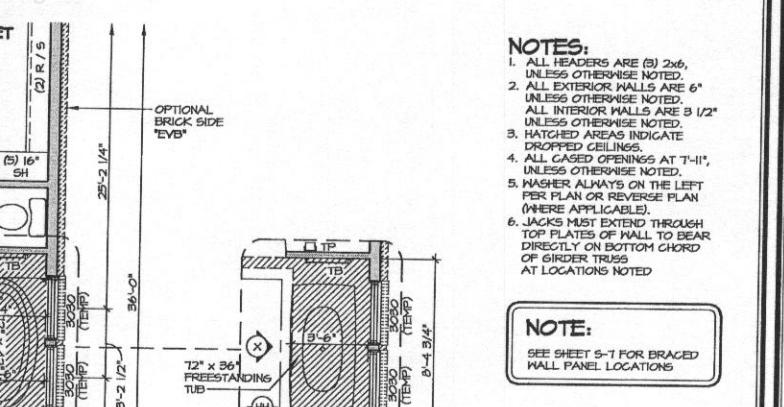
6 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



7 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



8 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



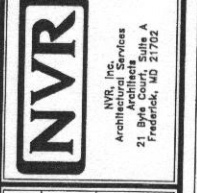
9 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL HEADERS ARE (B) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILINGS.
 4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-1 FOR BRACED WALL PANEL LOCATIONS

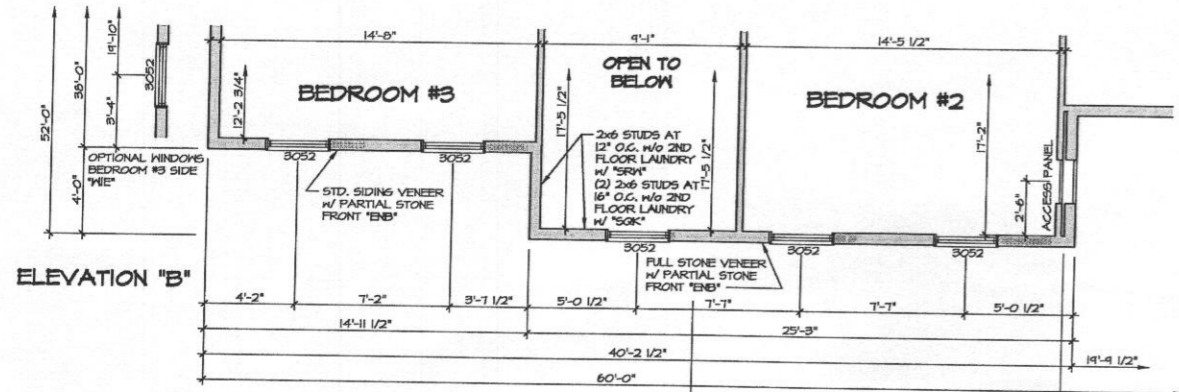
REV. NO.	DATE	REMARKS
1	02/14/12	CLP - MATCHED DIMENSIONS
2	02/14/12	CLP - REVISED TRAY CEILING W/ 'MAR' TO MATCH ROOF DRAINING (PAR ID 2501)
3	02/14/12	CLP - ADIT REVISIONS
4	02/14/12	CLP - REVISED HORIZONTAL IN REAR STAIR (PAR 2495)
5	02/14/12	CLP - ADDED BULKHEAD NOTE AT OVERLOOK INTO HALLWAY ROOM (PAR 2494)
6	02/14/12	CLP - REVISED REAR PORCH COLUMN NOTES
7	02/14/12	CLP - ADDED ELEVATION 'L' WINDOW NOTE
8	02/14/12	CLP - MODIFIED TRAY IN OWNER'S BATH (PAR 2496)
9	02/14/12	CLP - RELOCATED TOWER BAR (BATH 1 & 2) (PAR 2502)

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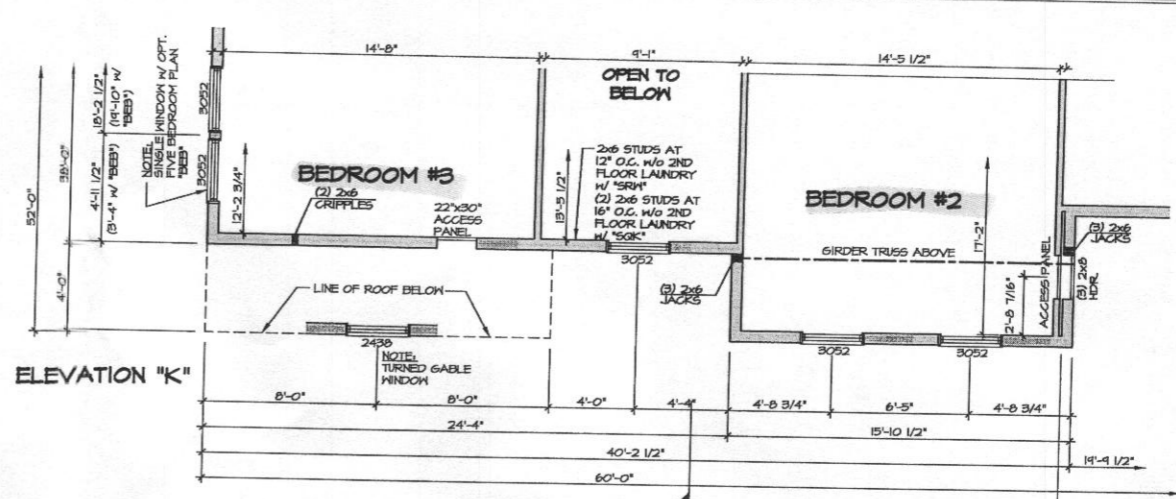


SET NO. 10300	VERSION 01
MODEL CLIFTON PARK II	DRAWN BY ALH
SHEET NO. A-10	DATE: 12/21/12
OPTION DESCRIPTION	OPTION

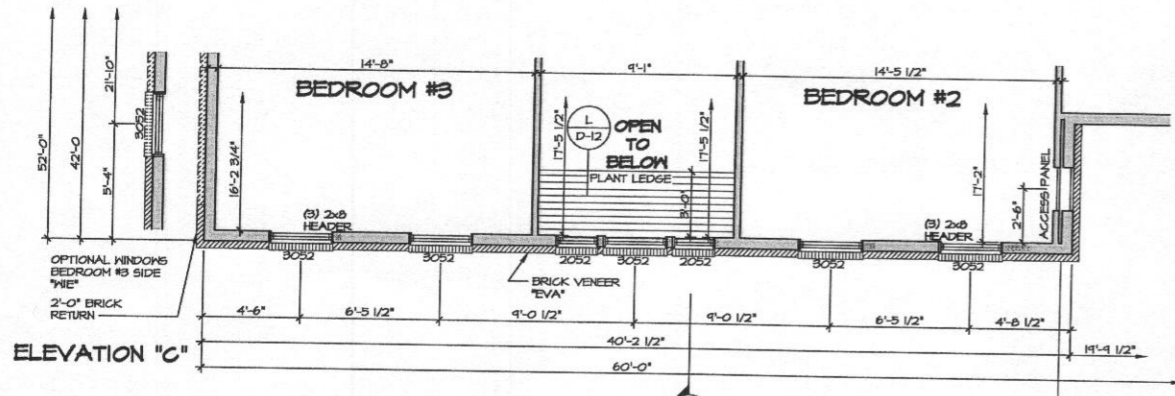
MODEL CLIFTON PARK II	OPTION DESCRIPTION
SHEET NO. A-10	OPTION
DRAWING TITLE SECOND FLOOR PLAN	OPTION
54	



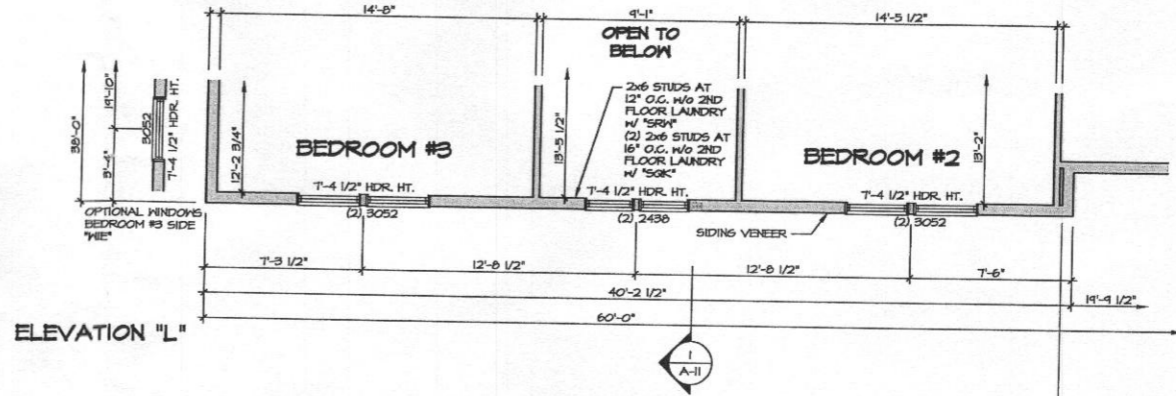
1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "B"
"ELB"



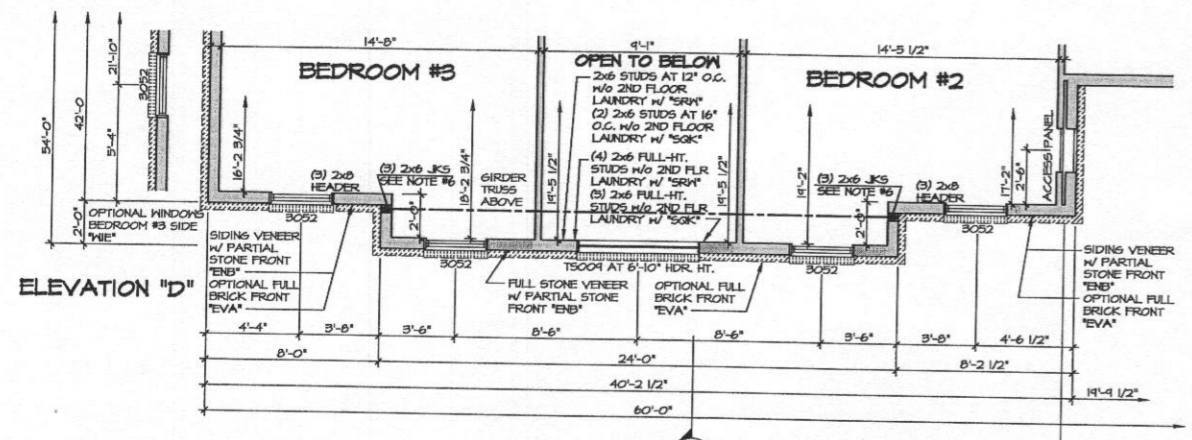
4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"
"ELK"



2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "C"
"ELC"



5 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "L"
"ELL"



3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"
"ELD"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6 UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. ALL CASED OPENINGS AT "H-I", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
FOR GARAGE GABLE WINDOW AND ADDITIONAL INFORMATION, SEE SHEET A-10

NOTE:
SEE SHEET 5-7 FOR BRACED HALL PANEL LOCATIONS

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>7/7/19</td> <td>SM - ADDED PLANT LEASE DETAIL</td> </tr> <tr> <td>2</td> <td>5/6/14</td> <td>AJH - ADDED ELEVATION "L", ADDED ATTIC ACCESS PANEL</td> </tr> <tr> <td>3</td> <td>10/2/14</td> <td>CEL - REVISED BRICKWORK, BRICK WITH SIDE WINDOWS</td> </tr> <tr> <td>4</td> <td>10/2/14</td> <td>AGS - REVISED ATTIC ACCESS TO FRONT HALL OF BEDROOMS WITH TELC (10/14/21)</td> </tr> <tr> <td>5</td> <td>1/10/15</td> <td>BLK - REVISED WINDOW LOCATION FOR "ELD" LEFT SIDE WINDOW "HIE" (PARAS 3029)</td> </tr> </tbody> </table>		REV. NO.	DATE	DESCRIPTION	1	7/7/19	SM - ADDED PLANT LEASE DETAIL	2	5/6/14	AJH - ADDED ELEVATION "L", ADDED ATTIC ACCESS PANEL	3	10/2/14	CEL - REVISED BRICKWORK, BRICK WITH SIDE WINDOWS	4	10/2/14	AGS - REVISED ATTIC ACCESS TO FRONT HALL OF BEDROOMS WITH TELC (10/14/21)	5	1/10/15	BLK - REVISED WINDOW LOCATION FOR "ELD" LEFT SIDE WINDOW "HIE" (PARAS 3029)
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<p>MODEL: CLIFTON PARK II</p> <p>DRIVING TITLE: SECOND FLOOR PARTIAL PLANS</p> <p>OPTION DESCRIPTION: ELEVATION "B", ELEVATION "C", ELEVATION "D", ELEVATION "K", ELEVATION "L"</p>																			
<p>SET NO. 10500</p> <p>VERSION 01</p> <p>DRAWN BY: AJH</p> <p>DATE: 12/27/12</p>	<p>OPTION: ELB, ELC, ELD, ELK, ELL</p>																		
<p>SHEET NO.: A-10b</p> <p>56</p>	<p>DATE: 01/15/15</p> <p>FILE: 10500_01_PLAN2_ELEV.dwg</p>																		

