



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 2-13-15

Permit No.: B15000592

Building Address: 2809 Rustic Manor Ct  
 City: Glenwood State: MD Zip Code: 21733  
 Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 1.37

Existing Use: House  
 Proposed Use: Bedroom & Bath  
 Estimated Construction Cost: \$ 20,000 1-story  
 Description of Work: Attached addition  
to bedroom & bath  
41' x 22' irregular  
 Occupant or Tenant: Leo Emond  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: Leo Emond  
 Address: 2809 Rustic Manor Ct  
 City: Glenwood State: MD Zip Code: 21733  
 Phone: 410-365-7600 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Leo Emond  
 Address: 2809 Rustic Manor Ct  
 City: Glenwood State: MD Zip Code: 21733  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Applicant's Name & Mailing Address, (If other than stated herein)**  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: Murdland Contracting  
 Contact Person: John Murdland  
 Address: 748 Woodland Ave  
 City: Greenbelt State: MD Zip Code: 21048  
 License No.: 104780  
 Phone: 410-254-2500 Fax: \_\_\_\_\_  
 Email: john@murdlandcontracting.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 <sup>st</sup> floor: _____
Area of construction (sq. ft.): _____	2 <sup>nd</sup> floor: _____
Use group: _____	Basement: _____
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: _____
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input type="checkbox"/> Masonry	No. of efficiency units: _____
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<b>➤ Roadside Tree Project Permit</b>	Footings: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof: _____
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_  
 Email Address: \_\_\_\_\_ Date: \_\_\_\_\_  
 Title/Company: \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

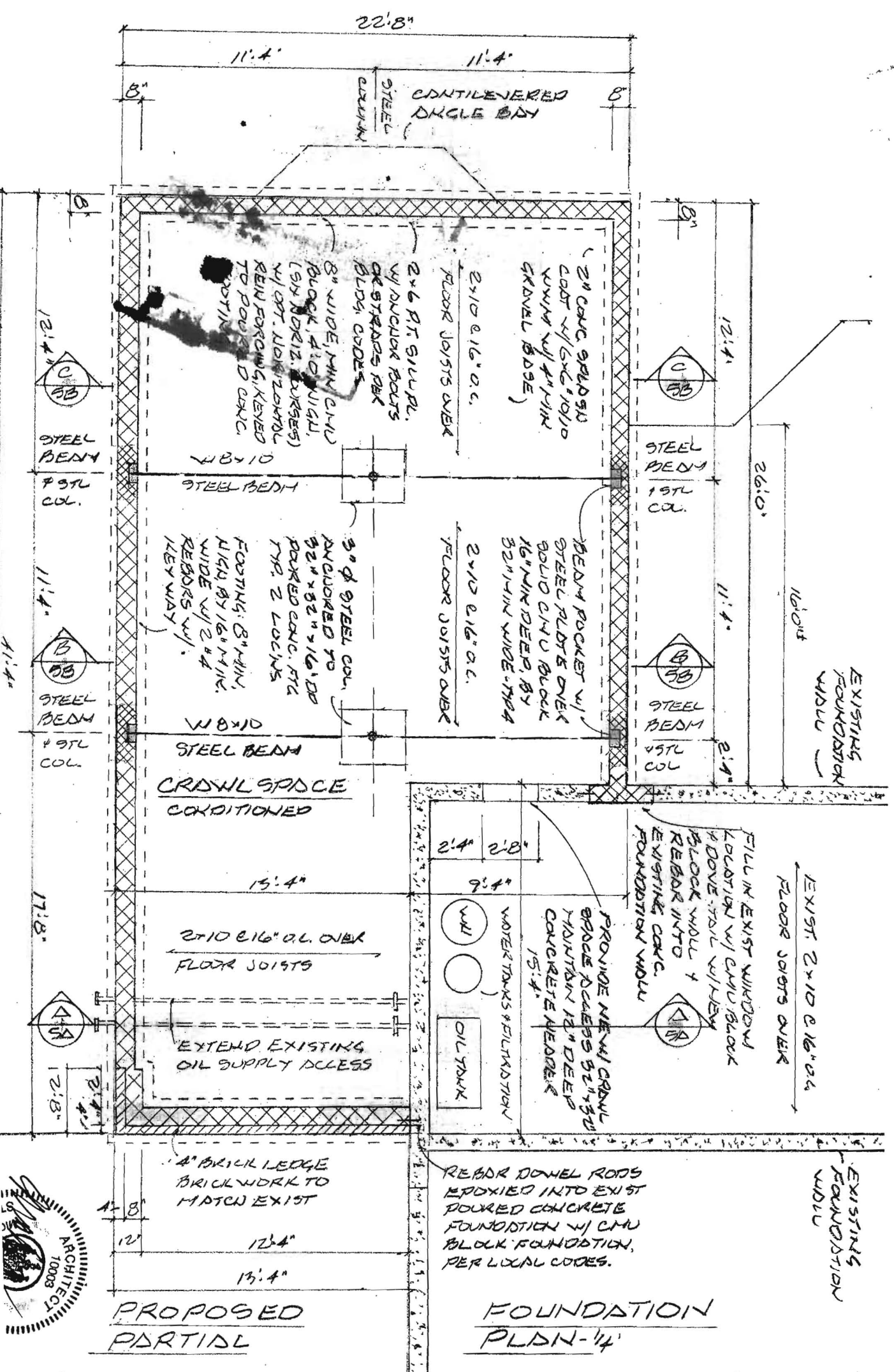
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>3/1/15</u>	<u>DBurard</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

**DEVELOPER FEEDBACK INFORMATION**

Front: \_\_\_\_\_  
 Rear: \_\_\_\_\_  
 Side: \_\_\_\_\_  
 Side St.: \_\_\_\_\_  
 All minimum setbacks met?  Yes  No  
 Is Entrance Permit Required?  Yes  No  
 Historic District?  Yes  No  
 Lot Coverage for New-Low-Zone: \_\_\_\_\_  
 SDP/Red-line approval date: \_\_\_\_\_

Filing Fee	\$ <u>25</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

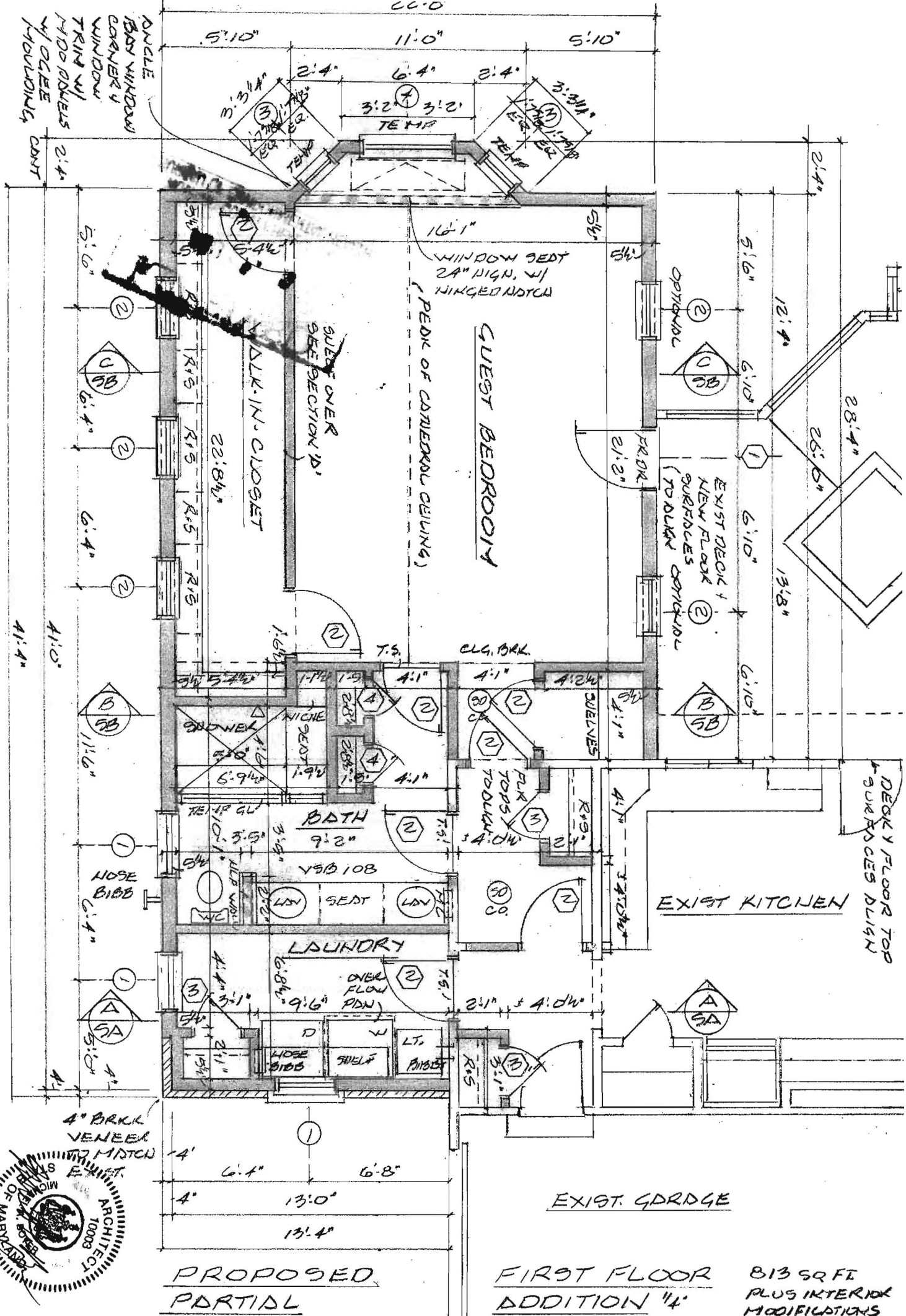


PROPOSED PARTIAL

FOUNDATION PLAN-14'

L'K EMOND RESIDENCE ADDITION + RENO.  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15  
 SHEET



PROPOSED PARTIAL FIRST FLOOR ADDITION 14' 813 SQ FT PLUS INTERIOR MODIFICATIONS

L.K. EMOND RESIDENCE ADDITION + RENO.

2809 RUSTIC MADONN COURT GLENWOOD, MARYLAND 21738-9747



1-14-15  
GUEST  
OF 16

STAIRS  
SEMI-HEAVY  
ROOF PER  
7/12

C  
SB

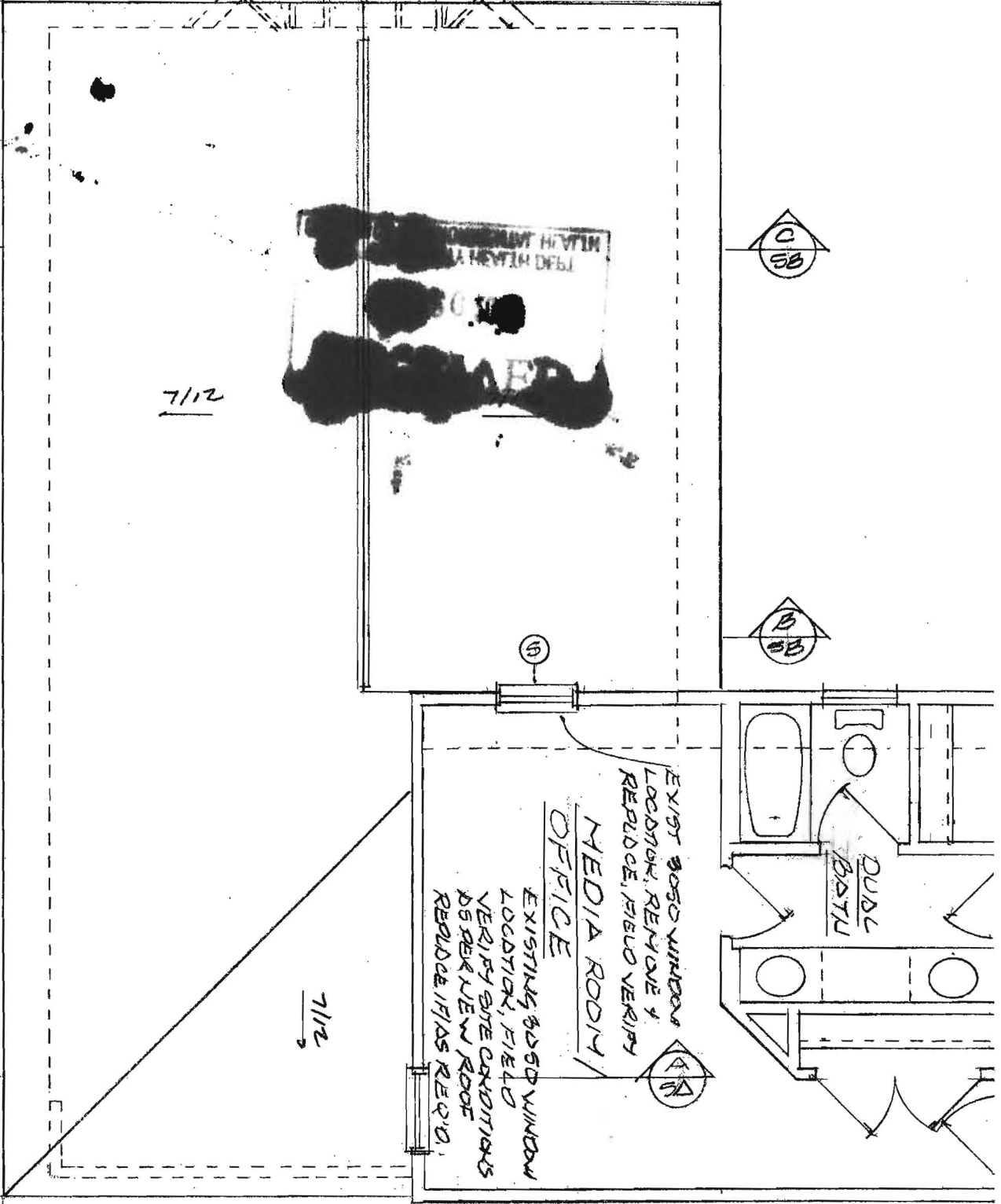
C  
SB

B  
SB

B  
SB

A  
SB

A  
SB



PROPOSED  
PLAN - PARTIAL

ROOF SLOPE  
SEC. FLR. PL. 1/4"

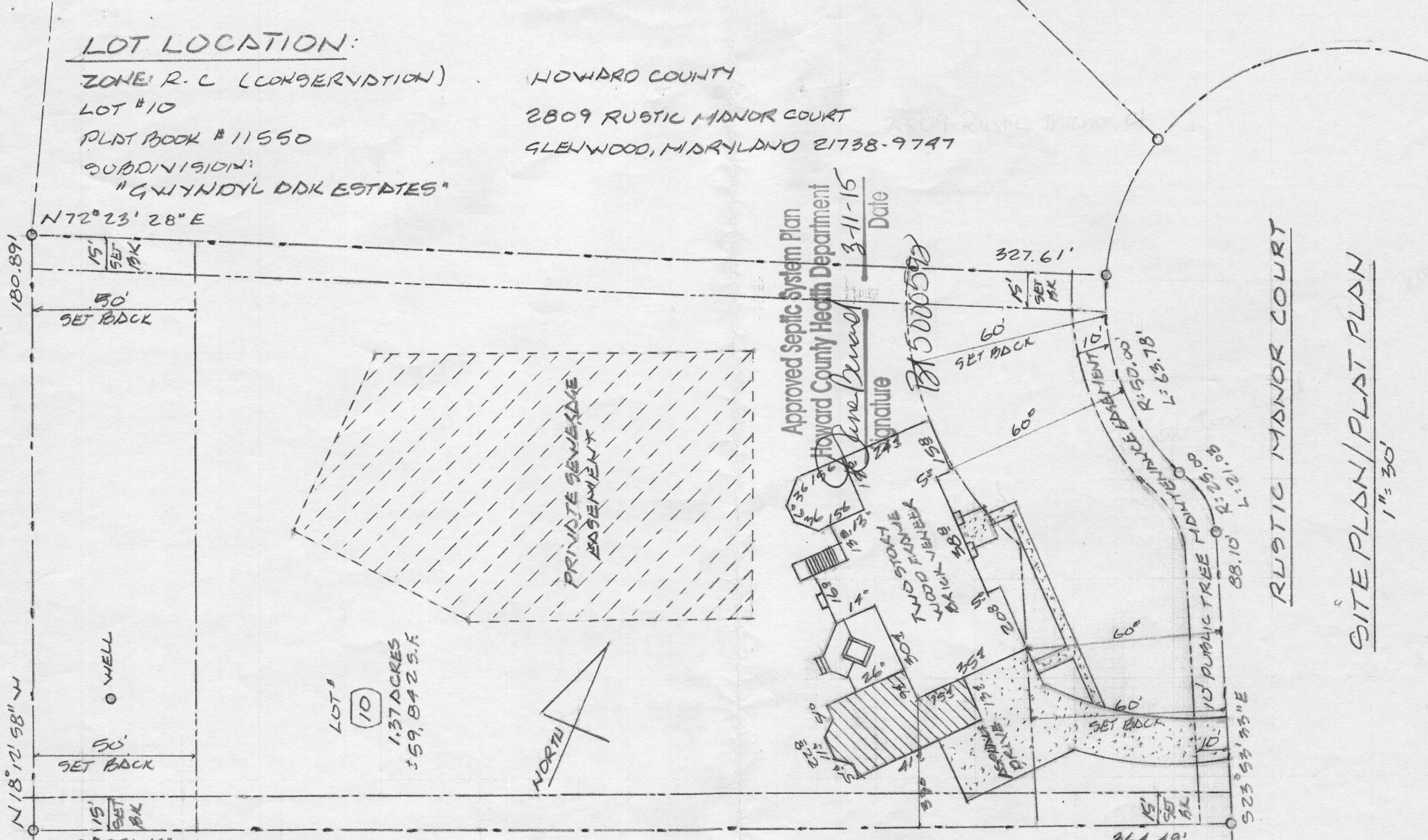
1/14-15  
SHEET  
A  
OF 16

L'K EMOND RESIDENCE ADDITION & RENO.  
2809 RUSTIC MDNOR COURT GLENWOOD, MARYLAND 21738-9747

LOT LOCATION:

ZONE: R-C (CONSERVATION)  
 LOT #10  
 PLAT BOOK #11550  
 SUBDIVISION:  
 "GWYNDOYL DDK ESTATES"

HOWARD COUNTY  
 2809 RUSTIC MANOR COURT  
 GLENWOOD, MARYLAND 21738-9747



SETBACK RESTRICTIONS:

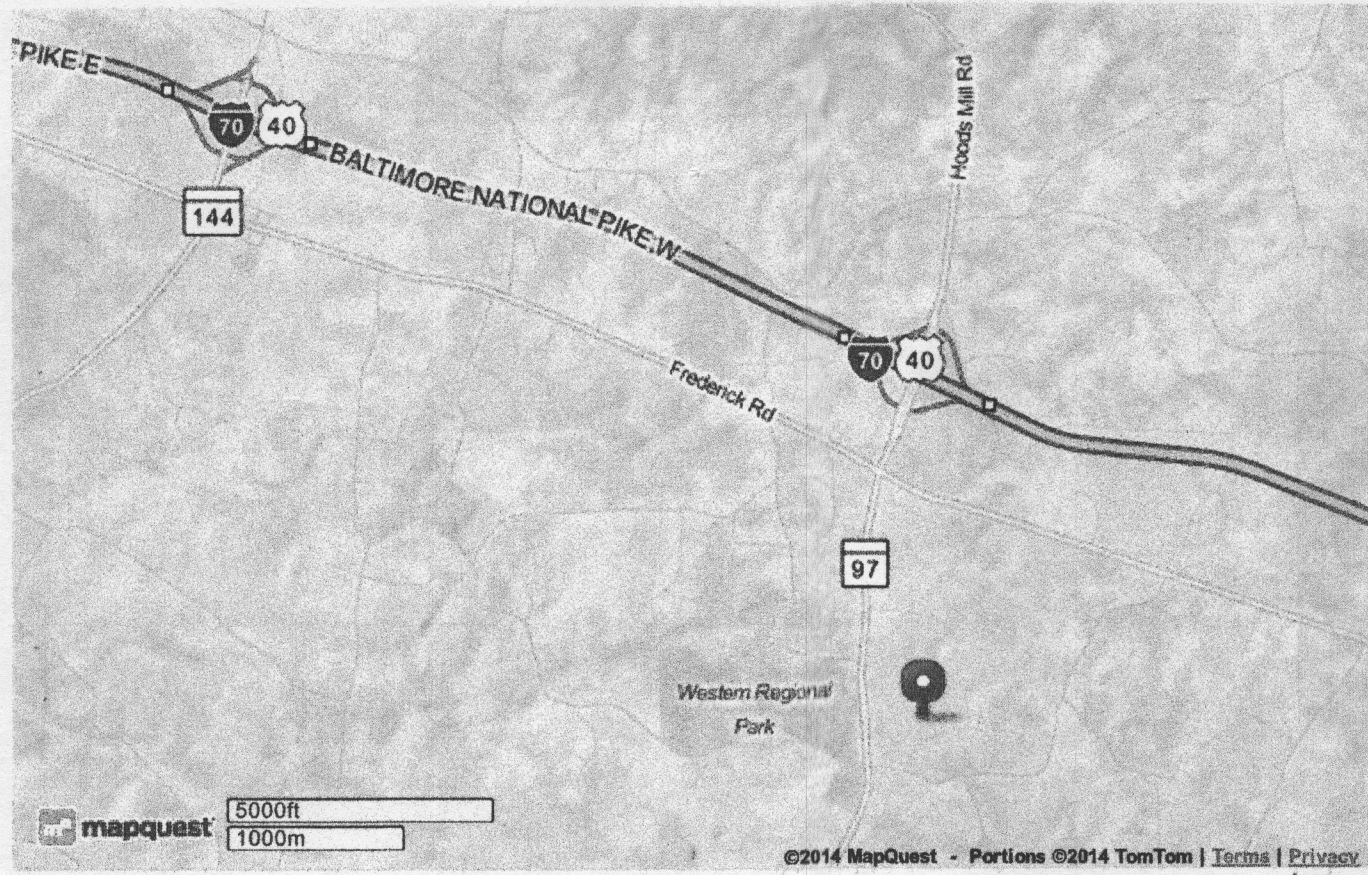
- 60' FRONT YARD SETBACK
- 50' REAR YARD SETBACK
- 15' RIGHT SIDE YARD SETBACK
- 15' LEFT SIDE YARD SETBACK
- 34' MAX. BUILDING HEIGHT

LOT SIZE / LOT SITE DRED  
 ±59,842 ± / 1.37 ACRE  
 LOT COVERAGE ±8%  
 HOUSE ±4043 ±  
 ADDITION ±793 ±  
 TOTAL ±4836 ±

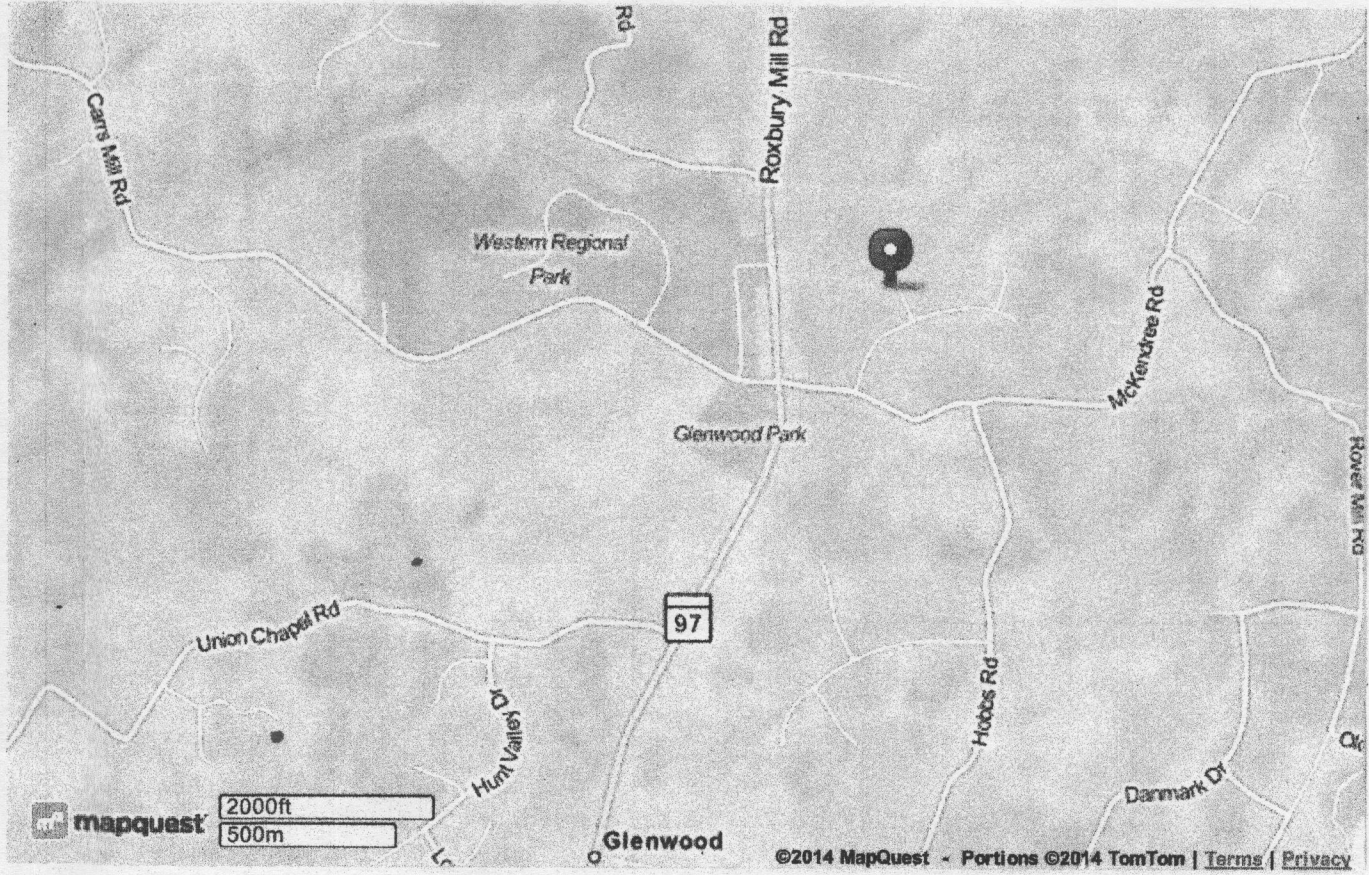


SITE PLAN / PLAT PLAN  
 1" = 30'

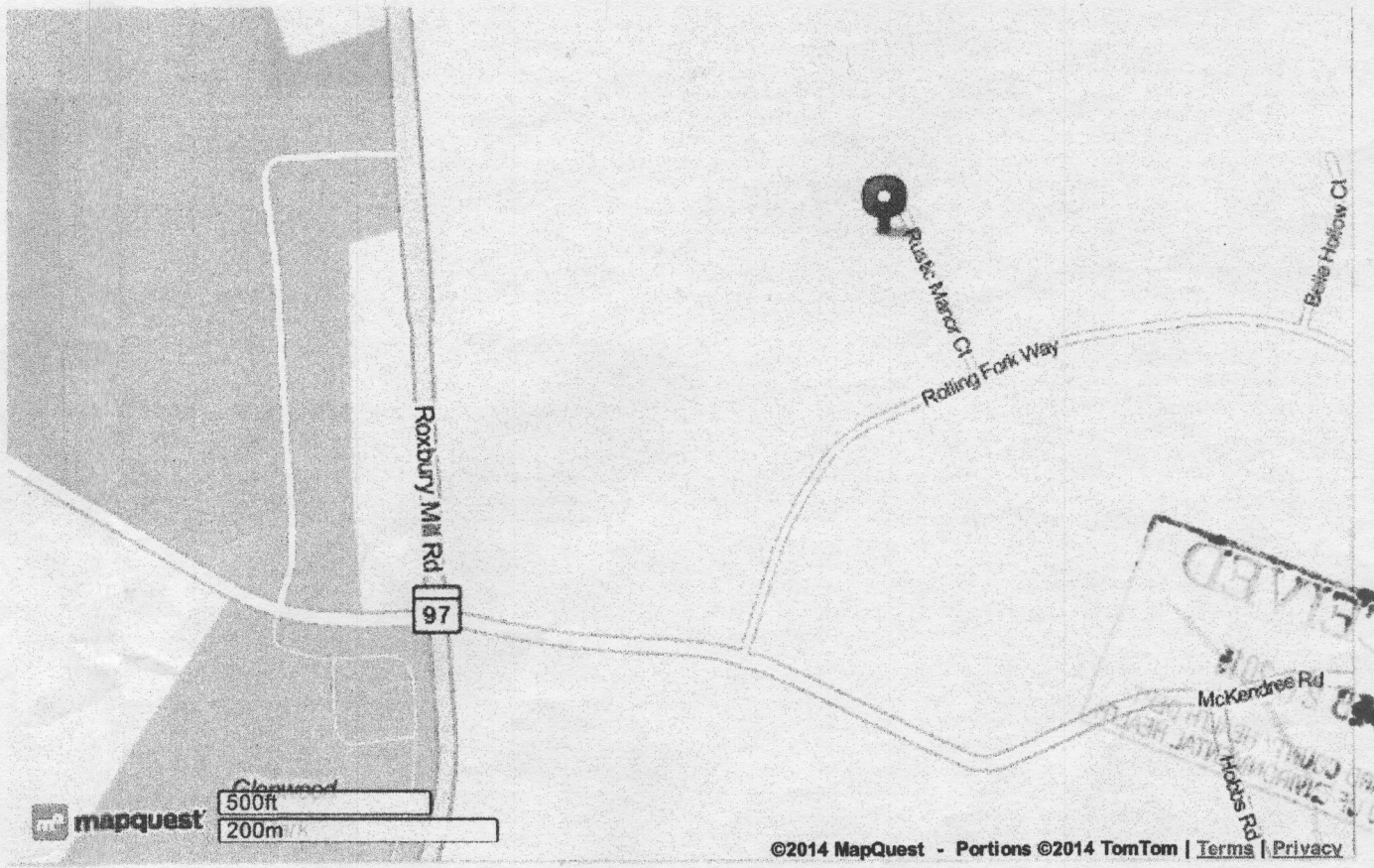
L·K EMOND RESIDENCE ADDITION·RENO  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747  
 1-14-15  
 SHEET  
 8B  
 OF 16



VICINITY MAP - LARGE 1" = 5000' 2'



VICINITY MAP - MEDIUM 1" = 2000' NORTH



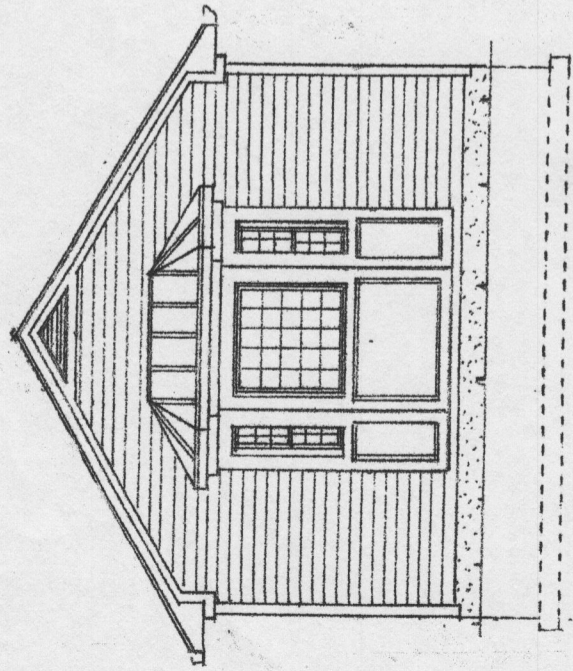
VICINITY MAP - SMALL 1" = 500' NORTH

BLIK EMOND RESIDENCE ADDITION + RENO  
2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15  
SHEET  
8A  
OF 16

INDEX OF DRAWINGS - PROPOSED

- 0 - TITLE SHEET, LEGAL DESCRIPTION
- 1A - FRONT ELEVATION, REAR ELEVATION
- 1B - LEFT SIDE ELEVATION
- 1C - RIGHT SIDE ELEVATION
- 2 - PARTIAL FOUNDATION PLAN FOR ADDITION
- 3 - FIRST FLOOR PLAN FOR ADDITION
- 4 - ROOF SLOPE PLAN, PART. SECOND FLR. PLAN.
- 5A - CROSS SECTION 'A', CROSS SECTION 'B'
- 5B - CROSS SECTION 'C', ROOF TRUSS PROFILES
- 6A - FLOOR FRAMING PLAN FOR ADDITION
- 6B - HEADER WDLG PLAN FOR ADDITION
- 6C - ROOF FRAMING PLAN FOR ADDITION
- 7 - DOOR SCHEDULE, WINDOW SCHEDULE
- 8A - VICINITY MAPS, LARGE, MEDIUM, & SMALL MAPS
- 8B - SITE PLAN / PLAT PLAN OF PROPERTY
- 9 - CONSTRUCTION NOTES, BUILDING NOTES.



SCOPE OF WORK - PROPOSED

- 1 - CONSTRUCT GUEST BEDROOM SUITE AT FIRST FLOOR
- 2 - REMOVE EXISTING SCREEN PORCH & DECK PORTION
- 3 - MODIFY EXISTING REMAINING DECK, DETACH TO ADDITION
- 4 - EXTEND EXISTING OIL FILLER LINES
- 5 - MASONRY FOUNDATION TO BE INTO RAISED CONCRETE FND.
- 6 - EXISTING SIDE FUTURE LAUNDRY RIM TO HAVE NEW DOORS
- 7 - WRAP NEW ADDITION W/ 2x6 PERIMETER WALLS
- 8 - ROOF TRUSS FRAMING PER MANUFACTURER
- 9 - SIDING AND ROOF SHINGLES TO MATCH EXISTING
- 10 - WINDOW & DOOR TRIM, INTERIOR EXTERIOR, TO MATCH EXIST.
- 11 - PLUS ALL WORK RELATED TO ADDITION CONSTRUCTION
- 12 - ALL WORK TO COMPLY WITH ALL LOCAL CONSTRUCTION CODES.

**Account Identifier:** District - 04 Account Number - 356047

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**Owner Name:** EMOND LEO F  
EMOND KATHLEEN S  
**Mailing Address:** 2809 RUSTIC MANOR CT  
GLENWOOD MD 21738-9747

**Use:** RESIDENTIAL  
**Principal Residence:** YES  
**Deed Reference:** 703648/ 00687

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**Premises Address:** 2809 RUSTIC MANOR CT  
WEST FRIENDSHIP 21794-0000

**Map:** 0014 **Grid:** 0011 **Parcel:** 0123 **Sub District:** 0000 **Subdivision:** 0000 **Section:** 0000 **Block:** 10 **Lot:** 10 **Assessment Year:** 2014 **Assessment No:** 11550 **Plat No:** 11550 **Plat Ref:**

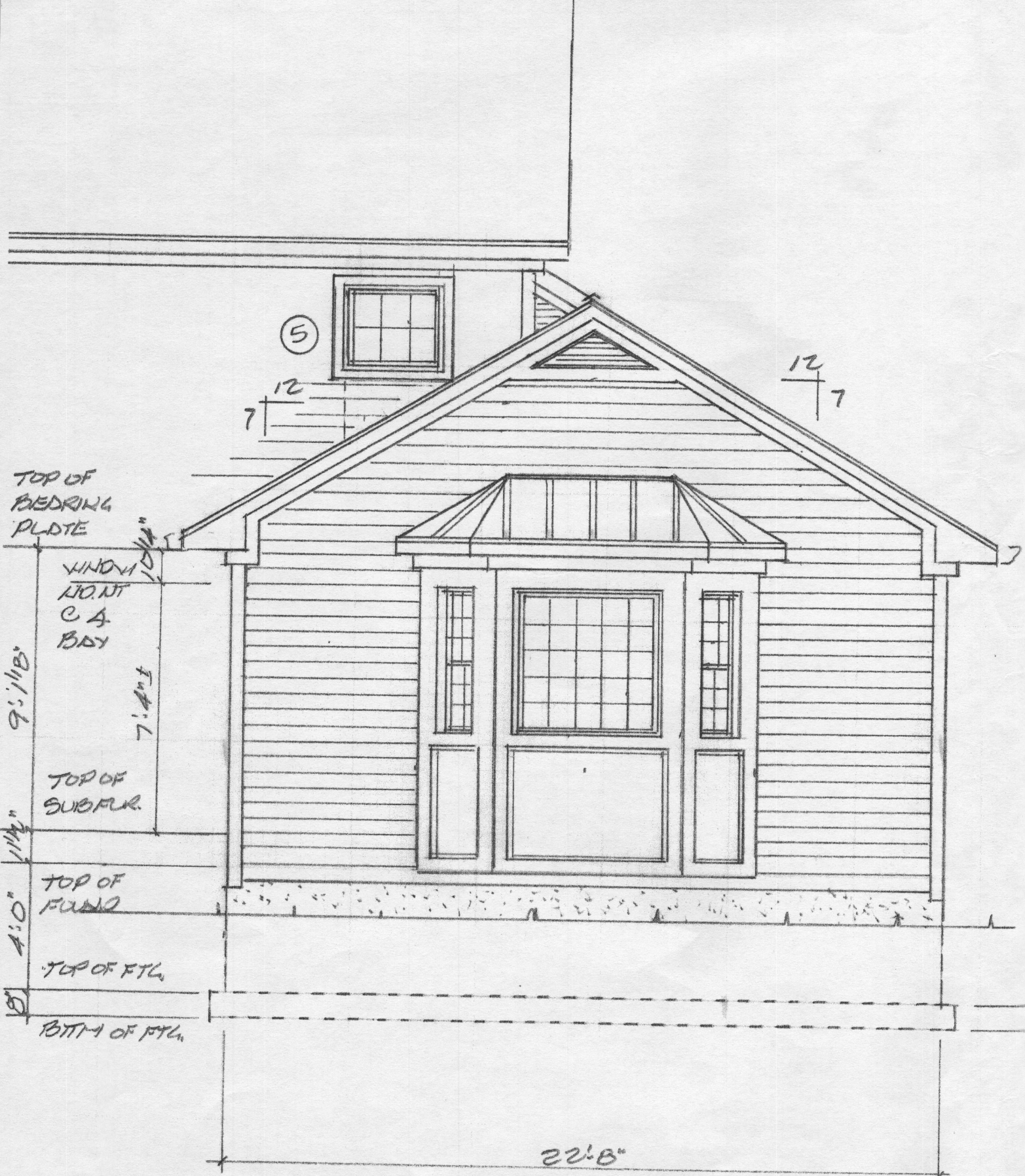
**Special Tax Areas:** Town: NONE  
Ad Valorem: 100  
Tax Class:

**Primary Structure Built:** 1995 **Above Grade Enclosed Area:** 3,808 SF **Finished Basement Area:** 1,3700 AC **Property Land Area:** 1.3700 AC **County Use:** 000000

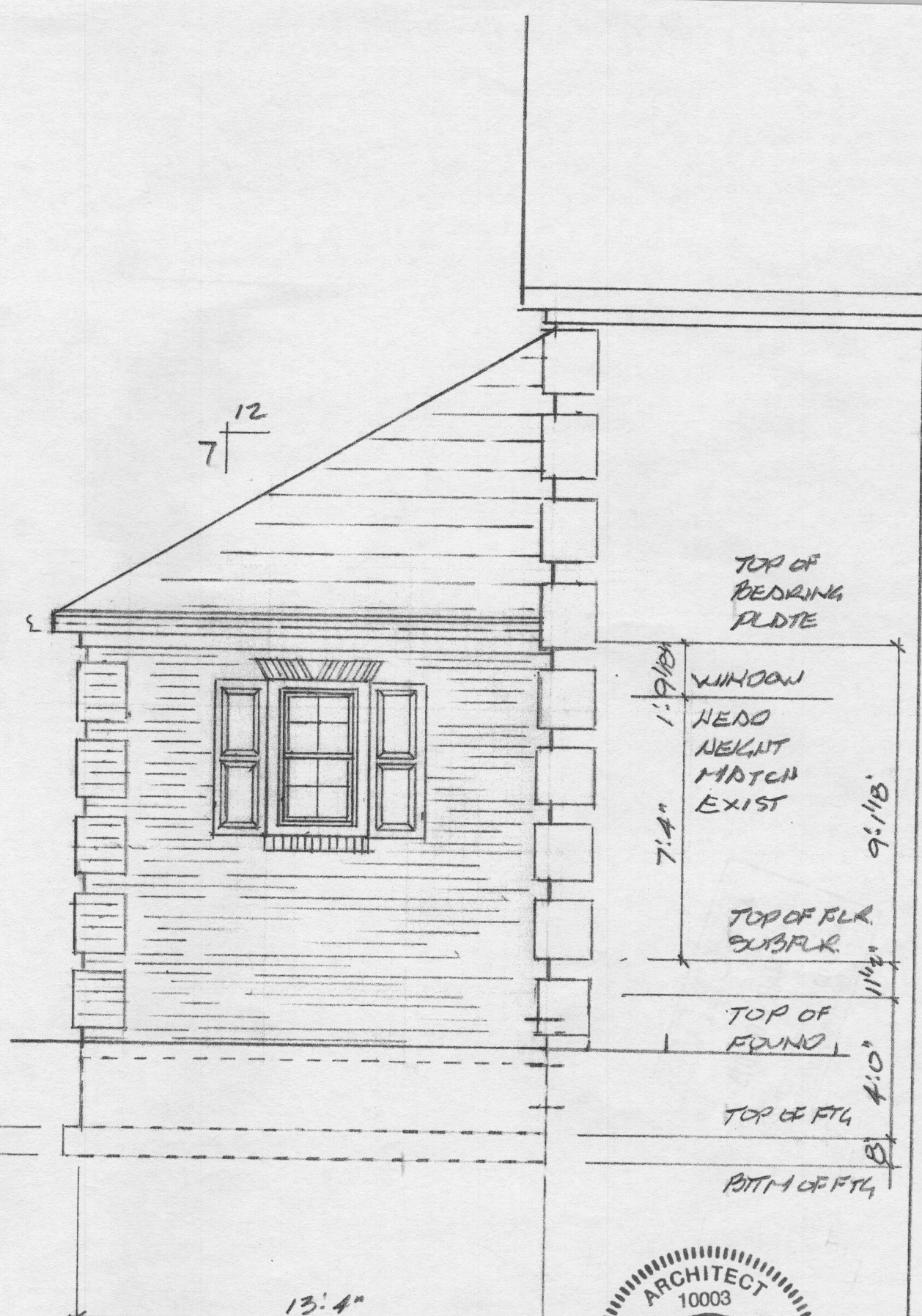
**Stories:** 2 **Basement:** YES **Type:** STANDARD UNIT **Exterior:** SIDING **Full/Half Bath:** 3 full/ 1 half **Garage:** 1 Attached **Last Major Renovation:**

LEGAL DESCRIPTION





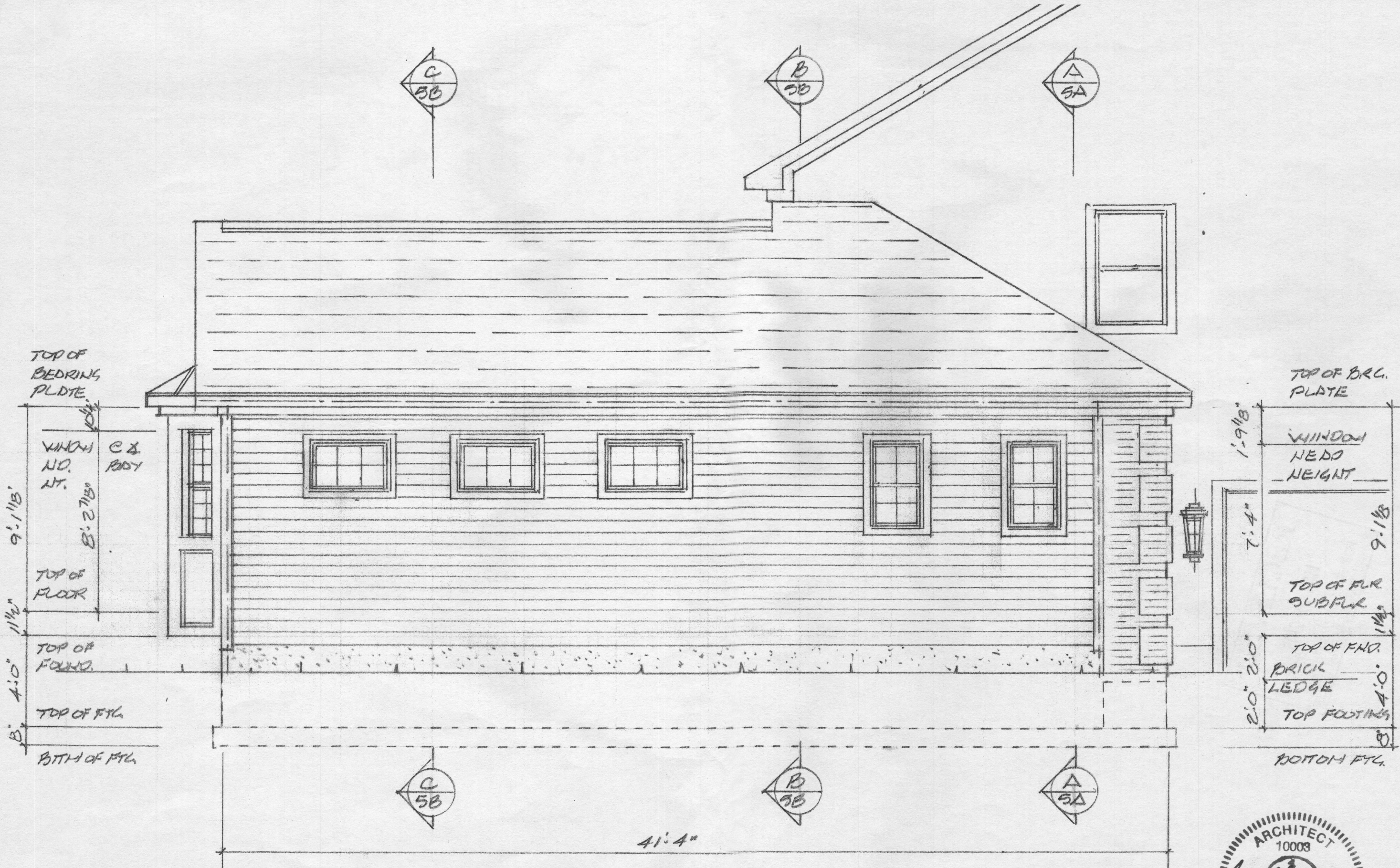
PROPOSED  
REAR ELEVATION - 1/4"



PROPOSED  
FRONT ELEVATION - 1/4"



L. K. EMOND RESIDENCE ADDITION - RENO  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21758-9747  
 1-14-15  
 SHEET  
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 OF 16



PROPOSED  
LEFT SIDE ELEVATION - 1/4"

L. K. EMOND RESIDENCE ADDITION - RENO.

2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747



1-14-15  
SHEET  
**1B**  
OF 16

NOTE:

DRAWINGS CERTIFICATION:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT, UNDER THE LAWS OF MARYLAND, LICENSE NUMBER 10003, WITH THE EXPIRATION DATE OF 6-28-16

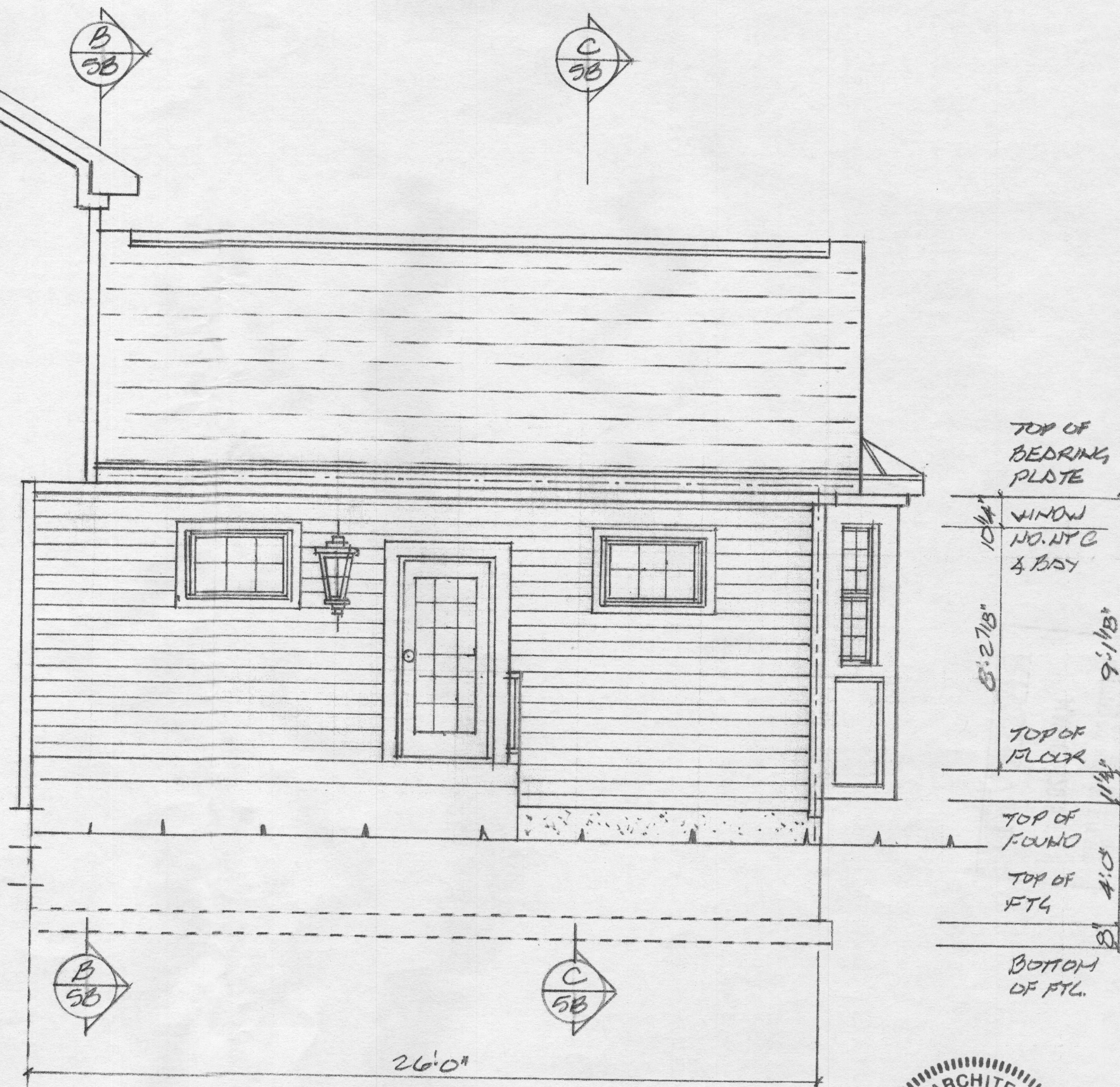
*Michael R. Boyer*

NOTE:

TYPICAL EXTERIOR PERIMETER WALL:

HORIZONTAL SIDING, TO MATCH EXIST., OVER HOUSE WRAP, OVER STRUCTURAL EXTERIOR 1/2" PLYWOOD SHEATHING, w/ R-21 INSULATION w/ INTEGRAL VAPOR BARRIER w/ 2x6 WOOD STUDS @ 16" O.C. ALL PER LOCAL BUILDING & CONSTRUCTION CODES.

BRICK VENEER @ FRONT OF ADDITION, TO MATCH EXISTING BRICK VENEER, MATCH COLOR & TEXTURE & TYPE OF BRICK MATCH CORNER QUOINS SIZE & DIMENSIONS. PROVIDE BRICK VENEER AS REQ'D BY CODES, SUCH AS AIR GAP, METAL STRAPS, WATER WEEPS, FLASHING, HORIZ REINF, ETC.



PROPOSED  
RIGHT SIDE ELEVATION. 1/4"



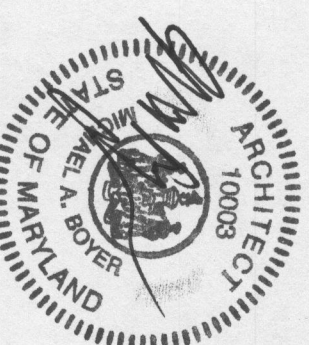
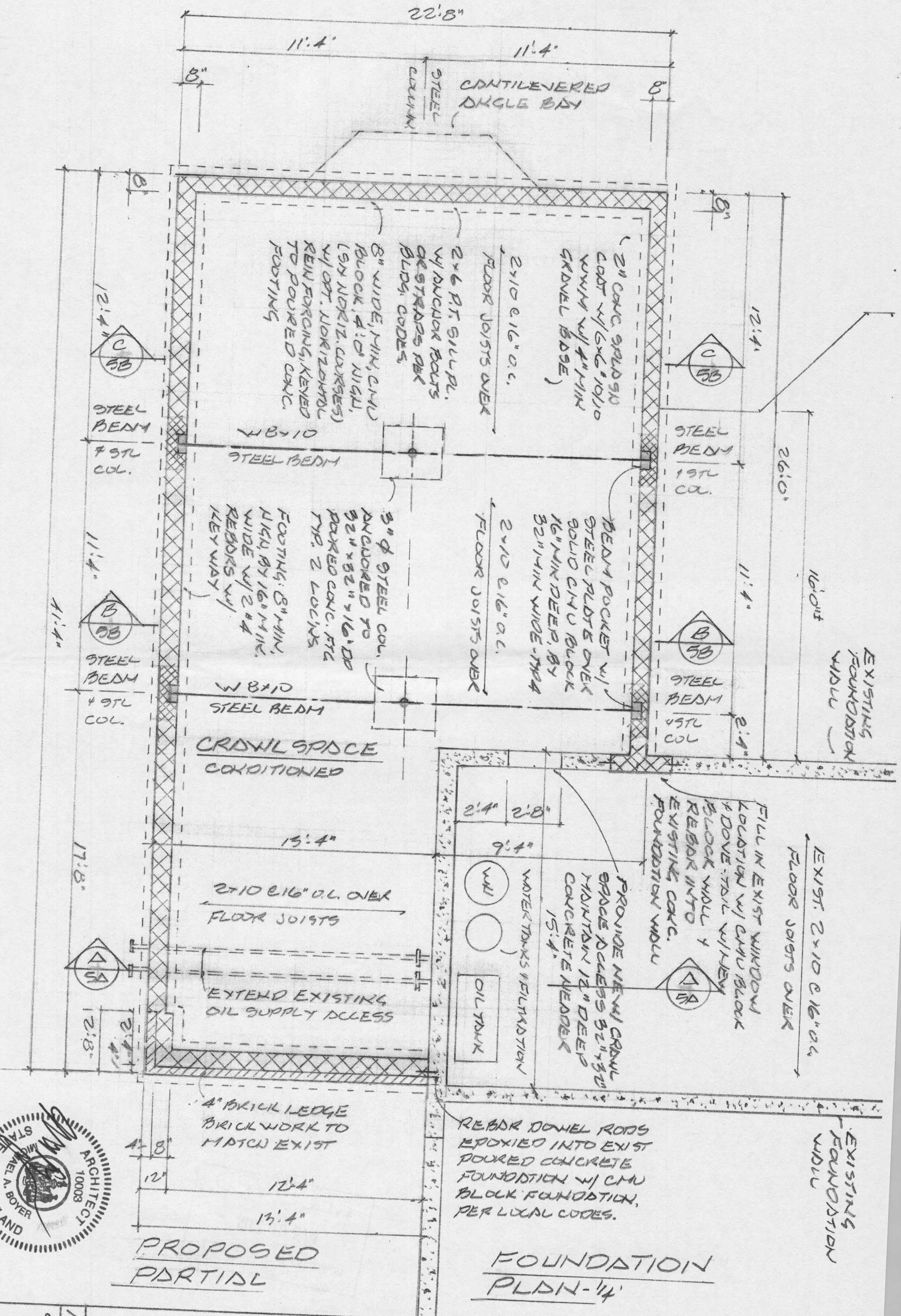
L + K EMOND RESIDENCE ADDITION + RENO

2809 RUSTIC HONOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15

SHEET

1C  
OF 16

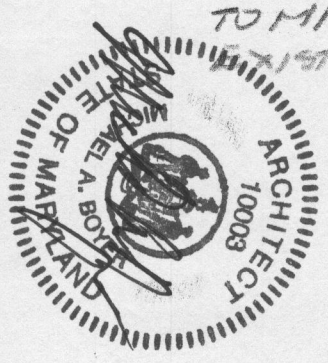
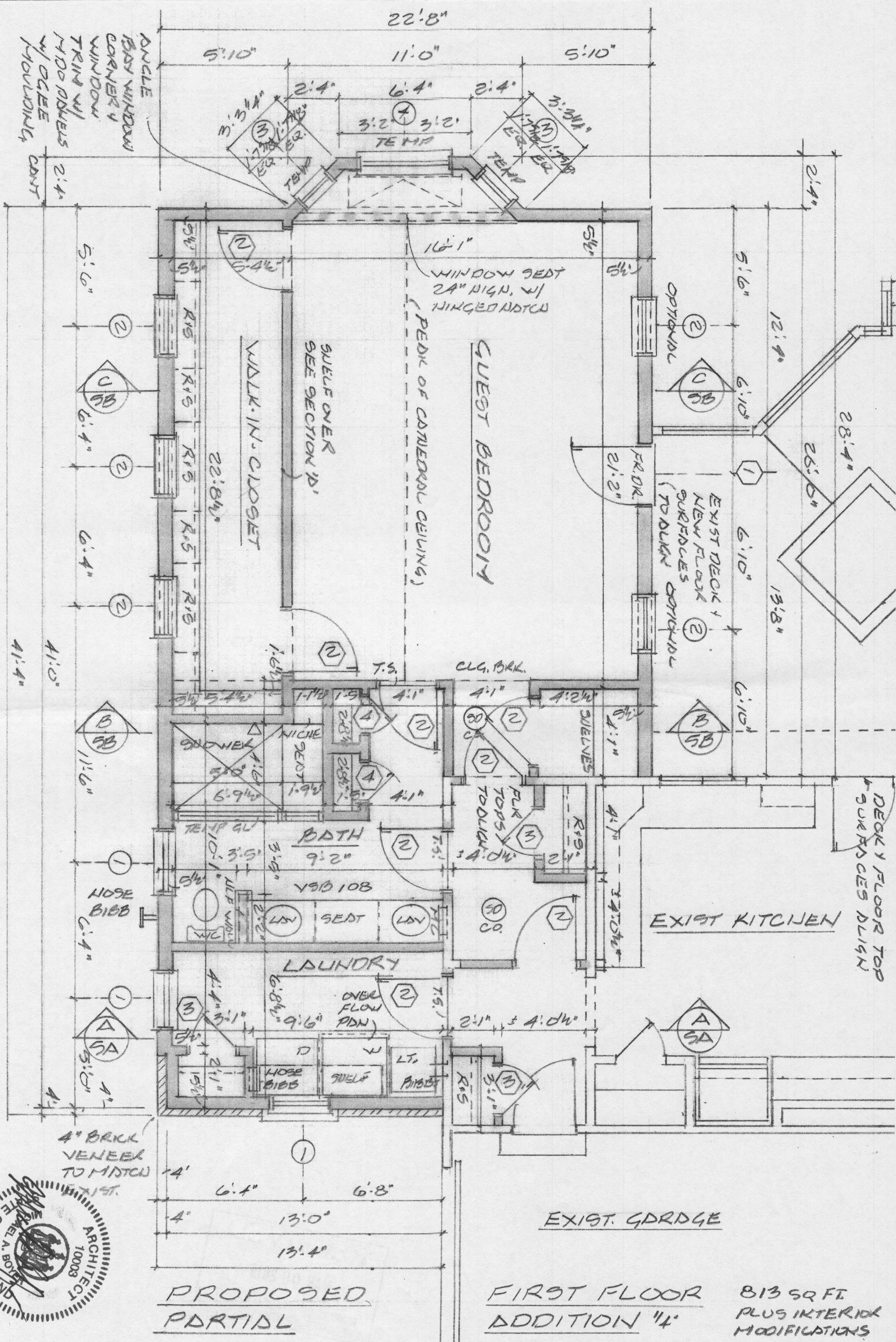


**L'K EMOND RESIDENCE ADDITION - RENO.**  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9741

1-14-15  
 SHEET  
 2  
 OF 16

**FOUNDATION  
 PLAN-14'**

**PROPOSED  
 PARTIAL**



PROPOSED PARTIAL

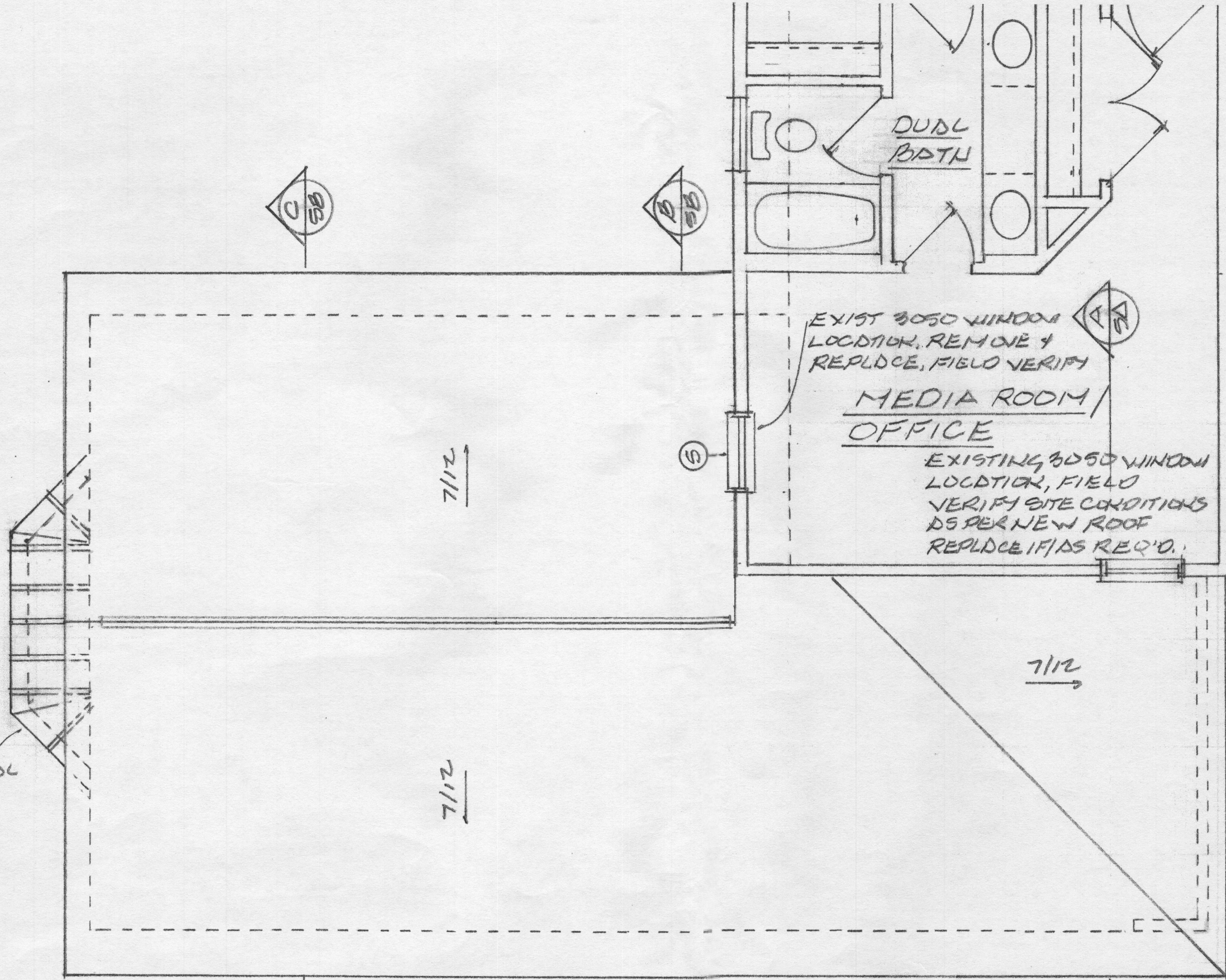
FIRST FLOOR ADDITION "4" 813 SQ FT PLUS INTERIOR MODIFICATIONS

1.14-15  
3  
OF 16  
SHEET

L+K EMOND RESIDENCE ADDITION + RENO.

2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

STANDING  
SEMI METAL  
ROOF PER  
MANUF.



EXIST 3050 WINDOW  
LOCATION, REMOVE &  
REPLACE, FIELD VERIFY

MEDIA ROOM /  
OFFICE

EXISTING 3050 WINDOW  
LOCATION, FIELD  
VERIFY SITE CONDITIONS  
AS PER NEW ROOF  
REPLACE IF/AS REQ'D.

DUBL  
BATH

ROOF SLOPE  
SEC. FLR. PL. 1/4"

PROPOSED  
PLAN - PARTIAL

L'K EMOND RESIDENCE ADDITION + RENO.

2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1.14.15

SHEET  
A  
OF 16



CONTINUOUS RIDGE VENT W/  
1 1/4" GAP IN ROOF SHEATHING.

ROOF SHINGLES, TO MATCH  
EXIST, OVER ROOF FELT,  
OVER 1/2" CDX PLY WOOD  
ROOF SHEATHING, W/ CLIPS

ROOF TRUSSES, PER  
ROOF TRUSS MANUF.  
SEE ROOF TRUSS  
PROFILES, SUT '5B

INSULATION Baffles  
EACH ROOF BAY

METAL DRIP  
EDGE

DOWN  
GUT.

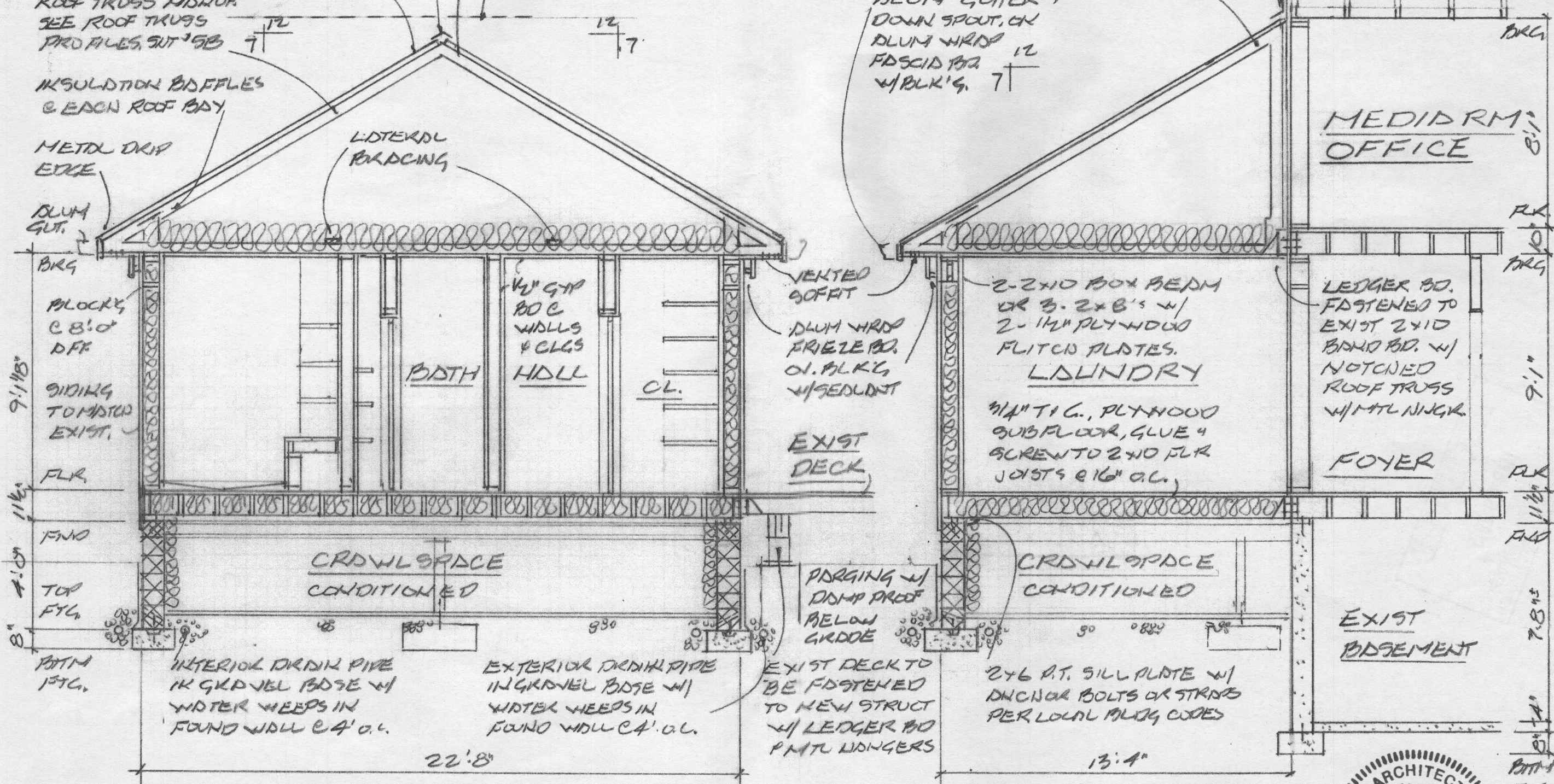
ROOF TRUSSES, SEE  
ROOF TRUSS PROFILES  
E SHEET '5B, & ROOF  
FRAMING PLAN, SUT '6C

LINE OF SECOND  
FLOOR OVERHANG  
@ HOUSE REAR

FLASHING & SEAL @ ROOF  
TRUSS TO EXIST HOUSE  
CONNECTION

MONO ROOF TRUSS  
SEE ROOF TRUSS  
PROFILES & ROOF  
FRAMING PLAN

DOWN GUTTER &  
DOWN SPOT, ON  
DOWN WRAP 1/2"  
FASCIA BOARD  
W/ PLK'S. 7'



PROPOSED  
CROSS SECTION - 1/4"

B

PROPOSED  
CROSS SECTION - 1/4"

A



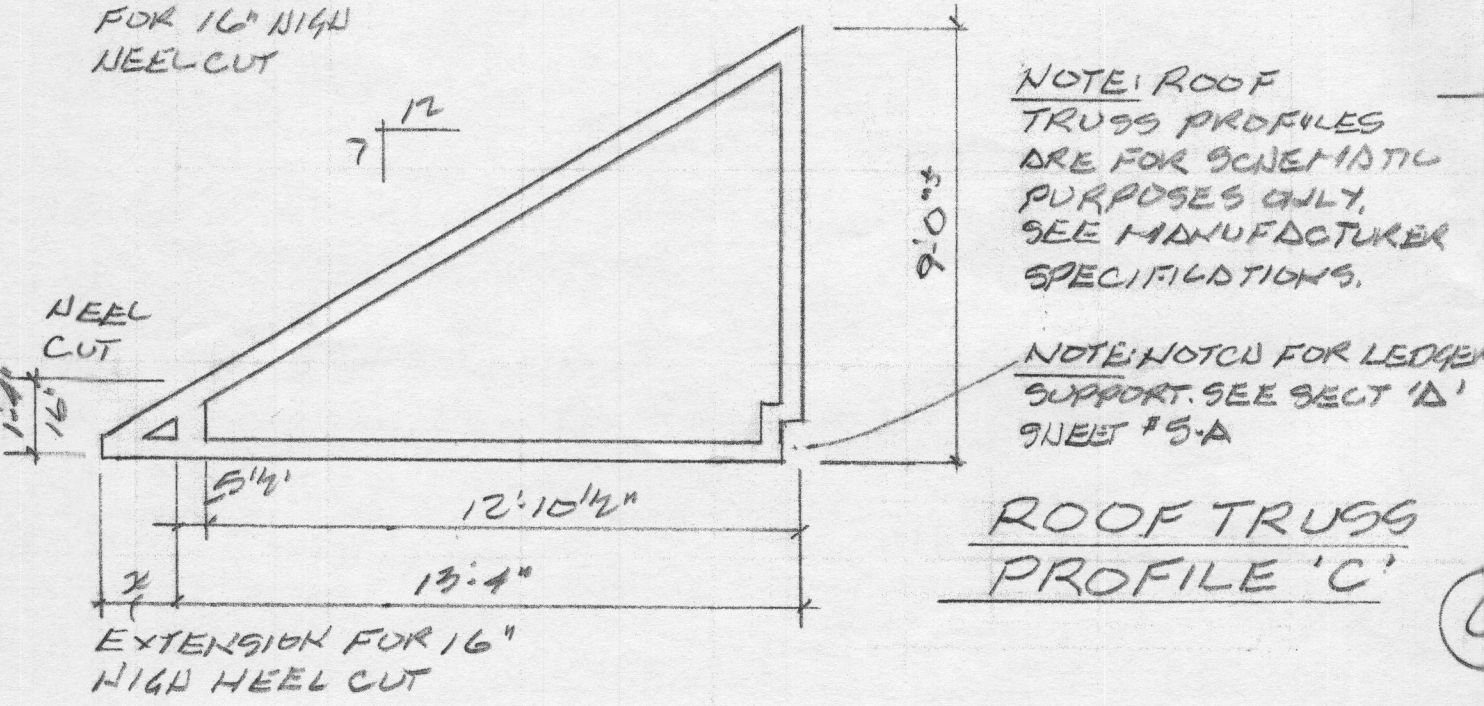
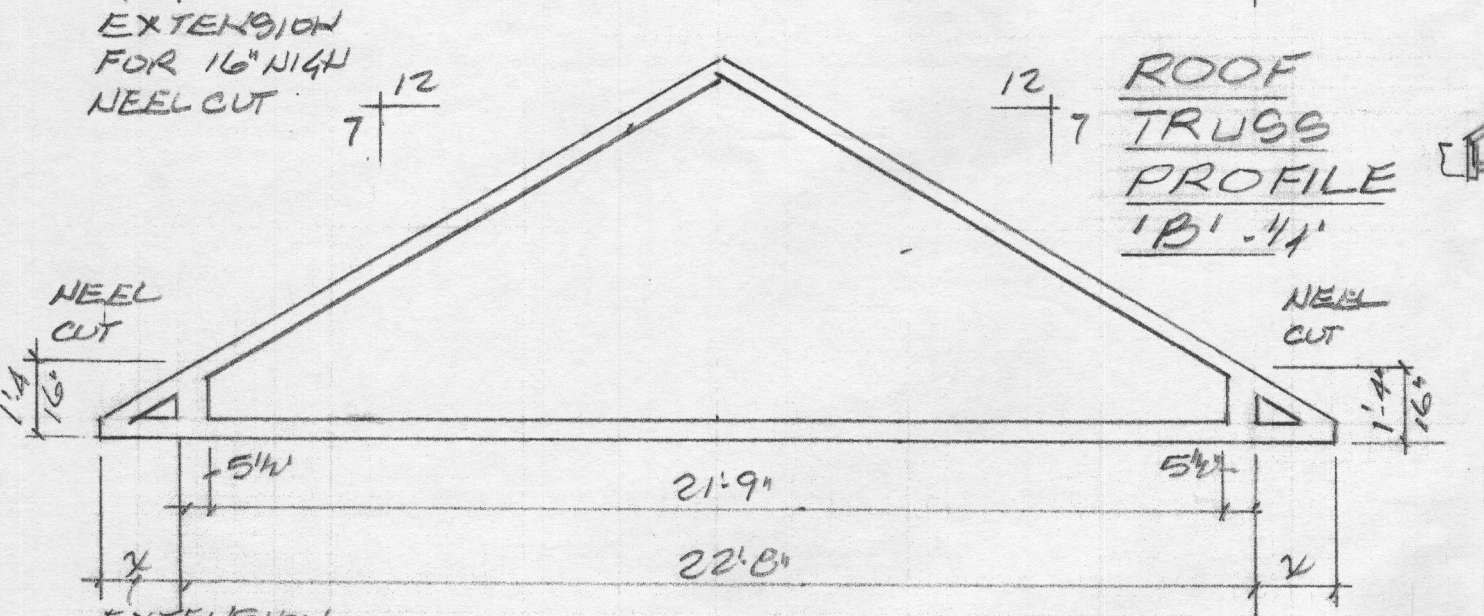
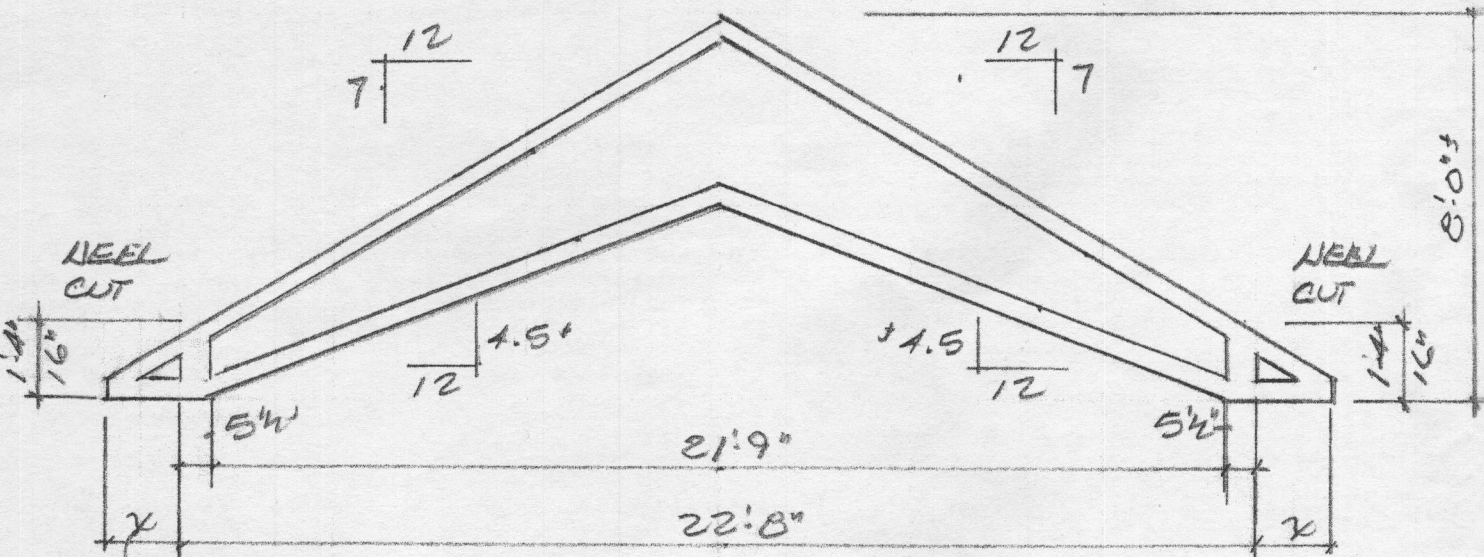
L'K EMOND RESIDENCE ADDITION - RENO  
2809 RUSTIC MANOR COURT GLEN WOOD, MARYLAND 21738-9747

1-14-15  
SHEET  
5A  
OF 16

ROOF TRUSS  
PROFILE 'A'

NOTE: ALL ROOF TRUSSES.  
PROVIDE TIE DOWN HURRICANE STRAPS THROUGHOUT AS REQ'D. AT ALL ROOF TRUSS TO TOP PLATE CONNECTIONS.

NOTE: CONTRACTOR TO VERIFY THE CONSTRUCT. INTEGRITY OF ALL WALLS, FLOORS, FOUNDATIONS, ROOFS, ETC, OF EXIST. HOUSE BEFORE + DURING CONSTRUCTION.

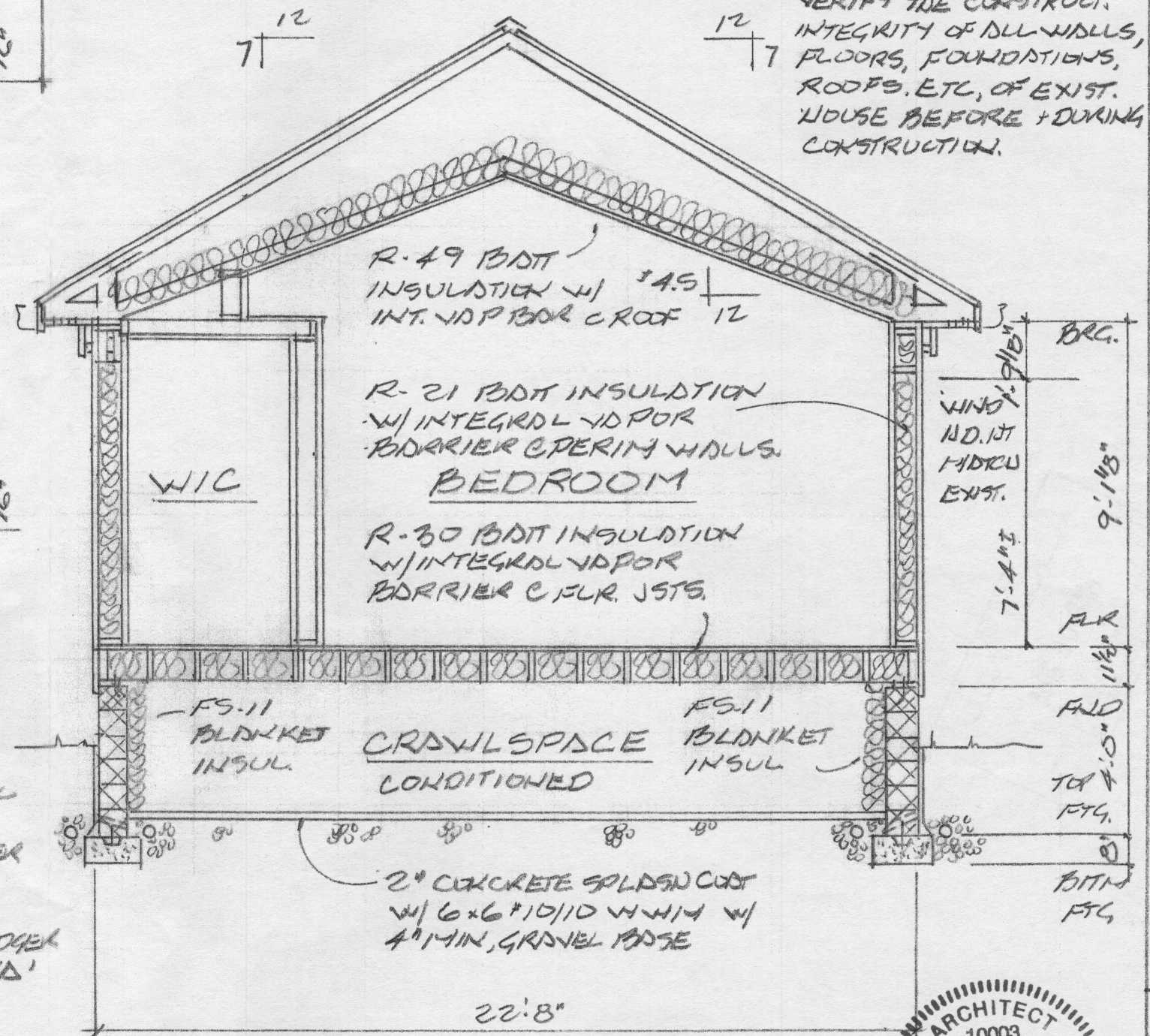


ROOF TRUSS  
PROFILE 'B'

NOTE: ROOF TRUSS PROFILES ARE FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER SPECIFICATIONS.

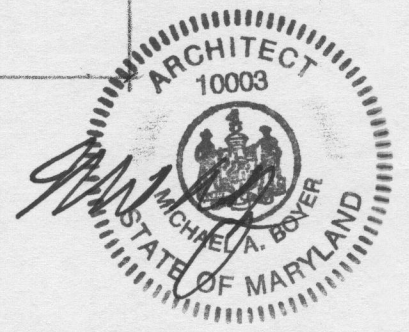
NOTE: NOTCH FOR LEDGER SUPPORT. SEE SECT 'D' SHEET #5-A

ROOF TRUSS  
PROFILE 'C'



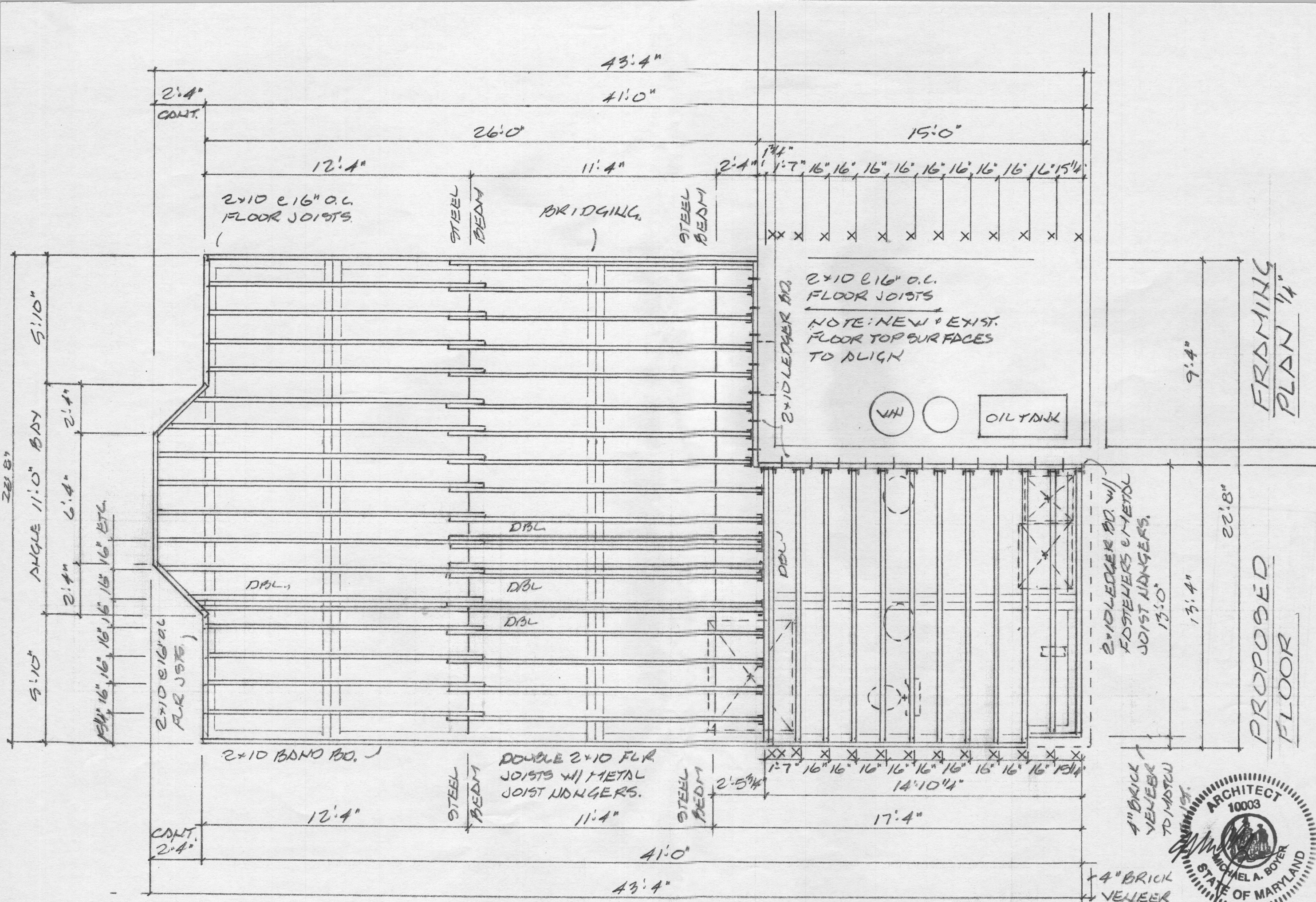
PROPOSED  
CROSS SECTION - 1/4"

(C)



L'K EIMOND RESIDENCE ADDITION - RENO.  
2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

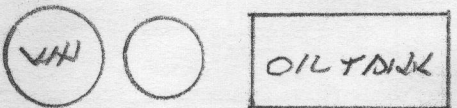
1.14.15  
SHEET  
**5B**  
OF 16



FRAMING  
PLAN 1/4"

PROPOSED  
FLOOR

2x10 @ 16" O.C.  
FLOOR JOISTS  
NOTE: NEW & EXIST.  
FLOOR TOP SURFACES  
TO ALIGN



L.K. EMOND RESIDENCE ADDITION & RENO.  
2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21798-9747  
1-14-15  
SHEET  
6A  
OF 16

DOOR SCHEDULE: ANDERSEN							WINDOW SCHEDULE: ANDERSEN						
MARK	FRAME	NAME	SIZE	QUNT.	DESCRIP.	OPTIONAL	MARK	FRAME	NAME	SIZE	QUNT.	DESCRIP.	OPTIONAL
①	2x6 FRAME WALL	3068 FR. DR.	3'-0" x 6'-7 1/2" + R.O.	1	SINGLE FRENCH DOOR	OPTIONAL TRK50M OVER	①	2x6 FRAME WALL	20310	2'-1 5/8" x 4'-0 7/8" + R.O.	3	DOUBLE HUNG WINDOW	CASEMENT C14 2'-0 1/8" x 4'-0"
②	2x4 FRAME WALL	3068	3'-0" x 6'-7 1/2" + R.O.	8	SINGLE INTERIOR DOOR		②	2x6 FRAME WALL	28111 FIXED	2'-9 9/16" x 2'-1 7/8" + R.O.	5	FIXED FRAME WINDOW	DWNING D31 2'-11 3/16" x 2'-0 5/8"
③	2x4 FRAME WALL	2668	2'-6" x 6'-7 1/2" + R.O.	3	SINGLE INTERIOR DOOR		③	2x6 FRAME WALL	2046 TEMP	2'-1 5/8" x 4'-8 7/8" + R.O.	2	DOUBLE HUNG WINDOW	C5MT-TEMP C15 2'-0 1/8" x 4'-11 7/8"
④	2x4 FRAME WALL	2068	2'-0" x 6'-7 1/2" + R.O.	2	SINGLE INTERIOR DOOR		④	2x6 FRAME WALL	41046 PICTURE TEMP	4'-11 9/16" x 4'-8 7/8" + R.O.	1	FULL FRAME WINDOW	C5MT-TEMP P5050 4'-11 7/8" x 4'-11 7/8"
⑤							⑤	EXIST 2x4 FR. WALL	CX125	2'-7 1/2" x 2'-4 7/8" + R.O.	1	CASEMENT WINDOW	DWNING W.N. DW281 2'-7 1/2" x 2'-4 7/8"
							○						

NOTE: DOORS & WINDOWS

FIELD VERIFY ALL SITE CONDITIONS AND SITUATIONS PRIOR TO ORDERING ALL DOORS AND WINDOWS THROUGHOUT

NOTE: TYPICAL EXTERIOR PERIMETER WALLS:

HORIZONTAL SIDING, TO MATCH EXIST, OVER HOUSE WRAP, OVER STRUCTURAL EXTERIOR 1/4" PLY WOOD SHEATHING w/ R-21 INSULATION w/ INTEGRAL VAPOR BARRIER w/ 2x6 WOOD STUDS C16" O.C.  
ALL PER LOCAL BUILDING & CONSTRUCTION CODES.

NOTE: CONTRACTOR INVESTIGATION:

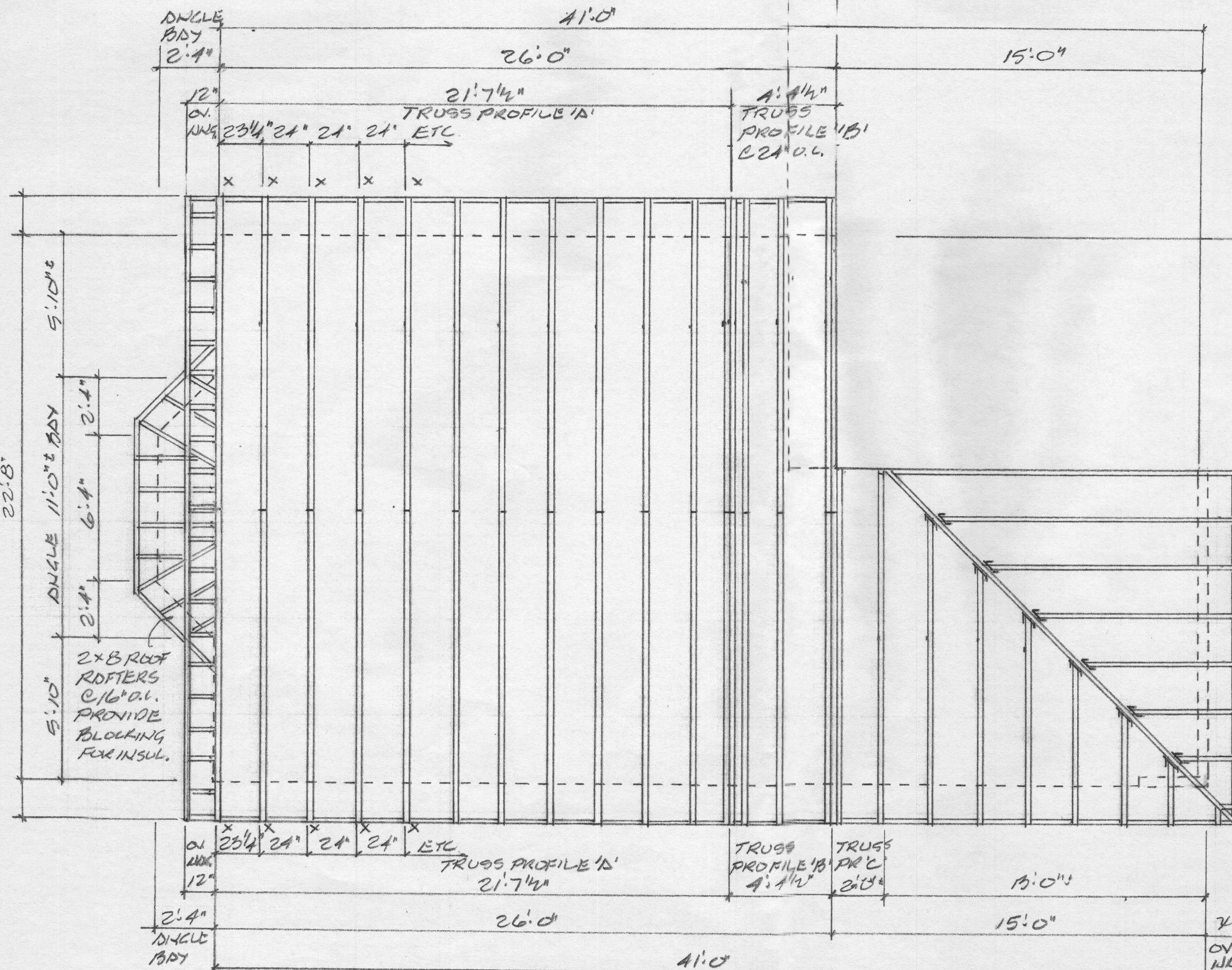
CONTRACTOR TO VERIFY THE CONSTRUCTION INTEGRITY OF ALL WALLS, FLOORS, CEILINGS, ROOFS, ETC. AND ALL THE COMPONENTS OF EXISTING HOUSE BEFORE & DURING CONSTRUCTION & MODIFICATIONS.



LICKEMOIND RESIDENCE ADDITION & RENO

2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15  
SHEET  
7  
OF 16



NOTE: ROOF FRAMING PLAN FOR SCHEMATIC PURPOSES ONLY. SEE ROOF TRUSS MANUFACTURER SPECIFICATIONS.

ROOF TRUSS PLAN - 1/4"

PROPOSED FRAMING



L'K EMOND RESIDENCE ADDITION, RENO  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15  
 SHEET  
 6.C  
 OF 16

2-2x10 BOX BEAM  
OR  
3-2x8 w/ 2-1/2"  
PLYWD FLITCH PLATES

3-2x8's w/  
2-1/2" PLYWD  
FLITCH PLATES  
C/DHGLE BRJ  
WALLS.

NOTE: LOWER  
CEILING TO  
ALLOW FOR  
REQ'D INSUL

NEW DOOR OPEN'G  
PROV. 2-2x10'S  
w/ 1/2" PLYWD  
FLITCH PLATE

EXIST WINDOW  
OPEN'G FOR  
NEW DOOR.  
VERIFY HOR.

NEW DOOR  
OPEN'G, PROV.  
2-2x10'S w/  
1/2" PLYWD  
FLITCH PLATE

2-2x10 BOX BEAM  
OR  
3-2x8'S w/ 2-1/2"  
PLYWD FLITCH PLATES

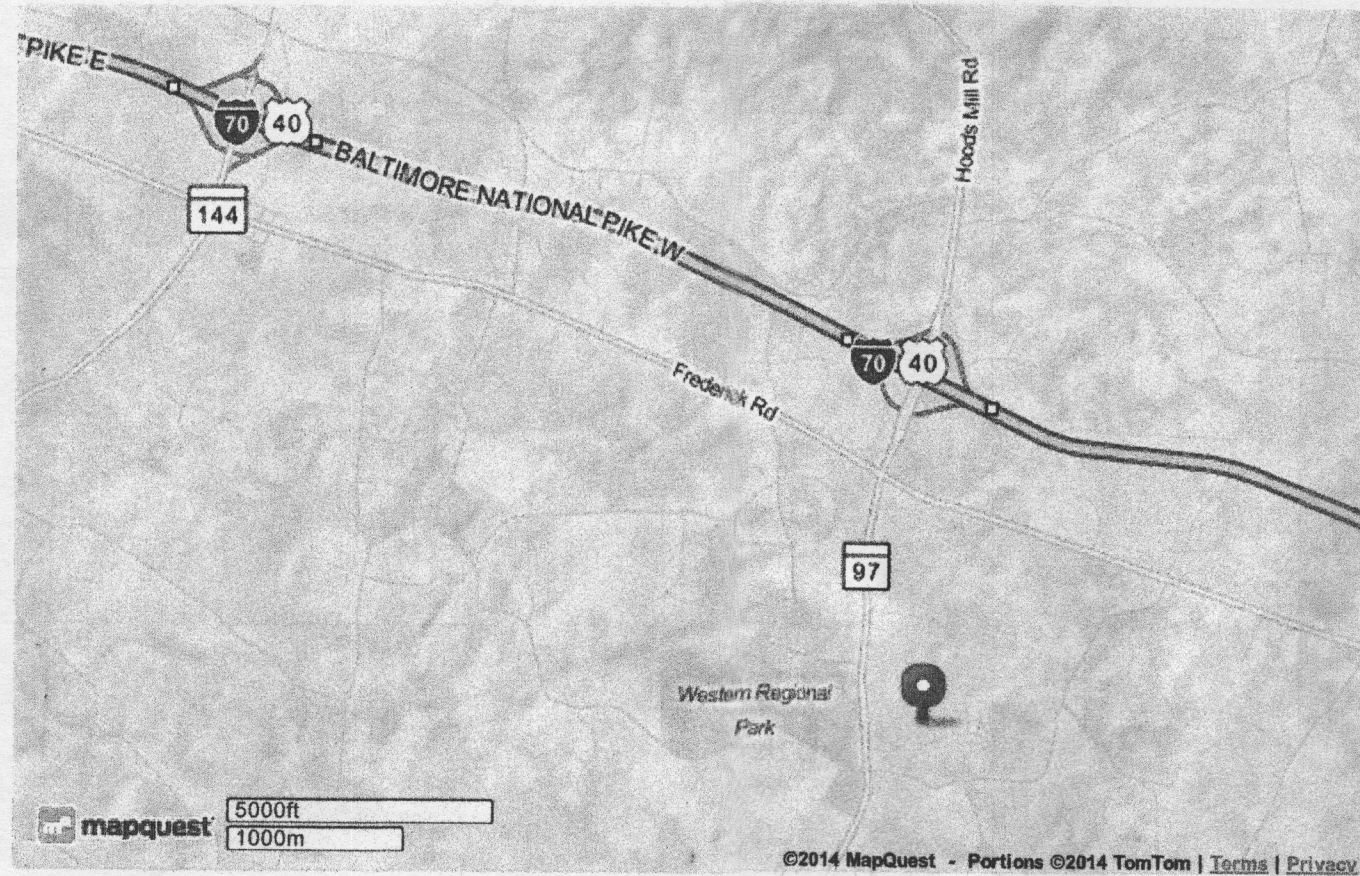
2-2x10 BOX BEAM  
OR  
3-2x8'S w/ 2-1/2"  
PLYWD FLITCH PLATES

HEADER  
PLYD - 1/4"

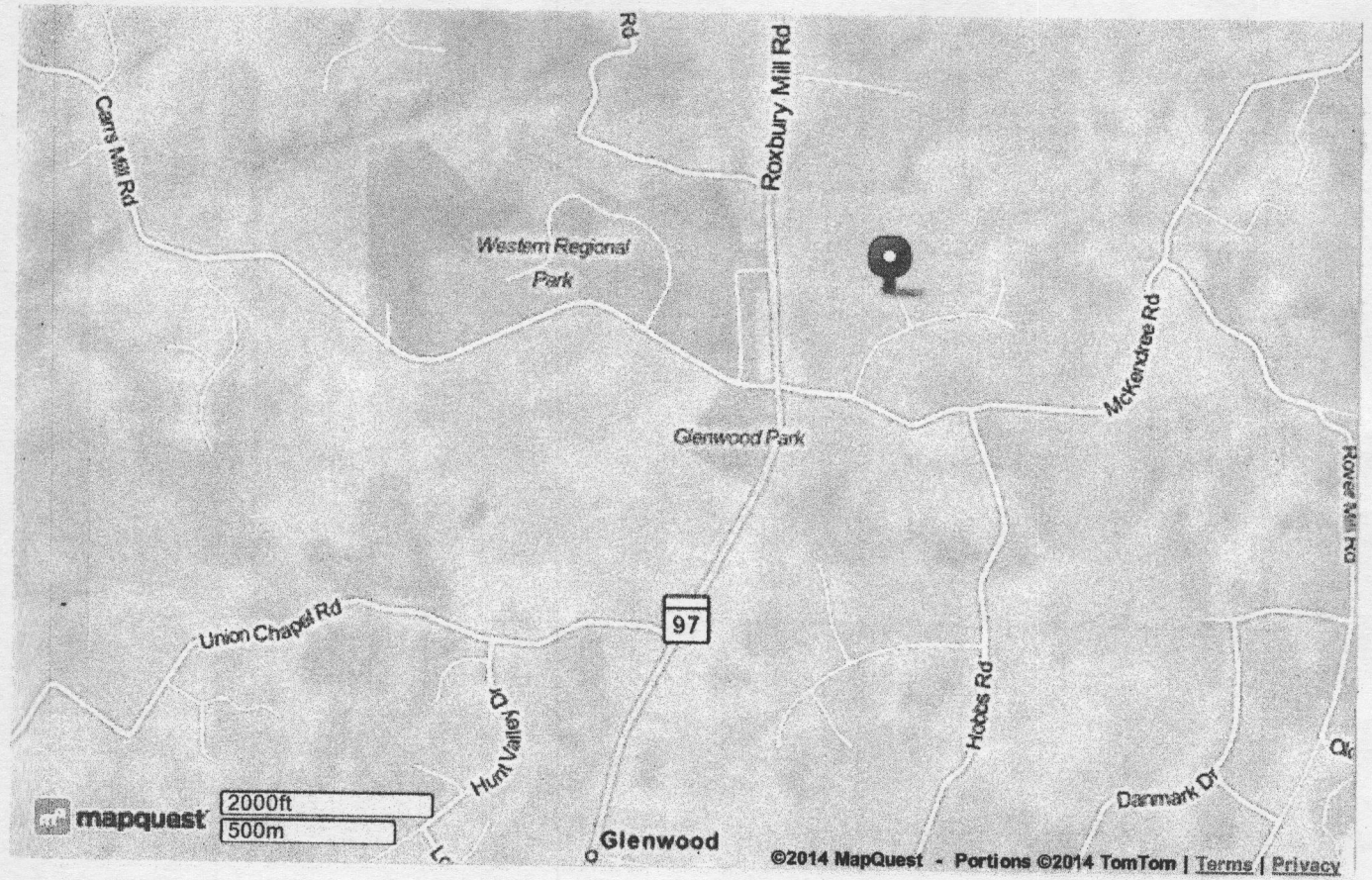
PROPOSED  
WALL



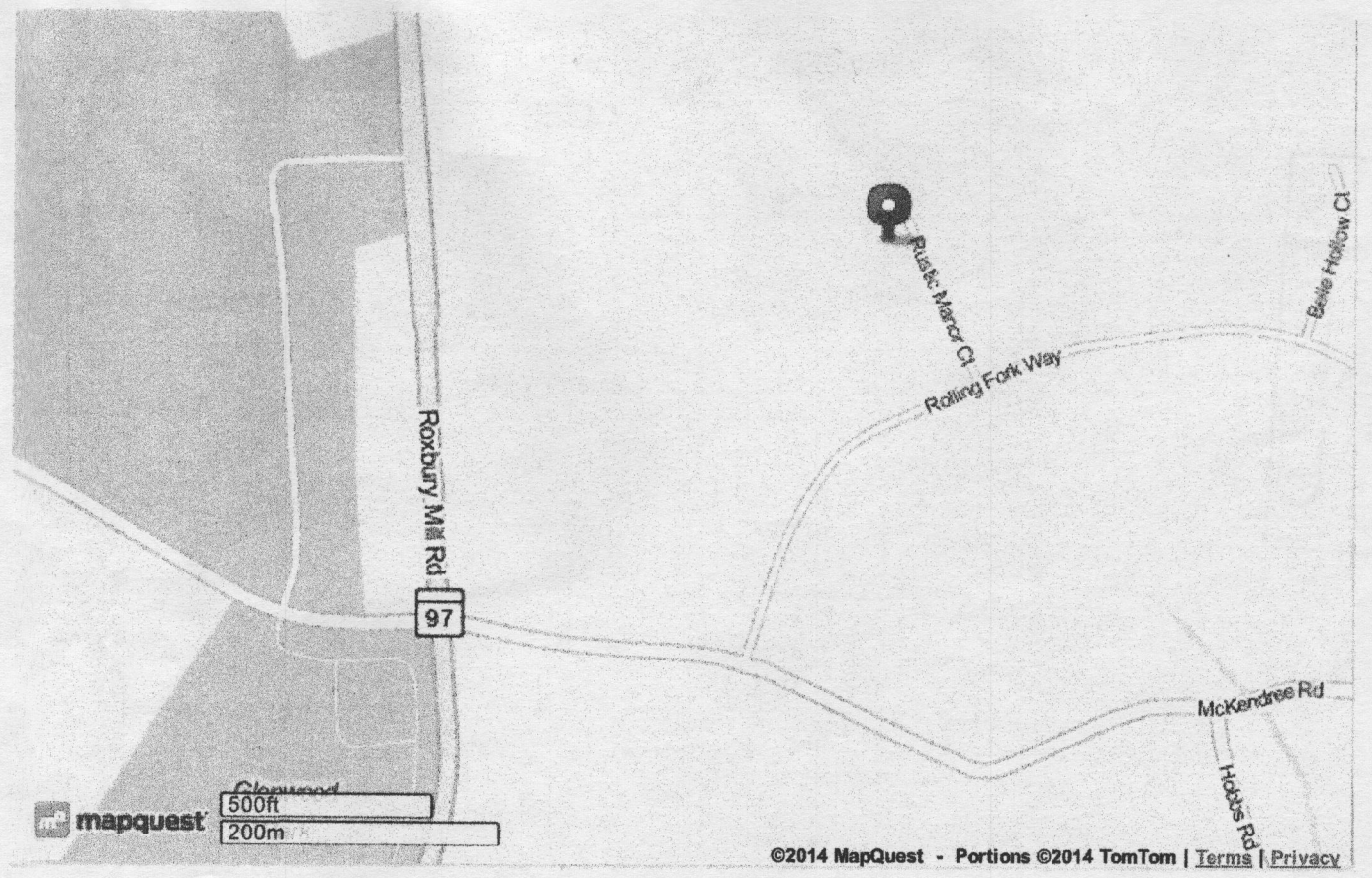
L'K EMOND RESIDENCE ADDITION + RENO  
2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747  
1-14-15  
SHEET  
6B  
OF 16



VICINITY MAP - LARGE 1" = 5000' N



VICINITY MAP - MEDIUM 1" = 2000' N



VICINITY MAP - SMALL 1" = 500' N

L'K EMOND RESIDENCE ADDITION + RENO  
 2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747  
 1-14-15  
 SHEET  
 8A  
 OF 16

## 1. GENERAL REQUIREMENTS

- 1.1 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF, AND/OR FLOOR TRUSSES.
- 1.2 DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE PRECEDENCE.
- 1.3 IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- 1.4 ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- 1.5 PROVIDE 22 1/2" X 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.
- 1.6 PROVIDE HANDRAILS 36" ABOVE NOSINGS ON ALL STAIRS W/ TWO OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS. HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC., 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MIN. 36" HIGH (UNLESS OTHERWISE NOTED) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE. HANDRAILS SHALL HAVE MAX. 2 1/4" GRIP CROSS SECTION.
- 1.7 PROVIDE NOMINAL 2X4 FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES, AND MID-HEIGHT FOR WALLS OVER 8' TALL. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE DRAFT STOPPING, NOT TO EXCEED 500 SQ. FT. UNLESS DWELLINGS ARE FULLY SPRINKLED.
- 1.8 PROVIDE A MINIMUM OF 6" - 8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 8 1/4" AND TREADS SHALL BE AT LEAST 8" WITH 1" NOSINGS, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE.
- 1.9 THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECS.
- 1.10 SLOPE ALL CONCRETE STOOPS, PORCHES, WALKS, AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
- 1.11 ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
- 1.12 CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10', BUT NO LESS THAN 3' AT POINT OF ROOF PENETRATION.
- 1.13 FLOOR JOISTS / TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- 1", OR PROVIDE TRIPLE PLATES.
- 1.14 PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 5/8" DRYWALL ON GARAGE SIDE, AND 1-HR SELF CLOSING DOOR. WHEN BENEATH LIVING SPACE INSTALL DOUBLE LAYER FIRE RATED DRYWALL ON CEILING AND ALL SUPPORTING STRUCTURE.

## 2. SPECIFICATIONS

- 2.1 CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF ALL APPLICABLE LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- 2.2 DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING CABINETRY, DOORS, PANELS, WINDOWS, AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
- 2.3 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND / OR OWNER.

## 3. SITE WORK

- 3.1 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSTABLE MATERIAL (PROVIDING LESS THAN 1500 PSF CAPACITY).
- 3.2 SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
- 3.3 BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADE WITH POSITIVE SLOPE. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM D1557 METHOD D.
- 3.4 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAINTILE MAY BE INSTALLED AT THE BUILDER'S DISCRETION.
- 3.5 PROVIDE PASSIVE UNDER SLAB RADON VENTING WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX E OF THE IRC.

## 4. CONCRETE

- 4.1 CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS: ACI-301, ACI-306, & ACI-318.
- 4.2 CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED).
- 4.3 ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- 4.4 FOUNDATION WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- 4.5 REINFORCING STEEL SHALL MEET ASTM A-615 & A-308, MESH: 6X6 - 1.4 / 1.4 WWF ASTM A-185. REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED IN THE DRAWINGS.
- 4.6 EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 5% TO 7% AIR ENTRAINED AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- 4.7 ALL INTERIOR CONCRETE SLABS 50 FEET OR MORE IN ANY DIMENSION SHALL HAVE WWF, CONTROL JOINTS, OR FIBER REINFORCEMENT. PROVIDE 1/2" EXPANSION MATERIAL AT ALL COLD POUR JOINTS.
- 4.8 PROVIDE VAPOR BARRIERS UNDER ALL SLABS; 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" GRAVEL BED.
- 4.9 POURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 6" FROM SOIL FACE.

## 5. VERTICAL MASONRY

- 5.1 ALL MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ACI-530-92 & ACI-530.1-92.
- 5.2 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING: HEIGHTS ARE FOR UN-REINFORCED WALLS AND WHERE BACKFILL SOIL PROVIDES MEDIUM TO POOR DRAINAGE.

TYPE OF WALL	HEIGHT OF FILL 6"
C.M.U. (HOLLOW)	4'-0"
12" C.M.U. (HOLLOW)	5'-0"
12" C.M.U. (SOLID)	6'-0"

HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.
- 5.3 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE A SOLID OR ASTM C-145, GRADE 3 STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000 PSI.
- 5.4 PARING OVER CMU WALLS TO BE NOT LESS THAN 3/8" PORTLAND CEMENT PARING FROM FOOTING TO FINISHED GRADE.
- 5.5 EXTREME CARE AND PROPER MEASURES SHALL BE USED WHILE INSTALLING BACKFILL SO AS NOT TO DAMAGE, BULGE, OR TIP WALL. SHORING, BRACING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.
- 5.6 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4X8 LINTEL FOR EACH 4" OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOPPERS AND BOTTOM AND WITH #2 TIES SPACED 9" O.C. UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 8" BEARING AT EACH END. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 5.7 USE TYPE "M" MORTAR FOR MASONRY IN CONTACT WITH EARTH.
- 5.8 USE TYPE "S" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.
- 5.9 MASONRY VENEER SHALL BE INSTALLED OVER A MOISTURE BARRIER OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE.
- 5.10 MASONRY VENEER SHALL BEAR ON MIN. 4" LEDGE W/ TIES TO BACK-UP AT 24" O.C. VERT. VENEER SHOULD NOT EXCEED 30' ABOVE TOP OF FOUNDATION, EXCEPT GABLE ENDS MAY BE 36' MAX.
- 5.11 IF BRICK LEDGES ARE RECESSED INTO FOUNDATION WALLS THE RESULTING STEM WALL SHALL BE MIN. 8" THICK FOR CMU WALLS AND 6" FOR POURED IN PLACE WALLS.
- 5.12 PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 33" O.C. MAINTAIN MIN. 1" AIR SPACE BETWEEN VENEER AND SHEATHING.
- 5.15 ONLY IF APPLICABLE AND SHOWN IN THE DRAWINGS, FOR ATTACHED DWELLINGS, MASONRY FIREWALLS SHALL BE CONSTRUCTED OF 8" CMU, CLASSIFICATION D-2, IN ACCORDANCE WITH UL-905 TO PROVIDE 2-HR. SEPARATION FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING BEAMS OR HEADERS BEARING ON MASONRY FIREWALL'S SHALL HAVE MIN. 4" MASONRY SEPARATION FROM ADJACENT DWELLING, AND SHALL BE FIRE CUT.

## 6. METALS

- 6.1 ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36
- 6.2 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" DIAMETER BOLTS PER SECTION OR PLATING, 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 8'-0" O.C. MAXIMUM STRAP SPACING NOT TO EXCEED 9'-6" O.C.

- 6.3 METAL JOIST HANGERS SHALL BE USED ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR P.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER.
- 6.4 NAILS, USE NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARDS.
- 6.5 VENEER TIES SHALL BE 1" WIDE, 22GA, GALVANIZED STEEL INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.
- 6.6 PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL SO IF NOT SPECIFICALLY DETAILED PROVIDE (1) STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END. HORIZONTAL LEGS SHALL BE 3 1/2" UNLESS OTHERWISE NOTED ON DRAWINGS.
- 6.7 LINTEL SCHEDULE, STEEL ANGLE. (UNLESS OTHERWISE NOTED):

L-1 3 1/2" X 3 1/2" X 5/16"	UP TO 3' OPENING.
L-2 4" X 3 1/2" X 5/16"	3' TO 5' OPENING.
L-3 5" X 3 1/2" X 3/8"	5' TO 6'-6" OPENING.
L-4 6" X 3 1/2" X 1/2"	UP TO 8' OPENING.
- 6.8 LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 6.9 ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.
- 6.10 PAINT ALL EXTERIOR FERROUS OR GALVANIZED METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS.
- 6.11 ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZES SPECIFIED.
- 6.12 WOOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 1/2" DIAMETER BOLTS AT 24" STAGGERED O.C.

## 7. WOOD

- 7.1 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- 7.2 PRESSURE TREATED (P.T.) LUMBER SHALL CONFORM WITH AWPA-U1 & M4. PRESERVATIVES SHALL CONFORM TO AWPA-P1/P13, P2, P5, P8, OR P9.
- 7.3 JOISTS AND GIRDETS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES PERS. ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 19%.
- 7.4 PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURER'S SHOP DRAWINGS SHOW OTHERWISE.
- 7.5 WHEN ENGINEERED BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSL, THEY ARE INTERCHANGEABLE. (MIN. F/B = 2600 PSF) NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECT'S APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 7.6 BEARING WALL STUDS SHALL BE MINIMUM 8PF STUD GRADE, KD OR BETTER.
- 7.7 EXTERIOR WALLS, UP TO 10' SUPPORTING (1) FLOOR & ROOF MAY BE 2X4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2X6 @ 16" O.C.
- 7.8 INTERIOR NON-BEARING WALLS MAY BE 8PF #3 2X4 STUDS, @ 24" O.C.
- 7.9 LATERAL WALL BRACING SHALL BE PROVIDED BY CONTINUOUS APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECS. ALTERNATE WALL BRACING MUST COMPLY W/ SECTION 602.10 OF THE IRC.
- 7.10 RAFTERS: SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.
- 7.11 DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TPI-82. STRUCTURAL DESIGN SHALL BE BY A REGISTERED PROFESSIONAL ENGINEER.
- 7.12 BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE INC. PUBLICATION: BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS, HB-01. INSTALL MINIMUM OF (2) 2X4 DIAGONAL BRACES AT APPROX. 45 DEGREES, FROM BOTTOM CHORD TO RIDGE IN EACH ROOF SECTION.
- 7.13 ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.
- 7.14 PLYWOOD SURFLOORING SHALL BE GLED AND NAILED TO JOISTS IN ACCORDANCE WITH APA RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION OR AS PER MANUFACTURER'S RECOMMENDATIONS.
- 7.15 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY). LEAVE 1/8" SPACE AT PANEL ENDS.

- 7.16 REFERENCE TO NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS:

3/4" = 23/32" APA RATED STURDI-FLOOR	24 O.C. EXPOSURE
5/8" = 19/32" APA RATED STURDI-FLOOR	24 O.C. EXPOSURE
1/2" = 15/32" APA RATED SHEATHING	32/16 EXPOSURE
7/16" = 7/16" RATED SHEATHING (08B)	24/16 EXPOSURE
- 7.17 ONLY IF APPLICABLE AND SHOWN ON THE DRAWINGS ATTACHED DWELLINGS W/2 HOUR RATED FIRE SEPARATION SHALL HAVE FIRE RESISTANT TREATED (F.R.T.) ROOF SHEATHING 4' EACH SIDE OF THE PARTYWALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE ACID HYDROLYSIS AT MOST CONDITIONS AT TEMPERATURE BELOW 400 DEGREES F. ALTERNATIVES TO THE USE OF F.R.T. SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D MAY ALLEVIATE THE NEED FOR F.R.T. IN CERTAIN JURISDICTIONS- VERIFY WITH BUILDING CODE OFFICIAL.
- 7.18 ALL WOOD LESS THAN 8" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED AS PER CURRENT AWPA STANDARDS.
- 7.19 NOTCHES IN TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED 1/6 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.
- 7.20 HOLES BORED IN SOLID JOISTS SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 DEPTH.
- 7.21 UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. 8PF NO. 2 (F#-875 PSF) OF SIZE SPECIFIED ON DRAWINGS. OPENINGS 3' OR LESS SHALL HAVE MIN. (2) - 2X4 HEADERS.
- 7.22 UNLESS OTHERWISE NOTED ON THE DRAWINGS, STRUCTURAL WINDOW AND DOOR JACK STUDS SHALL BE MIN. STUD GRADE, KD OR BETTER. PROVIDE SINGLE JACK STUDS AT OPENINGS LESS THAN 4'-0" AND DOUBLE JACK STUDS AT OPENINGS UP TO 7'-0".
- 7.23 ALL FASTENERS SHALL BE IN ACCORDANCE WITH TABLE 602.3 OF THE IRC.
- 7.24 MULTIPLE STUDS OR POSTS SHALL BE BLOCKED SOLID THROUGH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO THE FOUNDATION.

## 8. THERMAL AND MOISTURE PROTECTION

- 8.1 DAMP-PROOFING: APPLY (1) COAT OF BITUMINOUS 35Y OF ACRYLIC MODIFIED CEMENT OR ANY APPROVED WATERPROOFING TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS.
- 8.2 SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHERE NOTED ON DRAWINGS. OVERLAY ALL EDGES 6"
- 8.3 GILL SEALER: 1/2" X 5 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED GILL SEALER.
- 8.4 PROVIDE APPROVED CORROSION RESISTANT FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC., ARE ATTACHED TO WOOD FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.
- 8.5 UNLESS OTHERWISE SPECIFIED ON DRAWINGS, PROVIDE AND INSTALL THERMAL INSULATION. ALL INSULATION SHALL INCLUDE AN INTEGRAL VAPOR BARRIER POSITIONED ON THE WARM SIDE OF THE WALL / CEILING. EXPOSED INSULATION IN UNFINISHED SPACE SHALL HAVE A MIN. F5-25 FACING.
- 8.6 ROOFING, UNLESS OTHERWISE NOTED, ROOFING SHALL BE MIN. CLASS "C" FIBERGLASS BASED ASPHALT SHINGLES OVER 15 lb. FELT. ATTACH STRIP SHINGLE W/ MIN. OF 4 FASTENERS. EAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE INSTALLED AT THE OWNER'S DISCRETION. USE DOUBLE UNDERLAYMENT FOR ROOF SLOPES LESS THAN 4:12 PITCH.
- 8.7 PROVIDE AND INSTALL CONTINUOUS STRUCTURAL WOOD PANEL SHEATHING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MODEL CODE REQUIREMENTS.
- 8.8 PROVIDE SIDING MATERIAL AS SHOWN ON DRAWINGS AND INSTALLED AS PER MANUFACTURER'S SPECS. INSTALL OVER #15 FELT OR APPROVED WEATHER RESISTIVE MATERIALS, AIR INFILTRATION BARRIER OR MOISTURE RESISTANT SHEATHING.
- 8.9 GUTTERS SHALL BE .032" PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS. LEAD TO SPLASH BLOCKS OR AS REQUIRED BY THE LOCAL CODES.

- 8.10 PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS. MAINTAIN MINIMUM 1300 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS / RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

## 9. DOORS AND WINDOWS

- 9.1 THE CONTRACTOR SHALL VERIFY AND COORDINATE ROUGH OPENINGS FOR ALL DOORS AND WINDOWS PRIOR TO START OF CONSTRUCTION. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECS.
- 9.2 EACH SLEEPING ROOM AND BASEMENT SPACE (UNLESS AMENDED OTHERWISE BY LOCAL JURISDICTION) SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 SQ.FT. (5.4 SQ.FT AT GRADE CONDITIONS) OF NET CLEAR OPENINGS AS CERTIFIED BY THE MANUFACTURER. WITH A SILL HEIGHT NOT MORE THAN 44" A.F.F. OR OTHER CLEAR DIRECT MEANS OF EGRESS TO THE OUTSIDE. WINDOW WELLS, IF REQUIRED, SHALL BE MIN. 3X3".
- 9.3 TEMPERED GLASS (SAFETY GLAZING) SHALL BE PROVIDED IN:
  - GLASS DOORS, & SIDELIGHTS
  - SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6' OF TUB
  - GLAZING ON STAIR LANDINGS
  - FIXED PANELS GREATER THAN 9 SQ.FT. WITHIN 18" OF FINISHED FLOOR
  - GLAZING WITHIN 12" OF A STAIR RAILING
  - GLAZING WITHIN 24" RADIUS OF CLOSED DOORS
- 9.4 IF APPLICABLE PROVIDE SELF CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1 3/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MINUTE FIRE RATING.

## 10. FINISHES

- 10.1 DRYWALL: 1/2" TAPERED EDGE GYPSUM BOARD APPLIED, TAPED, AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-216 AND ASTM C-840.
- 10.2 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION.
- 10.3 IF APPLICABLE AND AS SHOWN ON THE DRAWINGS, PROVIDE FIRE RESISTANT RATED ASSEMBLIES AS DETAILED FOR PARTYWALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.
- 10.4 UNDERSIDE AND WALLS OF ACCESSIBLE ENCLOSED SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD.
- 10.5 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH CEMENT BOARD IS A PREFERRED ALTERNATIVE.
- 10.6 INTERIOR PAINT (COORDINATE WITH HOME OWNER / MANUF. SPEC.)
  - CEILINGS: 1 COAT PRIMER, 1 COAT FLAT LATEX
  - FINISH WALLS: 1 COAT PRIMER, 1 COAT FLAT LATEX
  - FINISH TRIM: 1 COAT PRIMER, 1 COAT SEMI-GLOSS ENAMEL FINISH
- 10.7 EXTERIOR PAINT (COORDINATE WITH HOME OWNER / MANUF. SPEC.)
  - TRIM: 1 COAT PRIMER, 1 COAT EXTERIOR GRADE LATEX ENAMEL
- 10.8 CERAMIC TILE WALLS SHALL BE GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANBI A108.4) OVER GYPSUM BOARD AND DRY-SET LATEX PORTLAND MORTAR (ANBI A108.5) OVER CEMENT BOARD. FLOOR TILE SHALL BE GLAZED MOSAIC TILE OVER A MINIMUM 5/8" PLYWOOD UNDERLAYMENT, SCREWED 12" O.C. TO SUBFLOOR OR AS RECOMMENDED BY MANUFACTURER. USE EPOXY MORTAR AND GROUT APPLICATION (ANBI A118.3). JOIST SPACING SHALL NOT EXCEED 19.2" O.C.
- 10.9 RESILIENT FLOORS SHALL BE SHEET VINYL, RESILIENT FLOORING, OVER 1/4" MIN. FIBERBOARD OR PLYWOOD UNDERLAYMENT OR AS DIRECTED BY THE OWNER.

\*\*\* ALL WORK TO COMPLY WITH IRC / IBC 2012

## 11. SPECIALTIES

- 11.1 IF APPLICABLE, PREBUILT FIREPLACES SHALL BE U.L. APPROVED AND INSTALLED ACCORDING TO THE MANUFACTURER'S SPECS.
- 11.2 TOILET AND BATH ACCESSORIES SHALL BE AS SPECIFIED BY THE OWNER.
- 11.3 MIRROR QUALITY AND SIZES TO BE SPECIFIED BY THE OWNER.
- 11.4 PROVIDE EITHER SHOWER RODS 80" ABOVE FINISHED FLOOR, OR TEMPERED, OR SAFETY LAMINATE GLASS DOORS, AS SPECIFIED BY THE OWNER.

## 12. MECHANICAL

- 12.1 HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOISTS, TRUSSES, ETC., WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE PERMITTED IN COMPLIANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.
- 12.2 PROVIDE ONE DAMPER REGISTER PER 900 SQ.FT. OF UNFINISHED BASEMENT SPACE IF APPLICABLE.
- 12.3 PROVIDE EXHAUST FANS AT EACH BATH, AND VENT TO EXTERIOR OF DWELLING.
- 12.4 IF APPLICABLE AND REQUIRED BY LOCAL CODE, PROVIDE FIRE SUPPRESSION SYSTEMS IN ACCORDANCE WITH NFPA 13D. CONFIRM SUCH REQUIREMENTS WITH THE LOCAL JURISDICTION BEFORE PROCEEDING WITH ANY WORK.
- 12.5 ALL DUCTWORK THAT PENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.
- 12.6 ALL VENTS AND FLUES SHALL BE INSTALLED WITH A MINIMUM OF 1" CLEARANCE TO ADJACENT WOOD FRAMING, GREATER IF SPECIFIED BY MANUFACTURER.
- 12.7 ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPE SIZES LARGER THAN THE SUBJECT PIPE.
- 12.8 PROVIDE OVERFLOW PANS AND DRAINS FOR WASHER AND WATER HEATER WHEN LOCATED ON A WOOD FLOOR SYSTEM.
- 12.9 PROVIDE HOSE BIBBS (FREEZE PROOF OR WITH SHUT OFF) AT FRONT AND REAR OF DWELLINGS, OR AS SHOWN ON DRAWINGS.
- 12.10 PROVIDE 1 1/2" CONDENSATE LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUTFALL OR TO SUMP PUMP IF PROVIDED OR AS DIRECTED BY LOCAL JURISDICTION.

## 13. ELECTRICAL

- 13.1 ALL PERMITTED WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS, FIXTURES AND APPLIANCES, AS SPECIFIED BY THE OWNER OR AS NOTED ON THE DRAWINGS.
- 13.2 ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND REFRIGERATOR TO BE 42" ABOVE FINISHED FLOOR, SWITCHES SHALL BE 48" MAX. ABOVE FINISHED FLOOR.
- 13.3 PROVIDE GFCI RECEPTACLES AT ALL WET LOCATIONS AND IN ACCORDANCE WITH N.E.C. REQUIREMENTS.
- 13.4 PROVIDE HARDWIRED SMOKE DETECTORS IN EACH SLEEPING ROOM AND AT EACH FLOOR LEVEL WITHIN 10' OF EACH SLEEPING AREA, NOT CLOSER THAN 4' FROM RETURN AIR INLETS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY.
- 13.5 IF REQUIRED BY THE LOCAL CODE, PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE RADON EXTRACTION FAN (W/ SWITCH) LOCATED IN ATTIC SPACE OR AS SPECIFIED BY THE OWNER.
- 13.6 ALL BRANCH CIRCUITS SERVING BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS PER NEC.
- 13.7 ALL PERMANENT APPLIANCES SHALL BE PROVIDED WITH BRANCH CIRCUIT OVER CURRENT DISCONNECTION DEVICES. FOR APPLIANCES RATED OVER 300 VOLTS-AMPS OR 1/8hp, DISCONNECT SHALL BE WITHIN LINE OF SIGHT.

## 14. DESIGN LOAD BASIS

Roof LL.....35 PSF	2nd Flr LL.....35 PSF
Roof DL.....10 PSF	2nd Flr DL.....10 PSF
combo.....45 PSF	combo.....45 PSF
Clg DL.....10 PSF	Wind Load.....20 PSF
1st Flr LL.....45 PSF	
1st Flr DL.....10 PSF	
combo.....55 PSF	

## 15. ENERGY CODE NOTE

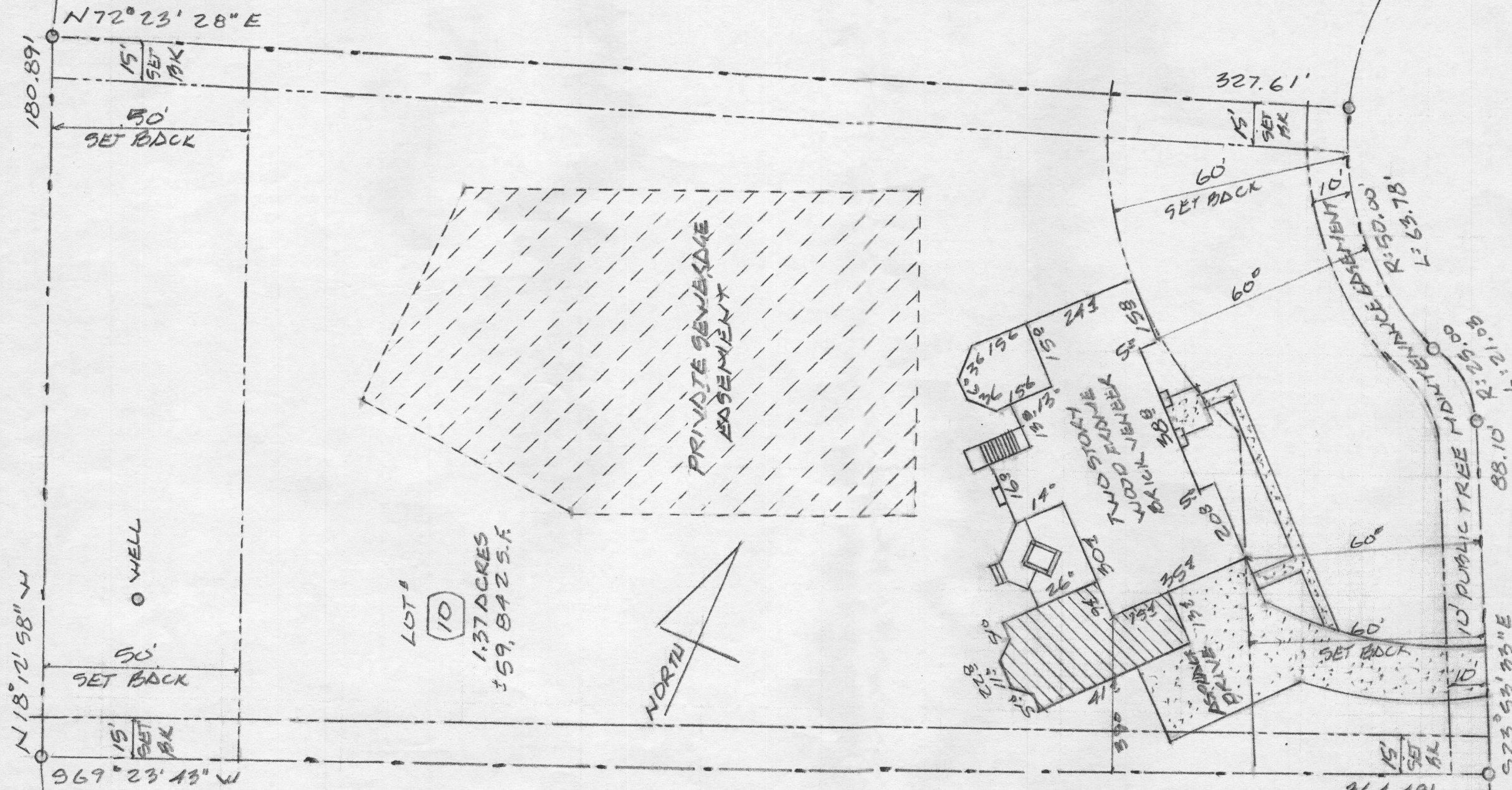
THIS PROJECT IS REQUIRED TO COMPLY WITH 2009 INTERNATIONAL ENERGY CODES IN RESPECT TO WALL INSULATION, CEILING / ROOF, SKY LIGHTS, SUNROOM GLASS, AIR LEAKAGES FIRE PLACES, WATER HEATERS, HEAT PUMPS, DUCT INSULATION. CONTRACTOR TO REFER TO THIS CODE PRIOR TO CONSTRUCTION TO INSURE COMPLIANCE.

L.P.K. EMOND RESIDENCE ADDITION + RENO.  
2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747  
1-14-15  
SHEET  
9  
OF 16

LOT LOCATION:

ZONE: R. C (CONSERVATION)  
 LOT #10  
 PLAT BOOK # 11550  
 SUBDIVISION:  
 "GWYNIDYL DDK ESTATES"

HOWARD COUNTY  
 2809 RUSTIC MANOR COURT  
 GLENWOOD, MARYLAND 21738-9747



RUSTIC MANOR COURT

SITE PLAN/PLAT PLAN

1" = 30'

L·K E·M·O·N·D R·E·S·I·D·E·N·C·E A·D·D·I·T·I·O·N · R·E·N·O

2809 RUSTIC MANOR COURT GLENWOOD, MARYLAND 21738-9747

1-14-15  
 SHEET  
 8B  
 OF 16

SETBACK RESTRICTIONS:

- 60' FRONT YARD SETBACK
- 50' REAR YARD SETBACK
- 15' RIGHT SIDE YARD SETBACK
- 15' LEFT SIDE YARD SETBACK
- 34' MAX. BUILDING HEIGHT

LOT SIZE/LOT SITE DRED  
 ±59,842 ± / 1.37 ACRE  
 LOT COVERDGE ±8%  
 HOUSE ±4043 ±  
 ADDITION ±793 ±  
 TOTAL ±4836 ±

