

# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: 9/23/15

Permit No.: B15004178

Building Address: 12202 Pleasant Springs Ct  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_  
 Proposed Use: \_\_\_\_\_  
 Estimated Construction Cost: \$ 4,000  
 Description of Work: PROFANE  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Applicant's Name & Mailing Address, (If other than stated herein)**  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: \_\_\_\_\_  
 Contact Person: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 License No.: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<b>Depth</b>	<b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell*Permit Number:</b> <u>B1500018</u>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

**Applicant's Signature** \_\_\_\_\_ **Print Name** \_\_\_\_\_  
 \_\_\_\_\_ 09/23/15  
**Email Address** \_\_\_\_\_ **Date** \_\_\_\_\_  
 \_\_\_\_\_  
**Title/Company** \_\_\_\_\_

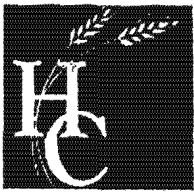
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
**-FOR OFFICE USE ONLY-**

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health		<u>Bernard</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$ <u>100.00</u>
Tech Fee	\$ <u>10.00</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
<b>Total Fees</b>	\$ <u>110.00</u>
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>1142616702</u>



**Building Permit Application**  
 Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: B15000188

Building Address: 12202 Pleasant Springs Court  
 City: Highland State: MD Zip Code: 20777  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Highland Reserve aka Regan Property  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 12  
 Tax Map: 34 Parcel: 200 Grid: 24  
 Zoning: RR-DEO Map Coordinates: \_\_\_\_\_ Lot Size: 20,462 SF

Existing Use: Vacant  
 Proposed Use: Single Family Dwelling  
 Estimated Construction Cost: \$ 403,023  
 Description of Work: Eagles Nest A Elevation, 3 car garage, rear gathering room, full basement, fireplaces, rear deck. Seeking a Silver Certification Level of the National Green Building Standard ICC-700 through 3rd party verification by Pando Alliance (Verifier's info. attached)  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	<b>Depth</b> <b>Width</b>
Gross area, sq. ft./floor: _____	1 <sup>st</sup> floor: <u>60' - 70'</u>
Area of construction (sq. ft.): _____	2 <sup>nd</sup> floor: <u>60' - 70'</u>
Use group: _____	Basement: <u>60' - 70'</u>
<b>Construction type:</b>	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	<b>Multi-family Dwelling</b>
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: MB Highland Reserve LLC  
 Address: 1686 East Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: Ralph Mobley, Jr., MB Highland Reserve LLC  
 Address: 1686 East Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 Phone: 301-762-9511 Fax: \_\_\_\_\_  
 Email: rmobley@mitchellbest.com

Contractor Company: MB Highland Reserve LLC  
 Contact Person: Ralph Mobley, Jr.  
 Address: 1686 East Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 License No.: 7316  
 Phone: 301-762-9511 Fax: \_\_\_\_\_  
 Email: rmobley@mitchellbest.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<u>G14000305</u>	
<b>Building Shell Permit Number:</b>	

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Ralph Mobley, Jr.  
 Applicant's Signature  
rmobley@mitchellbest.com  
 Email Address  
VP of Land/Mitchell & Best Homes LLC  
 Title/Company

Ralph Mobley, Jr.  
 Print Name  
01/14/15  
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA ( Zoning )		
<input checked="" type="checkbox"/> PSZA ( Engineering )		
<input checked="" type="checkbox"/> Health	<u>1/14/15</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>000279</u>

**LEGEND**

- EXISTING CONTOURS 480 478 999
- PROPOSED CONTOURS
- LIMIT OF WETLANDS
- 25' WETLANDS BUFFER
- CENTERLINE OF STREAM
- STREAM BUFFER
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- PROPOSED STRUCTURE
- FOREST CONSERVATION EASEMENT
- PRIVATE SEWAGE DISPOSAL AREA
- PRIVATE WELL AREA
- APPROXIMATE STORMWATER MANAGEMENT AREA
- SWM**

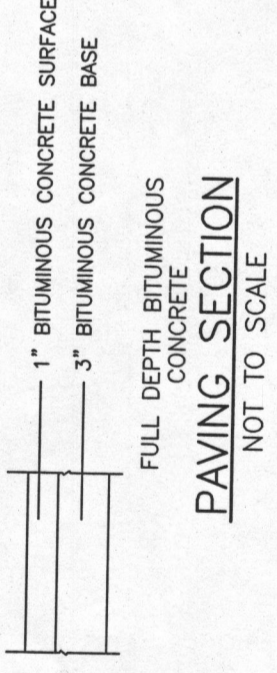
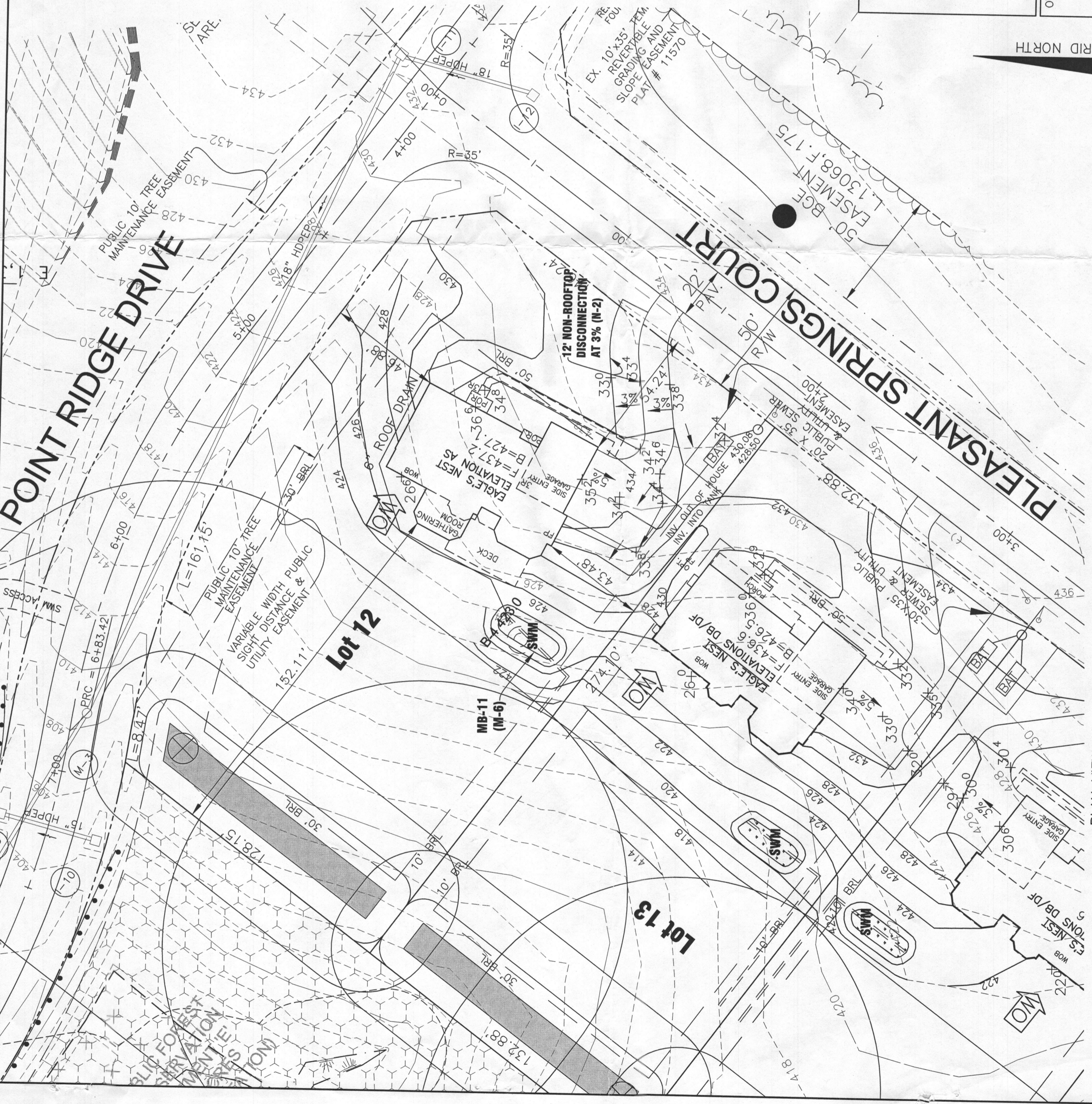
**BUILDING PERMIT PLAN NOTES:**

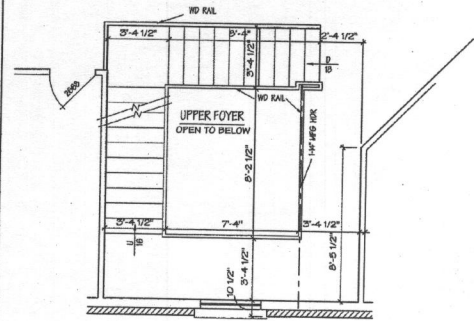
1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR REGAN PROPERTY, PLAT NOS. 23063-23074. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN AND MODIFIED FOR THIS SPECIFIC HOUSE.
3. TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JANUARY, 2012.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-14-0004, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED TO BE PROVIDED BY BOTH MICRO-BIORETENTION FACILITY (WDE M-6) AND NON-ROOFTOP DISCONNECTION (WDE N-2).
10. NO DRIVEWAY CULVERT IS REQUIRED FOR THIS LOT.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 45577, Expiration Date: 6-6-2016.

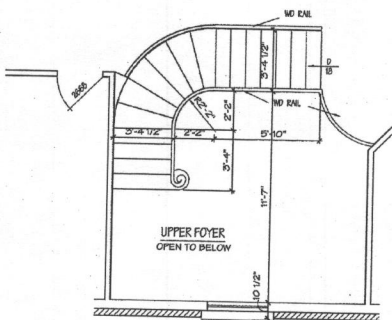
**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 PHONE: 410-465-6105 & FAX: 410-465-6644  
 BE@BEI-CIVLENGINEERING.COM

OWNER/BUILDER:	MB HIGHLAND RESERVE, LLC 1686 EAST GUDE DRIVE ROCKVILLE, MD 20850 301-762-9511
PROJECT:	REGAN PROPERTY LOT 12
LOCATION:	12202 PLEASANT SPRINGS COURT HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
TITLE:	BUILDING PERMIT PLAN
HOUSE TYPE:	EAGLE'S NEST
DATE:	JANUARY, 2015
SCALE:	1" = 30'
DESIGN:	JMC DRAFT: JMC
PROJECT NO.	2171
DRAWING	1 OF 2

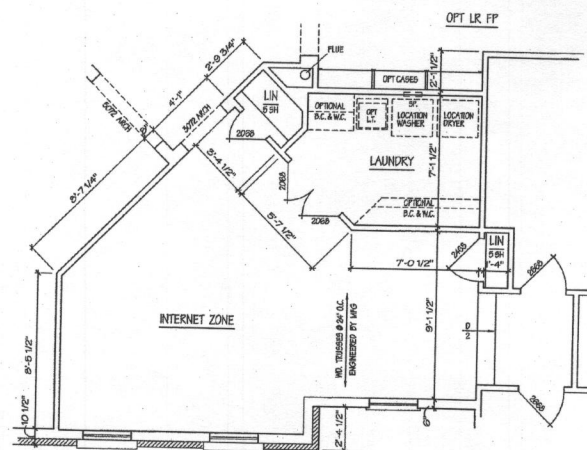




STAIRS FOR OPT 3RD FLOOR PLAN  
W-10



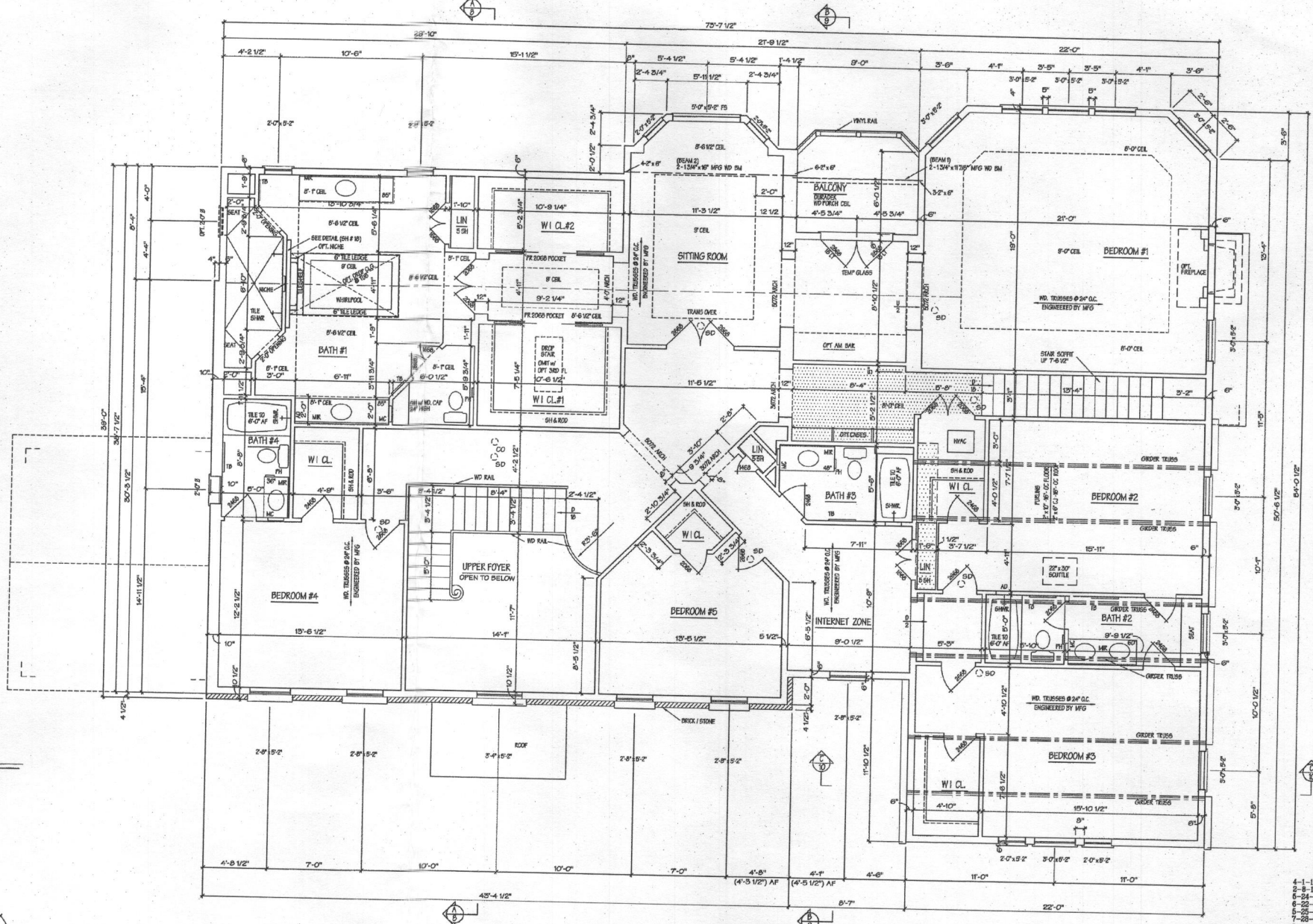
OPT L SHAPED STAIR  
WITH RADIAL WINDERS



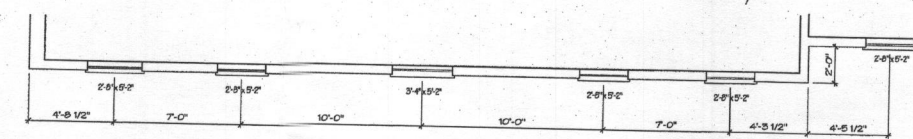
2ND FL LAUNDRY  
W-10

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect under the laws of the State of Maryland. License # 3637-A Expiration Date 3-12-16



SECOND FLOOR PLAN AB/AS  
W-10



SECOND FLOOR PLAN AF  
W-10

NOTE: 50 FT TOTALS ARE APPROXIMATE  
STANDARD MODEL  
2ND FL. = 2805 sq. ft.

NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.

NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.

Contractor to check and verify all dimensions and conditions in field prior to start of construction. NOTIFY ARCHITECT OF ANY DISCREPANCIES

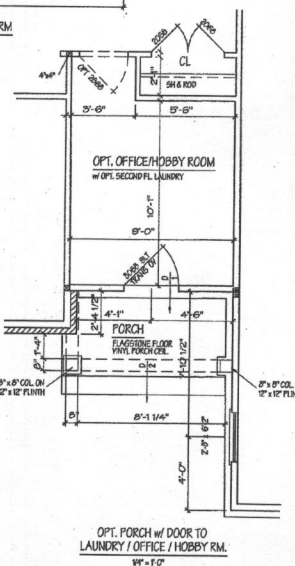
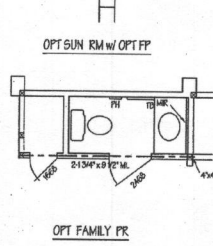
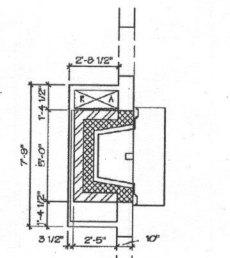
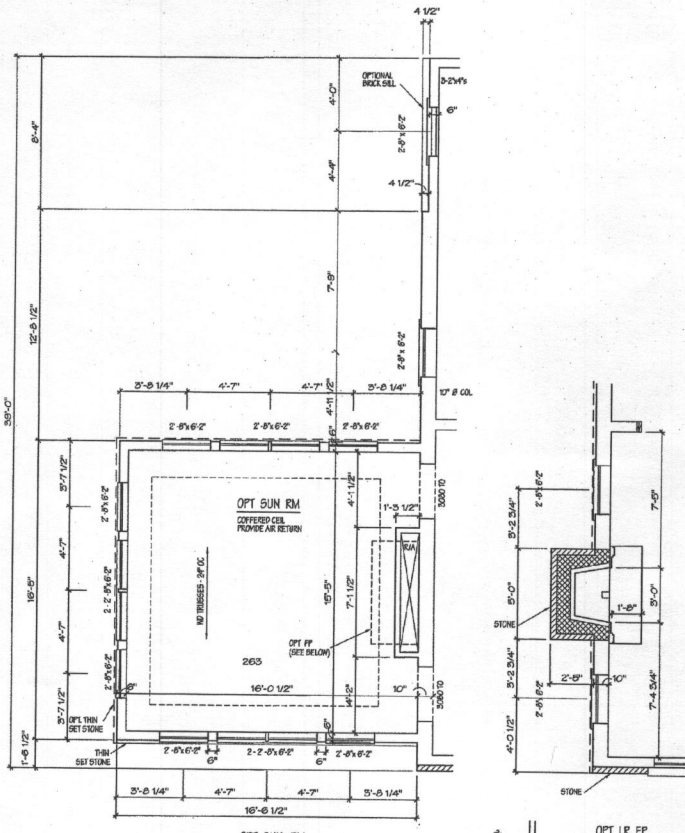
EAGLE'S NEST AB/AF/AS

HUTCHINSON + ASSOCIATES L.L.C.  
11820 PARKLAWN DRIVE (S. 100)  
ROCKVILLE, MD. 20852  
PHONE: (301) 770-9680 FAX: (301) 770-0163

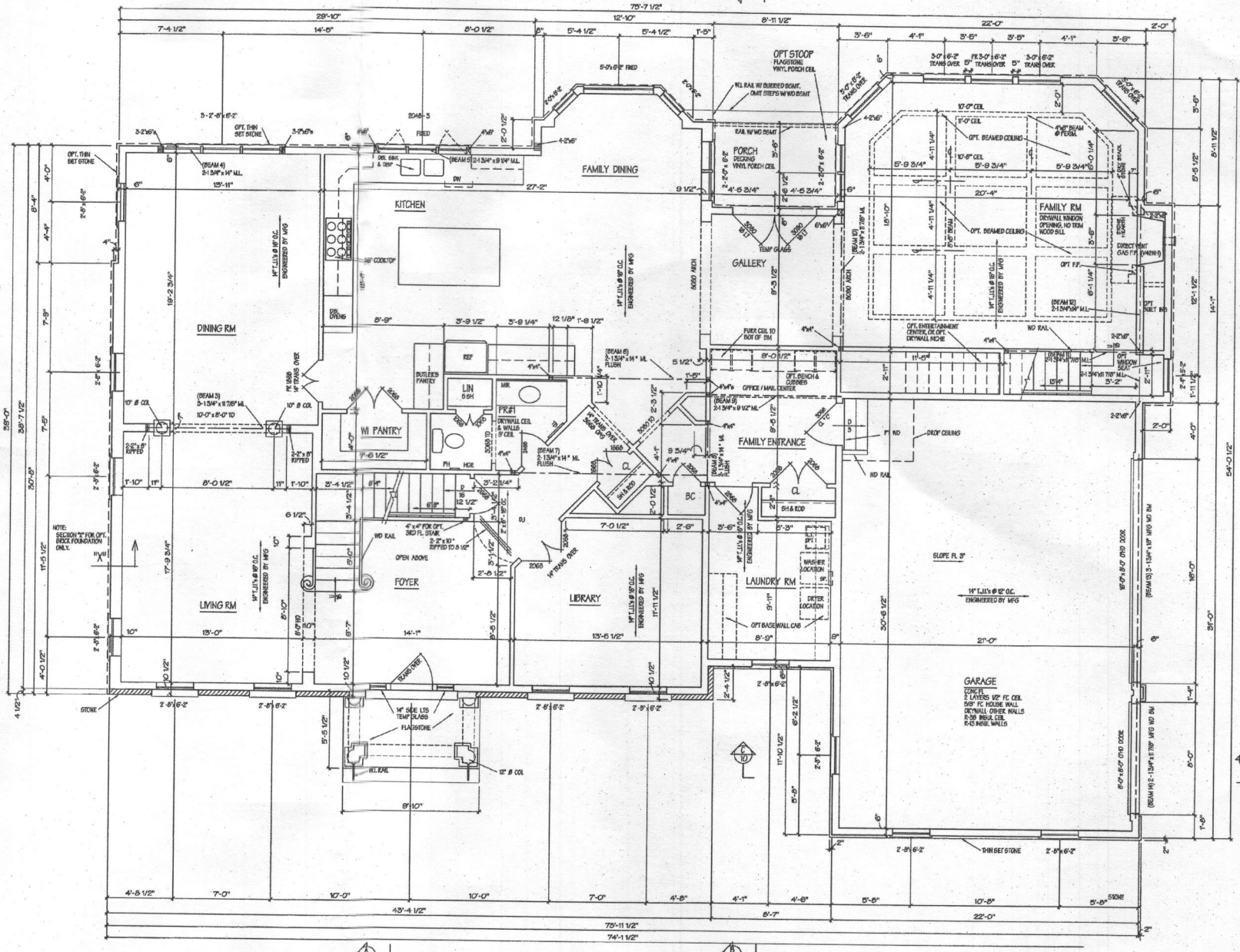
MITCHELL & BEST HOMEBUILDERS  
1686 E CHIEF DR.  
ROCKVILLE, MD 20850

DRAWN BY	DATES	LOT NO.	BLOCK	DWG. NO.
18	7-27-01			
	8-6-01			
CHECKED BY	11-16-01	SECTION	JOB NO.	3
	1-4-02			
	4-10-02			

- 4-1-15
- 2-8-15
- 6-23-14
- 6-23-14
- 7-28-14
- 5-14-03
- 6-25-02
- 12-22-00
- 6-22-00
- 4-22-00
- 8-10-00
- 8-4-00
- 4-1-10



PROFESSIONAL CERTIFICATION I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect under the laws of the State of Maryland. License # 3637-A Expiration Date 3-12-18



FIRST FLOOR PLAN STONE

- 4-1-15
- 5-1-15
- 6-1-15
- 7-1-15
- 8-1-15
- 9-1-15
- 10-1-15
- 11-1-15
- 12-1-15
- 1-1-16
- 2-1-16
- 3-1-16
- 4-1-16

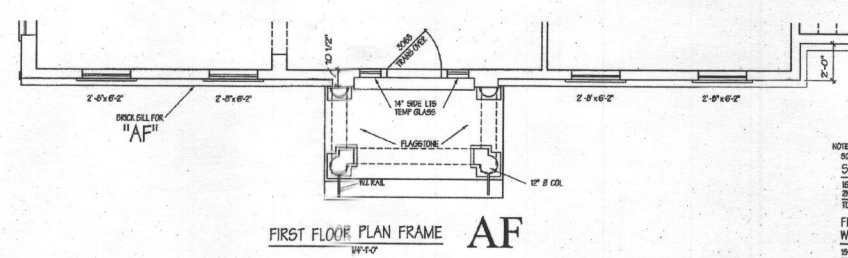
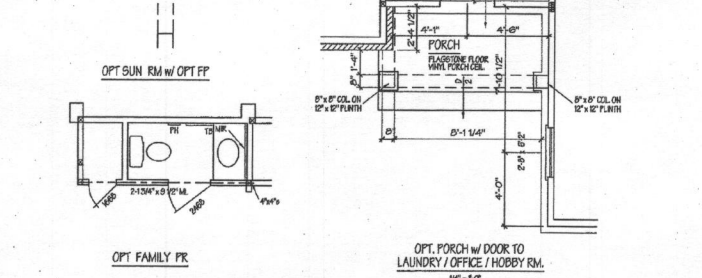
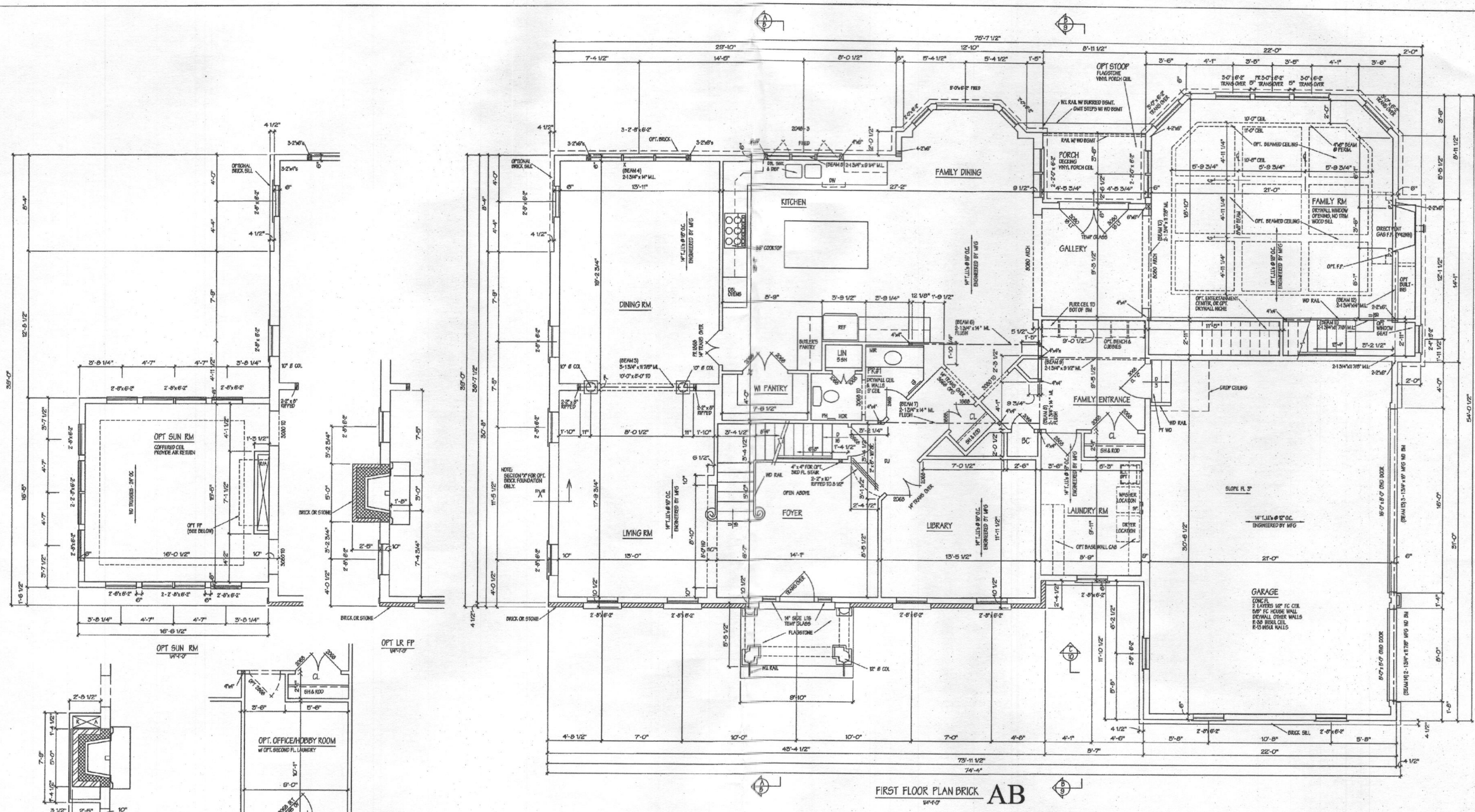
NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.  
 NOTE: All wall angles to be 90 OR 45 degree unless noted otherwise.  
 Contractor to check and verify all dimensions and conditions in field prior to start of construction.  
 NOTIFY ARCHITECT OF ANY DISCREPANCIES

**EAGLE'S NEST AS** REVISIONS

HUTCHINSON + ASSOCIATES L.L.C.  
 11820 PARKLAWN DRIVE (S. 100)  
 ROCKVILLE, MD. 20852  
 PHONE: (301) 770-9680 FAX: (301) 770-9163

MITCHELL & BEST HOMEBUILDERS  
 1686 E. GUIDE DR.  
 ROCKVILLE, MD 20850

DRAWN BY	DATE	LOT NO.	BLOCK	DWG. NO.
IS	7-27-01			
CHECKED BY	DATE	SECTION	JOB NO.	
	8-2-01			2A
	11-12-01			
	1-10-02			



NOTE: SQ. FT. TOTALS ARE APPROXIMATE STANDARD MODEL  
 BRICK = 2200 SQ. FT.  
 FRAME = 2200 SQ. FT.  
 GARAGE = 2200 SQ. FT.  
 TOTAL = 6600 SQ. FT.

FIRST FLOOR WITH OPTIONS  
 BRICK = 2200 SQ. FT.  
 FRAME = 2200 SQ. FT.  
 GARAGE = 2200 SQ. FT.  
 TOTAL = 6600 SQ. FT.

NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.

NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.

Contractor to check and verify all dimensions and conditions in field prior to start of construction.  
 NOTIFY ARCHITECT OF ANY DISCREPANCIES

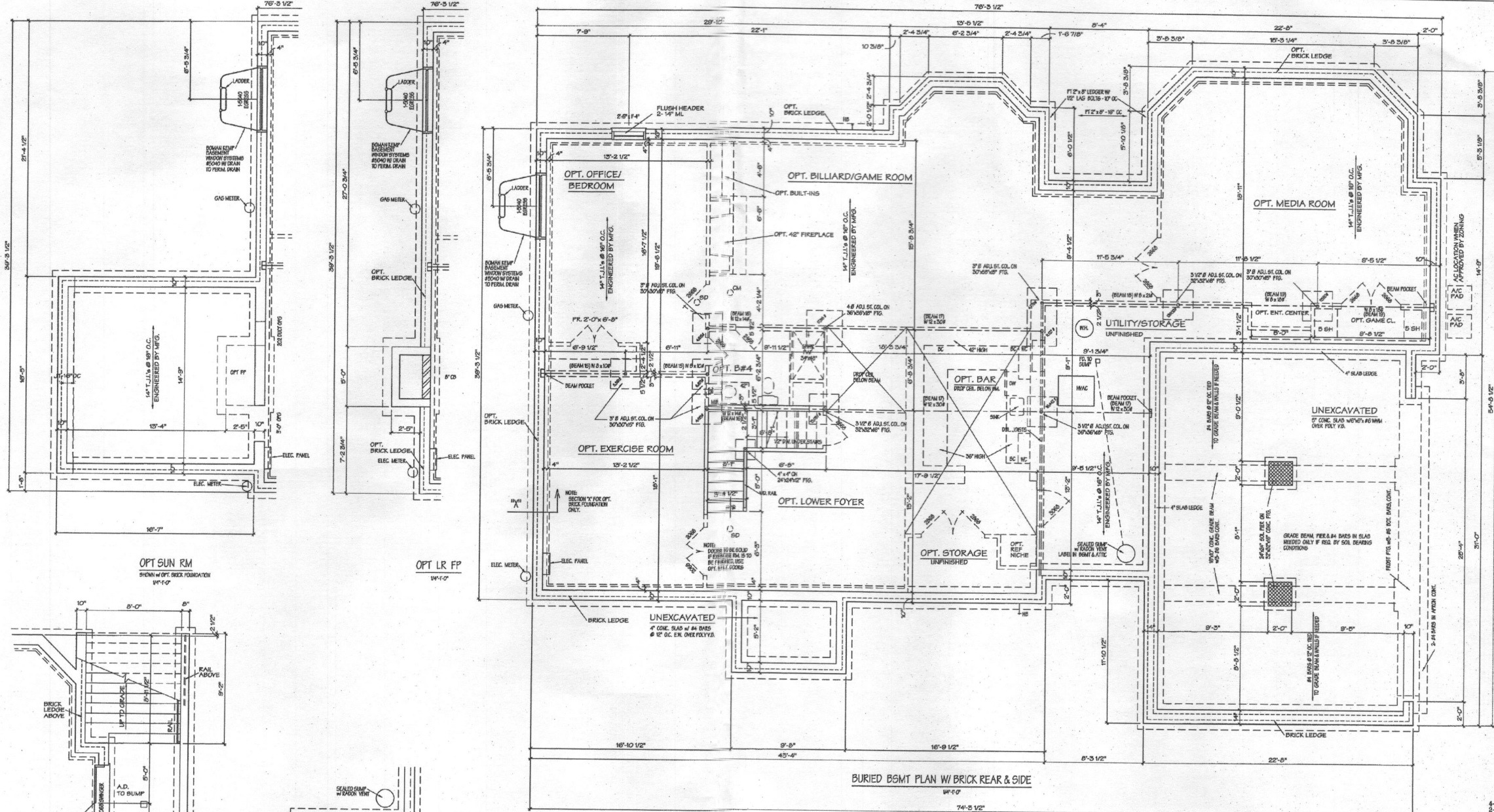
**EAGLE'S NEST AB/AF**

HUTCHINSON + ASSOCIATES L.L.C. 11820 PARKLAWN DRIVE (S. 100) ROCKVILLE, MD. 20852 PHONE: (301) 770-9550 FAX: (301) 770-9163			
MITCHELL & BEST HOMEBUILDERS ROCKVILLE, MD 20850			
DRAWN BY	DATE	LOT NO.	BLOCK
lg	7-27-01		
CHECKED BY	DATE	SECTION	JOB NO.
lg	1-19-01		
	4-10-02		
	4-1-10		

4-1-15
5-3-13
6-24-12
6-22-04
5-25-04
7-28-03
6-14-03
6-26-02
1-8-03
6-22-00
12-28-06
4-22-06
8-10-09
8-4-09
4-1-10

PROFESSIONAL CERTIFICATION I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect under the laws of the State of Maryland. License # 3637-A Expiration Date 3-12-16

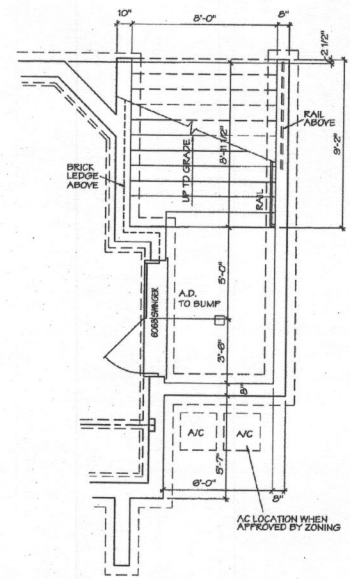




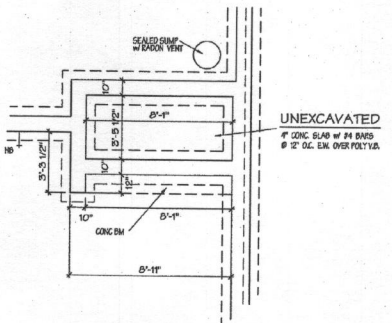
OPT SUN RM  
SHOWN W/ OPT. BRICK FOUNDATION  
14'-0"

OPT LR FP  
14'-0"

BURIED BSMT PLAN W/ BRICK REAR & SIDE  
14'-0"  
74'-5 1/2"



OPT BRICK AREAWAY  
14'-0"



OPT PORCH w/ DOOR TO  
LAUNDRY / OFFICE / HOBBY RM.  
14'-0"

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**EAGLE'S NEST AB/AF/AS**

REVISIONS

4-1-15
5-8-15
6-24-12
6-25-04
7-23-04
5-14-03
6-20-02
1-2-00
6-22-99
10-22-98
4-22-08
8-10-09
8-9-09
4-1-10

HUTCHINSON + ASSOCIATES L.L.C.  
11820 PARKLAWN DRIVE (S. 100)  
ROCKVILLE, MD. 20852  
PHONE: (301) 770-9680 FAX: (301) 770-9163

MITCHELL & BEST HOMEBUILDERS  
1886 E. GUDE DR.  
ROCKVILLE, MD 20850

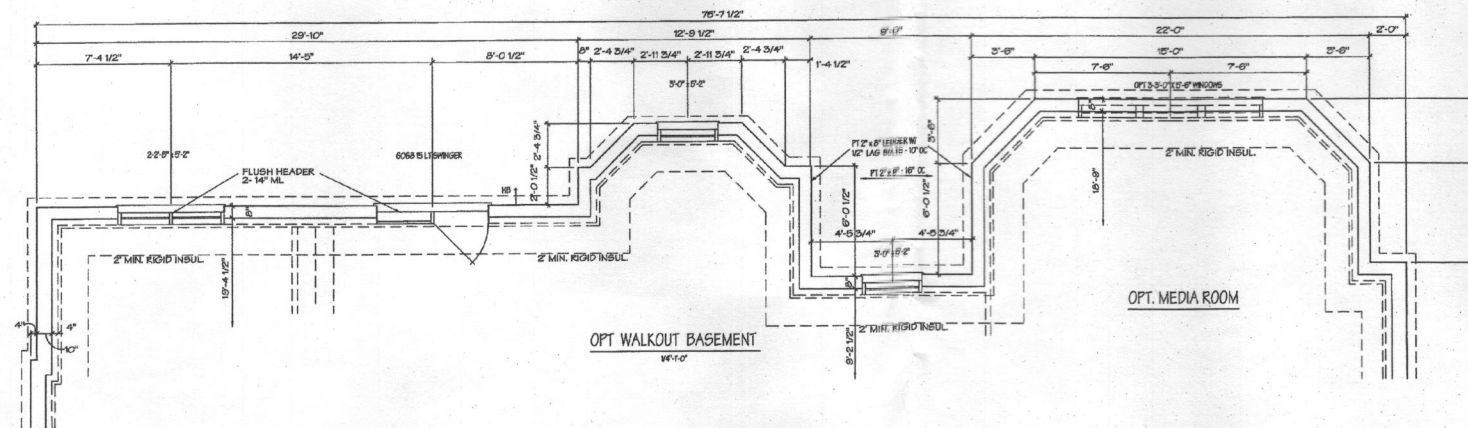
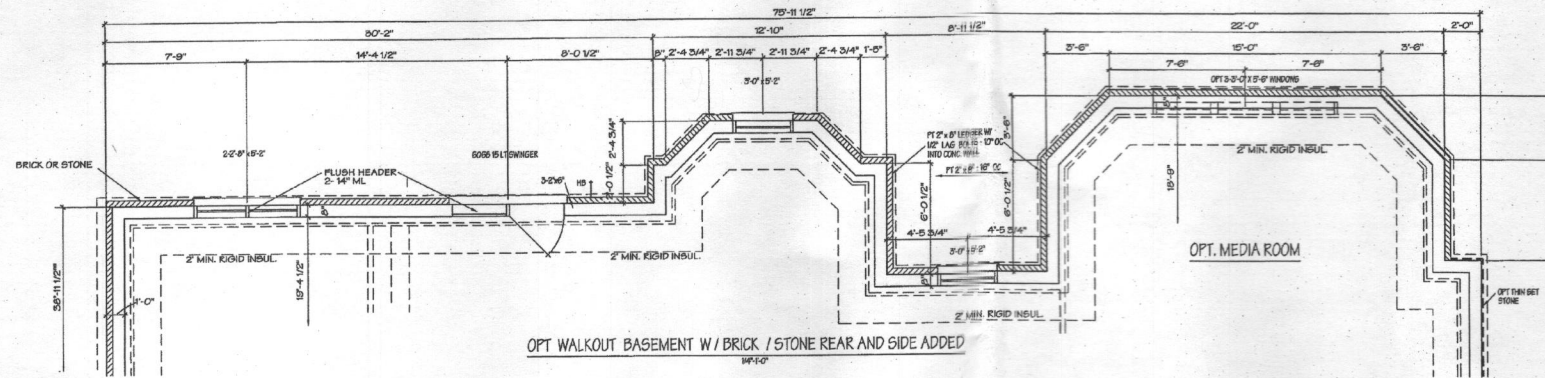
NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.

NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.

Contractor to check and verify all dimensions and conditions in field prior to start of construction. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DRAWN BY	DATE	LOT NO.	BLOCK	DWG. NO.
1B	7-27-01			
CHECKED BY	DATE	SECTION	JOB NO.	
	1-19-01			
	1-4-02			
	4-10-12			

**1B**



- 4-1-15
- 2-8-13
- 8-24-12
- 6-22-04
- 5-25-04
- 7-23-03
- 5-14-03
- 6-28-02
- 1-9-00
- 5-22-00
- 12-22-98
- 4-22-98
- 3-10-99
- 3-8-98
- 4-1-10

EAGLE'S NEST AB/AF/AS

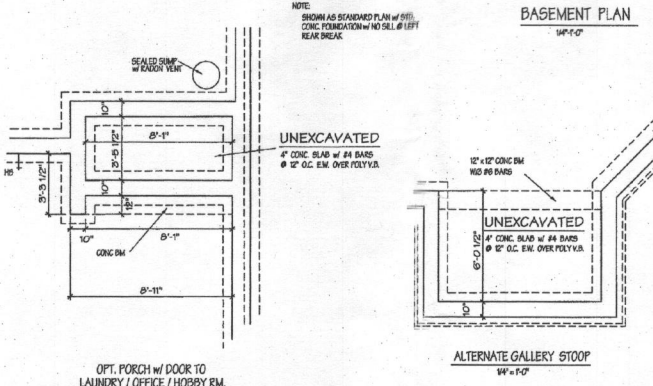
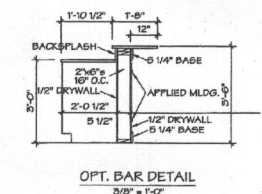
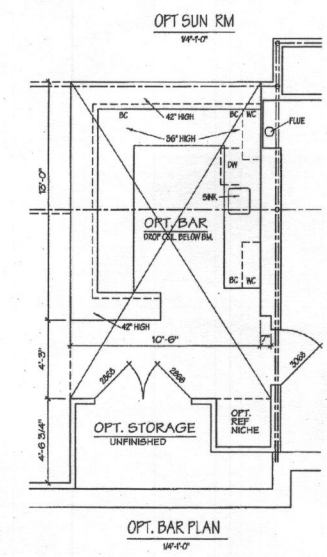
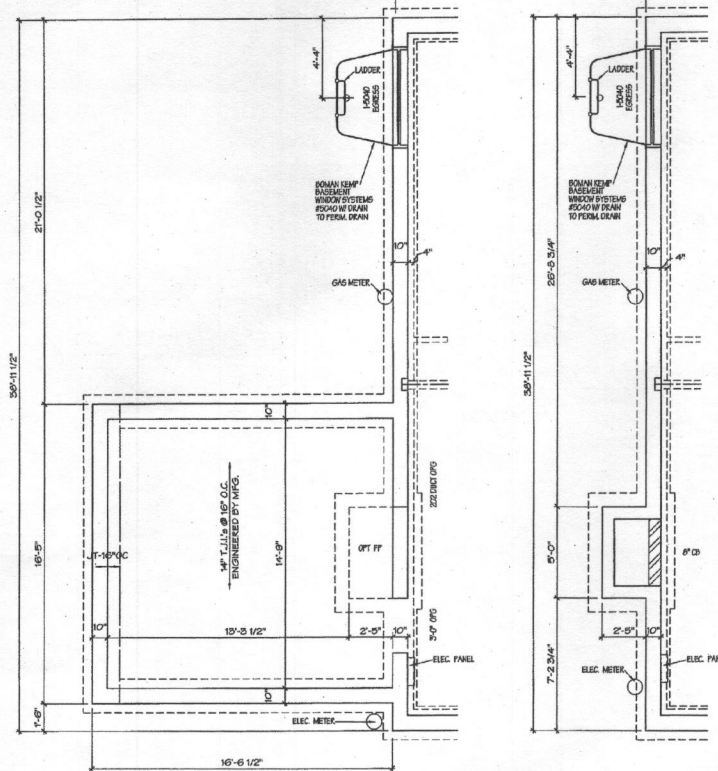
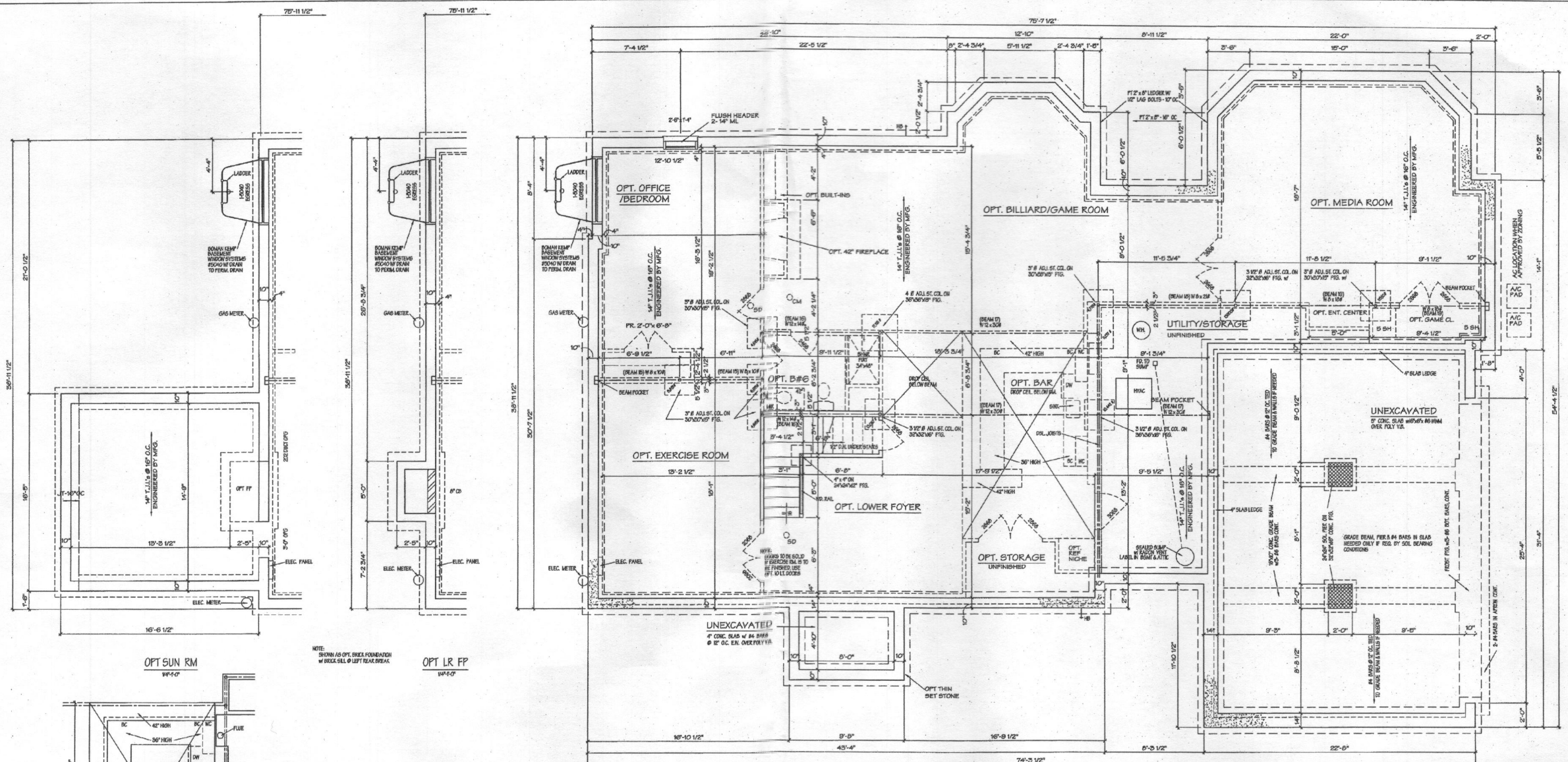
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<b>HUTCHINSON + ASSOCIATES L.L.C.</b> 11820 PARKLAWN DRIVE (S. 100) ROCKVILLE, MD. 20858 PHONE: (301) 770-9880 FAX: (301) 770-9183				
<b>MITCHELL &amp; BEST HOMEBUILDERS</b> 1888 E. GUDR DR. ROCKVILLE, MD 20850				
DRAWN BY JB	DATE 7-27-01	LOT NO. SECTION	BLOCK JOB NO.	DWG. NO. <b>1A</b>
CHECKED BY JB	DATE 8-6-01 11-18-01 1-4-02 4-10-02			

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**STANDARD MODEL**

BASEMT.	2205 Sq. Ft.
BASEMENT WITH OPTIONS	
BASEMT.	2555 Sq. Ft.
BAR/BA.	272 Sq. Ft.
GATHERING RM.	577 Sq. Ft.
TOTAL	3404 Sq. Ft.

EAGLE'S NEST AB/AF

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 NOTE: All wall angles to be 90 or 45 degrees unless noted otherwise.  
 Contractor to check and verify all dimensions and conditions in field prior to start of construction. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

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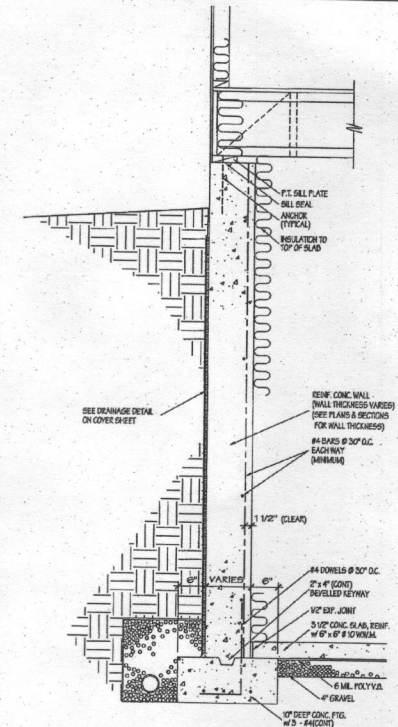
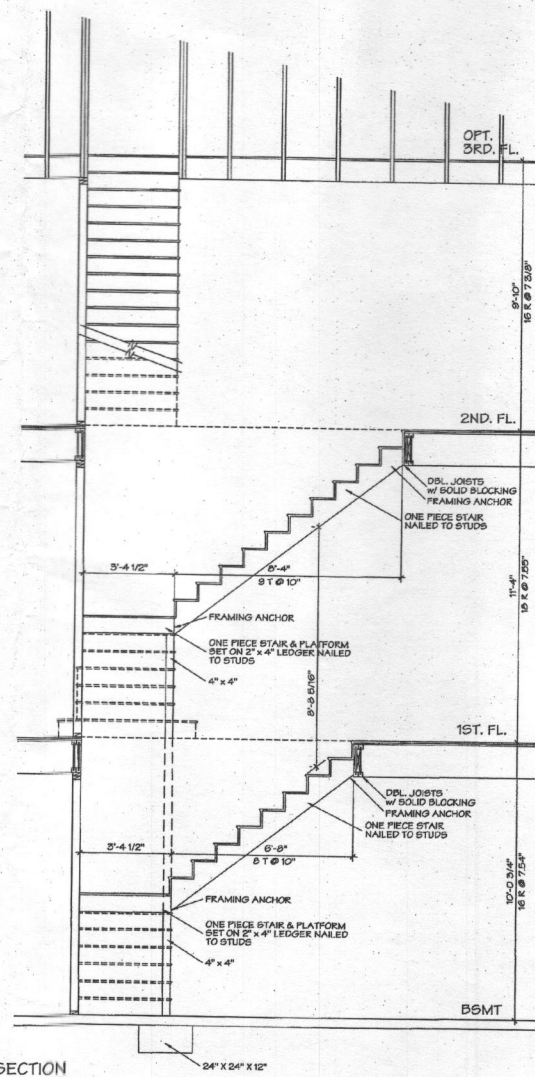
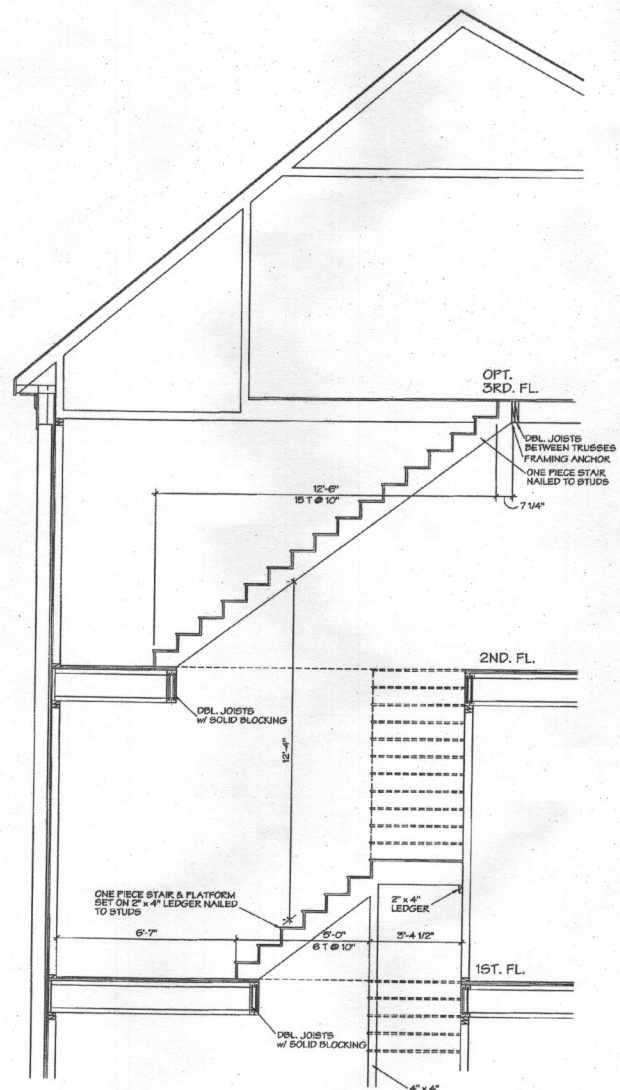
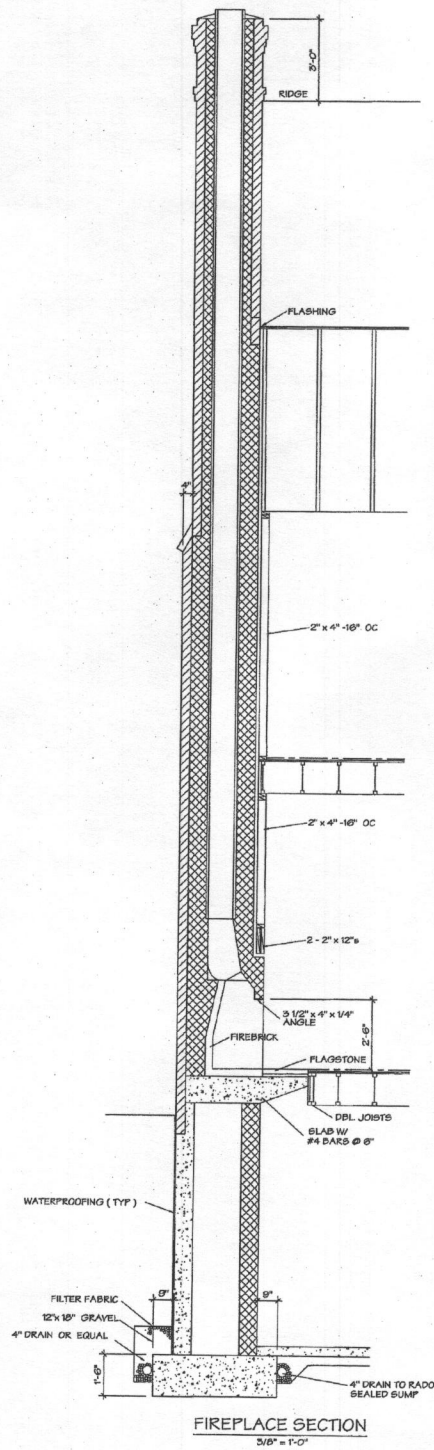
**MITCHELL & BEST HOMEBUILDERS**  
 1688 E. GUYE DR.  
 ROCKVILLE, MD 20850

DRAWN BY	TS	DATE	7-27-04	LOT NO.		BLOCK		DWG. NO.	
CHECKED BY			8-6-04						
			11-18-04						
			1-4-05						
			4-10-05						

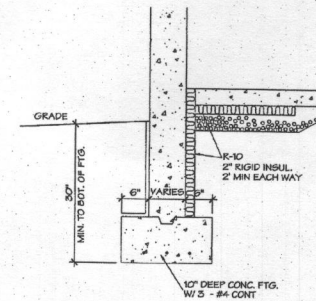
REVISIONS

4-1-05	
4-1-05	
5-4-05	
6-28-05	
7-28-05	
7-28-05	
8-14-05	
8-26-05	
1-8-06	
4-28-06	
12-20-06	
4-20-08	
8-10-09	
9-9-09	
4-1-10	

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NOTE: THIS DETAIL IS TO BE USED FOR FOUNDATION WALLS WITH A LATERAL SUCRAL PRESSURE OF NO GREATER THAN 20 P.S.F. IF SUCRAL PRESSURE EXCEEDS 20 P.S.F. THE WALL MUST BE DESIGNED FOR ACTUAL PRESSURES BY A STRUCTURAL ENGINEER.



**TYPICAL FOOTING DETAIL**  
10" DEEP CONC. FTG. W/ 5 - #4 CONT.

**EAGLE'S NEST AB/AF/AS**

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**MITCHELL & BEST HOMEBUILDERS**  
1698 E. GUDS DR.  
ROCKVILLE, MD 20850

REVISIONS

4-1-15
5-8-15
5-24-15
6-25-14
6-25-14
7-28-13
5-14-13
6-28-12
1-8-12
6-22-11
12-22-10
4-22-10
6-10-09
9-9-09
4-1-10

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DRAWN BY	DATE	LOT NO.	BLOCK	DWG. NO.
13	7-27-11	8-4-01		
CHECKED BY	DATE	SECTION	JOB NO.	D-1
	11-18-11			
	1-4-12			
	4-16-12			

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# MITCHELL & BEST HOMEBUILDERS

SHEET NO.	DESCRIPTION
SHEET D1	DETAIL SHEET - FIREPLACE DETAIL, STAIR DETAIL, TYP. FOOTING DETAIL
SHEET 1	BASEMENT PLAN
SHEET 1A	WALKOUT BASEMENT PLANS
SHEET 1B	BURIED BASEMENT PLANS W/ BRICK
SHEET 1C	BURIED BASEMENT PLANS W/ STONE
SHEET 2	FIRST FLOOR PLAN
SHEET 2A	FIRST FLOOR PLAN W/ STONE
SHEET 2C	FIRST FLOOR PLAN
SHEET 3	SECOND FLOOR PLAN
SHEET 4	OPT THIRD FLOOR PLAN
SHEET 5	FRONT ELEVATION
SHEET 6	SIDE ELEVATIONS
SHEET 7	REAR ELEVATION REAR ENTRY - FLAT WINDOW HEAD
SHEET 7A	OPT WALKOUT BASEMENT ELEVATIONS
SHEET 8	MAIN SECTION - ROUND HEAD DORMER - CONC AREAWAY
SHEET 9	LAUN ROOM SECTION - OPT. PORCH SECTIONS
SHEET 10	GARAGE SECTION - GARAGE DORMER WINDOW DETAILS
SHEET 11	FAMILY RM SECTION DINING AREA BAY
SHEET 12	BNT "A" - OPT 3RD FL BEC "A"
SHEET 13	SUN ROOM
SHEET 14	FRONT ENTRY GARAGE
SHEET 14A	FRONT ENTRY GARAGE W/STONE
SHEET 15	OPT. GATHERING RM
SHEET 16	OPT. BRICK/STONE LEFT SIDE

SHEET NO.	DESCRIPTION
SHEET 17	OPT. BR1 FIREPLACE & FR FIREPLACE
SHEET 18	BR1 DETAIL
SHEET 19	LARGE GARAGE
SHEET 20	LARGE GARAGE W/STONE
SHEET 21	LARGE GARAGE SECTION
SHEET 22	OPT COURTYARD GARAGE - PLANS
SHEET 23	OPT COURTYARD GARAGE - ELEVATIONS - SECTION
SHEET 24	OPT ELEVATOR
SHEET F-1	1ST FL FRAMING
SHEET F-2	2ND FL FRAMING
SHEET F-3	ROOF FRAMING
SHEET F-4	OPT 2ND FL ROOF FRAMING
SHEET E-1	BSMT ELECTRICAL
SHEET E-2	1ST FL ELECTRICAL
SHEET E-3	2ND FL ELECTRICAL
SHEET E-4	3RD FL ELECTRICAL
SHEET B-1	BEAM DATA SHEET
SHEET B-2	BEAM DATA SHEET
SHEET B-3	BEAM DATA SHEET
SHEET B-4	BEAM DATA SHEET

SHEET NO.	DESCRIPTION
SHEET RC	RECHECK
SHEET SA1	STRUCTURAL NOTES & SPECIFICATIONS
SHEET SA2	1ST FL WALL BRACING PLAN
SHEET SA3	2ND FL WALL BRACING PLAN
SHEET SA4	2ND FL WALL BRACING PLAN
SHEET SA5	OPTIONAL 3RD FL WALL BRACING PLAN
SHEET SA6	FRONT WALL BRACING ELEVATIONS
SHEET SA7	REAR WALL BRACING ELEVATIONS
SHEET SA8	RIGHT SIDE WALL BRACING ELEVATIONS
SHEET SA9	LEFT SIDE WALL BRACING ELEVATIONS
SHEET SA10	DETAILS

DATE	DESCRIPTION
5-14-03	DELETE BSMT COL'S @ OPT. BR1, INCREASE BM. SIZE, REVISE OPT. BAR, REVISE KT. ISLAND, REVISE #1 WINDOWS, MAKE LEFT ELEV. STD. FRAME, OPT. BRICK OR STONE, REVISE REAR ELEV., REVISE OPT. GATH. RM., GALLERY DOORS TO 8'-0", ARCHED OPS'Y ON 2ND FL., MISC. ELEC. REVISIONS
7-28-03	REVISE STONE/BRICK GILL TO BE OPTIONAL @ DIN. RM., ADD RJA DUCT TO OPT. SUN RM., ADD ARCHED TRANS. OVER GALLERY DOORS & REVISE CELL., REVISE P-C DECK TO 8'-0" @ PORCH ABOVE GALLERY, REVISE FRONT ENTRY GAR., RIGHT SIDE TO OPT. STONE/BRICK GILL, ADD RM FOR OPT. TO OPT. GAME RM., DELETE ALT. KT., REVISE ELECTRICAL PLANS, REVISE ELEVATIONS AS REQ.
8-22-04	REVISE OPT. BRICK AREAWAY, OPT. BAR DETAIL, & OPT. FM RM. F.P. DETAIL
8-22-06	PUT IN A SURFACE LIGHT WITH A SWITCH IN THE AREAWAY, PUT LIGHTS AND OUTLETS IN THE GATH. & GAME RM.
12-22-08	REVISE WALL THICKNESS FOR FOUNDATION, 1ST & 2ND FLOORS, REVISE ALL PLANS, SECTIONS, DETAILS & OPTIONS PERTAINING TO WALL THICKNESS, REVISE WINDOWS IN FAMILY RM. FOR WINDBRACING
4-22-09	REVISE WALL THICKNESS FOR 1ST, 2ND, AND 3RD FLOORS, REVISE SECTIONS AND ELEVATIONS ACCORDING TO THE ABOVE CHANGES.
8-10-09	REVISE THE DORMER WINDOWS OVER THE GARAGE TO DOUBLE HUNG AND CHANGED ALL PLANS AND ELEVATIONS TO MATCH CHANGES, LABEL ALL BEAMS AND REVISE FAMILY ENTRANCE TO HAVE OPTIONAL DECK.
9-9-09	REVISE SHEET 2A AND 2B TO HAVE A BRICK BILL, REVISE COLUMNS IN BSMT TO 4" x 4" @ 8' ON 2ND, 3RD & 4TH FLOORS AND A 3" x 3" @ 4' ON 2ND, 3RD & 4TH FLOORS, REVISE COVER SHEET.
8-29-12	REVISED DRAWINGS TO COMPLY WITH IRC 2009 AS FOLLOWS: CHANGE ALL EXT. WOOD FRAME WALLS TO 2 X 6 UPGRADE INSULATION THRU REVISED RECHECK, REVISE CONCRETE TO ALUM. CLAD DIA. KIDED OPT. FINISH STONE, CHANGE MODELS AS AP AND AS ON SAME DRAWING, ADDED BSMT FIRE ESCAPE LADDER, RELOCATED ELECT PANEL, SHOW DROPPED CEILING SHADY AREA, ADDED HVAC NEAR GARAGE, REVISE ENTRY DETAIL TO SHOW BRICK/STONE, REVISE FIRST FL. FRAMING, REVISE SHIRT BOARD @ ELEV. & SECT.
4-01-15	REVISED DRAWINGS TO REFLECT CHANGES TO OPTIONS, CHANGES AFFECT EXERCISE ROOM, NET BAR, MEDIA ROOM IN BSMT, REVISED STAIR FROM 1ST TO 2ND FLOOR REMOVING WINDER, REVISED 1ST FL. OPTIONS TO BE PLACE AND TRAY CEILING, REVISED 2ND FL. OPTIONS TO M. BEDROOM AND MASTER BATH.

MISCELLANEOUS NOTES	
SAFETY GLASS REQUIREMENTS (I.R.C. SEC R-30B)	
1	ALL GLASS IN DOORS
2	ALL SIDE LIGHTS
3	SHOWER ENCLOSURE IN MASTER BATH
4	WINDOWS ABOVE TUB IN MASTER BATH

EAGLE'S NEST "AB" MODEL "A" WITH BRICK FACADE  
 EAGLE'S NEST "AS" MODEL "A" WITH STONE FACADE  
 EAGLE'S NEST "AF" MODEL "A" WITH SIDING FACADE

## GENERAL NOTES

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM					FLOOD HAZARD	AIR FREEZING INDEX	ICE SNOWING THICK			
50	90	B	Weathering	Soil	Termites	Decay	WATER RESIST. TEST	ICE SHEEN LOADS - EXISTING	13	Yes	1-3-75	800	55

- All construction to be in conformance with I.R.C., one and two family dwelling code, 2012 edition & all HOWARD COUNTY additions and revisions thereto.
- Design live loads:
  - Sleeping room load ... 30 p.s.f.
  - Floor load ... 40 p.s.f.
  - Roof load ... 30 p.s.f.
  - Deck load ... 60 p.s.f.
  - Garage load ... 50 p.s.f.
- Soil bearing to be 2000 p.s.f. minimum.
- Design wind load 90 mph
- Bottom of all concrete footings to be 24" minimum below finished grade.
- Foundation walls shall comply to I.R.C. Sec. R-401, thru 404.
- Foundation drainage shall comply to I.R.C. Sec. R-405.
- Foundation waterproofing shall comply to I.R.C. Sec. R-406.
- Attached Garages shall comply to I.R.C. Sec. R-309.
- Concrete floors shall comply to I.R.C. Sec. R-506.
- All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 3000 p.s.i.
- All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.
- All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.
- All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216

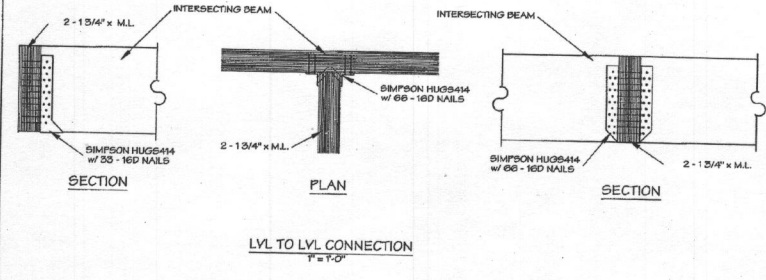
- All mortar shall be type "S" conforming to A.S.T.M. C 270-82.
- Stone and masonry veneer shall conform to I.R.C. Sec. R-703.7.
- Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.
- Maximum allowable lateral pressure on basement walls 60 p.s.f.
- All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted.
- Steel post cap plates to conform to A.S.T.M. Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.
- Steel columns in basement to be adjustable 3" I.D. S40 columns unless specified otherwise.
- All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:
 

CLASSIFICATION	SIZE	BENDING STRENGTH $F_b$	MODULUS OF ELASTICITY $E$
POSTS #1 D.F.		1200	1800000
HEADERS, BEAMS, ROOF HIP# 1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	2X10	1000	1500000
	2X12	1000	1500000
	all	2600	2000000
- All headers to be 2 - 2" x 12" unless specified otherwise.
- Provide double jock studs at each end of headers and beams, 5'-0" and longer, unless noted otherwise.
- Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".
- All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.
- Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.
- Provide solid blocking under all jock studs not bearing directly on joists or T.I.D.'s.
- In those cases where floor trusses are not centered directly over the studs, the top plate shall occur only over the studs.
- Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045") thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.
- Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
- Unless specified otherwise provide the following lintel over masonry openings:
 

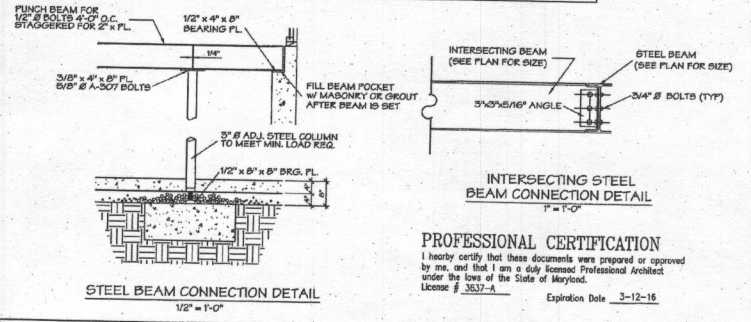
BRICK	UP TO	3'-0"	3 1/2" x 3 1/2" x 1/4"
STONE	5'-0"	3 1/2" x 4" x 1/4"	
	8'-0"	3 1/2" x 5" x 3/16"	
	9'-0"	3 1/2" x 8" x 5/16"	

 \* Provide one angle per 4" of masonry thickness. All angles to have 4" bearing at each end.
- All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.
- All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.
- Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and Fig. R-1001.1.
- Fireplace hearth to project 20" from front of facing and 12" to side of opening.
- Firestopping shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all firestopping shall be maintained.
- Draftstopping shall be provided according to I.R.C. Sec. R - 302.12.
- Provide radon mitigation according to I.R.C. - Appendix F.
- Provide interconnected smoke detectors to protect all floors, bedrooms, and basement according to I.R.C. Sec. R-317.
- Stairways shall comply with I.R.C. Sec. R-314. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be 7 3/4", as per Reg. No. 36-01 amendments.
- Handrails & guardrails shall comply to I.R.C. Sec. R-315.
- All exits shall comply to I.R.C. Sec. R-311.
- Sleeping room windows shall comply with I.R.C. Sec. R-310. Maximum sill height 44" above finished floor. Minimum sill height shall be 18" when window is located more than 72" above finished grade or surface below.
- All Gazing shall comply to I.R.C. Sec. R-308.
- All Ceiling heights shall comply to I.R.C. Sec. R-305.
- All exterior wall coverings shall comply to I.R.C. Sec. R-703.
- All gas piping shall conform to N.F.P.A. 54 OR 2009 IFGC
- Electrical wiring must conform to the latest National Electrical Code and County Requirements.

- Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.
- Trusses shall be braced per. manufacturers recommendations.



**HUTCHINSON + ASSOCIATES ARCHITECTS**  
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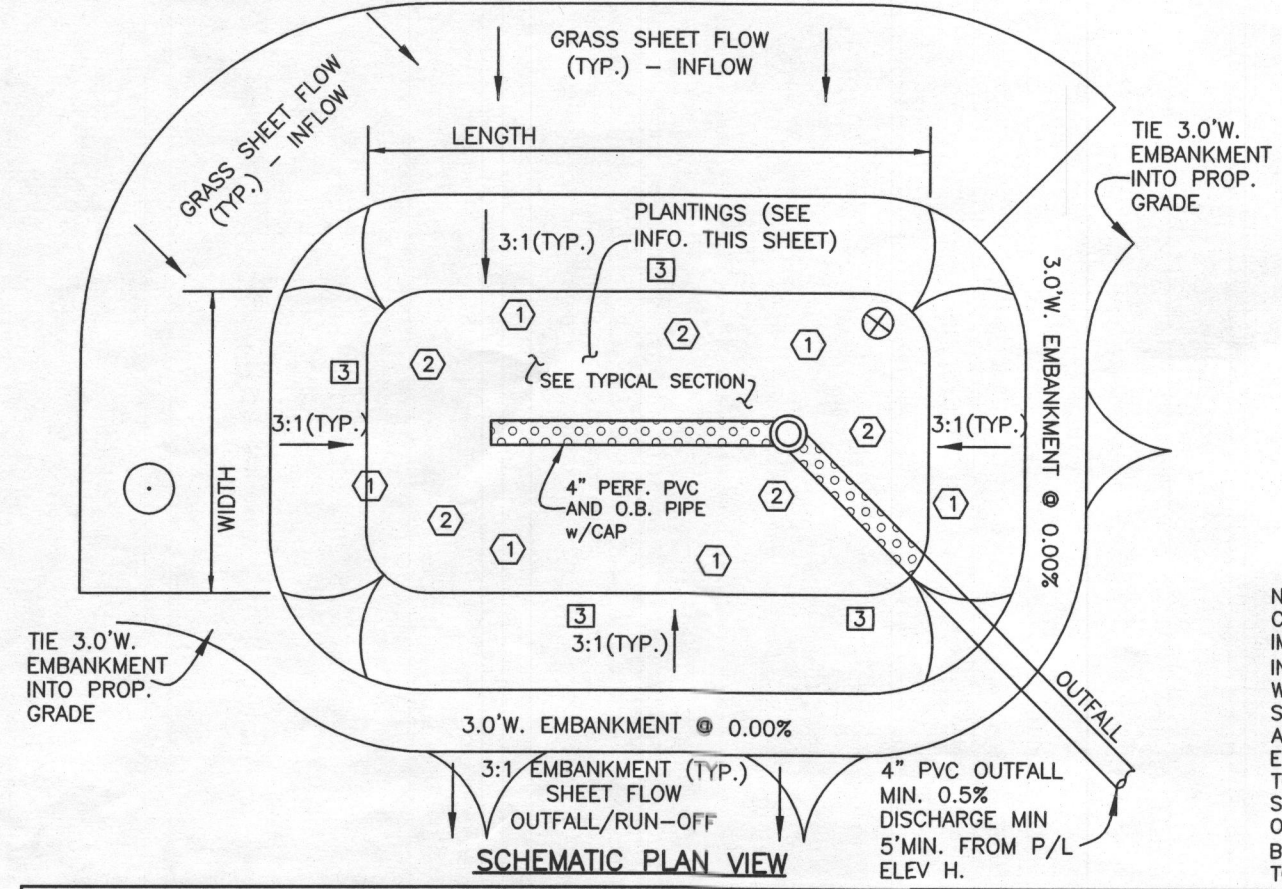


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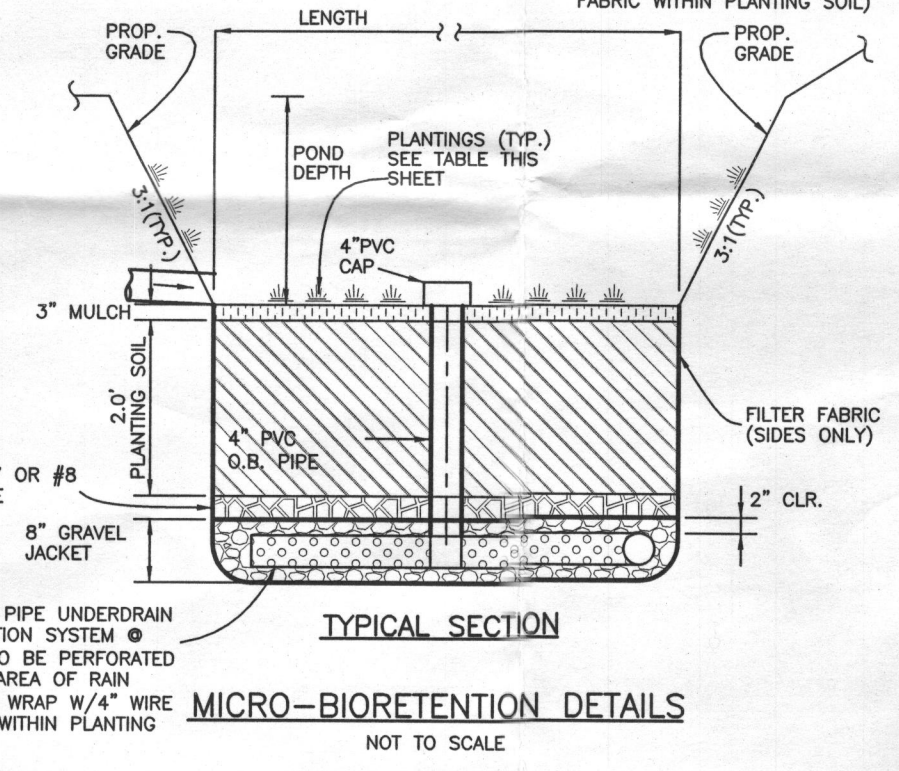
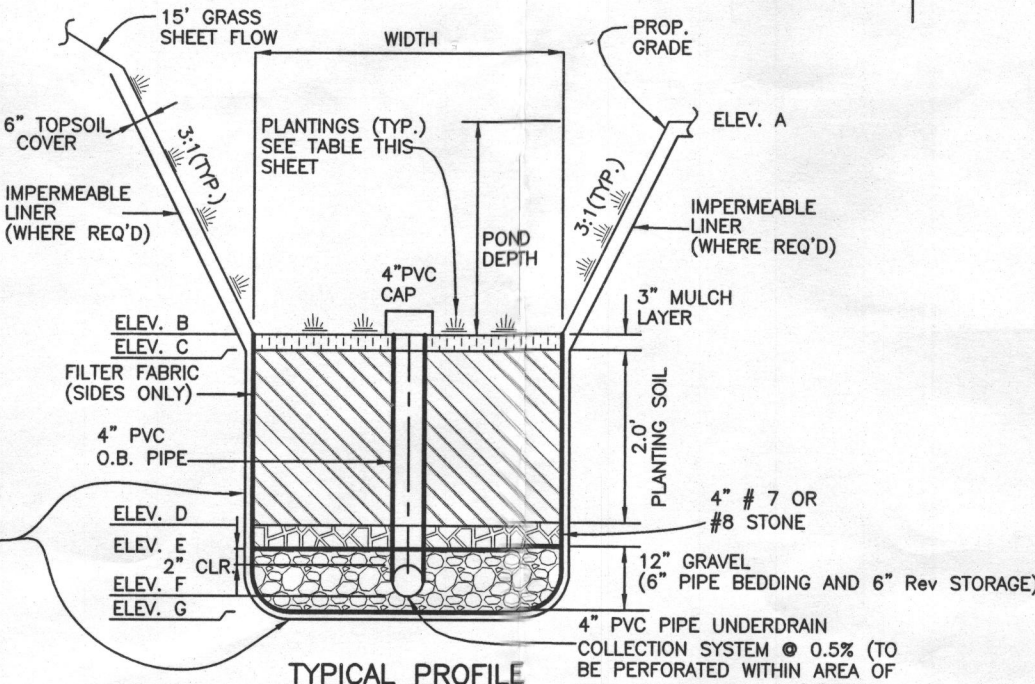
ESD PRACTICE SUMMARY TABLE																
Practice		Pe= 1.0 inches		Lot		DA to practice		Imp Area to practice		Af			ESDv		REv	
Required	Provided	2% DA?	Required	Provided	75% ESDv?	Required	Provided					Required	Provided			
Micro-Bioretenion	M-6	#1	12	7,017	4,775	140	229	PASS	387	444	PASS	46				
Non-rooftop Disconnection	N-2	#1	12	720	720	57	57	PASS				15				
TOTAL =				7,737	5,495	444	501					61				

MICRO-BIORETENTION GEOMETRY											PLANTING SCHEDULE			
FACILITY	LENGTH*	WIDTH*	DEPTH	A	B	C	D	E	F	G	H	(1)	(2)	(3)
HOMEOWNER OWNED AND MAINTAINED:														
MB-11	27.2	9.3	1.00	424.00	423.00	422.83	420.83	420.50	420.00	419.50	419.20	25	25	13

\* FACILITY SIZES ARE IRREGULAR. SEE PLAN VIEW FOR SPECIFIC SHAPE AND DIMENSIONS



NOTE: FACILITIES MUST BE CONSTRUCTED WITH IMPERMEABLE LINER WHEN INSTALLED WITHIN THE 100' WELL RADIUS. THIS LINING SHOULD INCLUDE ENTIRE SIDES AND BOTTOM OF THE EXCAVATION AND EXTEND TO TOP OF EMBANKMENT. SEE SPECIFICATION BELOW. LINING ON SIDE SLOPES SHALL BE BELOW A MINIMUM OF 6" OF TOP SOIL.



MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A, TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O.C. 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES. NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL. THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

**MICROBIORETENTION PLANTING SCHEDULE**  
(PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)

Symbol	Planting Schedule
①	IRIS FULVA (COPPER IRIS) (1 PER SY)
②	LOBELIA CARDINALIS (CARDINAL FLOWER) (1 PER SY)
③	RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER) (1 PER 2 SY)
⊗	CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
○	ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

- MICROBIORETENTION PLANTING DATA**
- PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
  - PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
  - AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

STORMWATER MANAGEMENT PRACTICES			
LOT NUMBER	ADDRESS	DISCONNECTION OF ROOFTOP RUNOFF (N-1) (QUANTITY)	MICRO-BIO RETENTION M-6 (QUANTITY)
LOT 12	12202 PLEASANT SPRINGS COURT	0	1

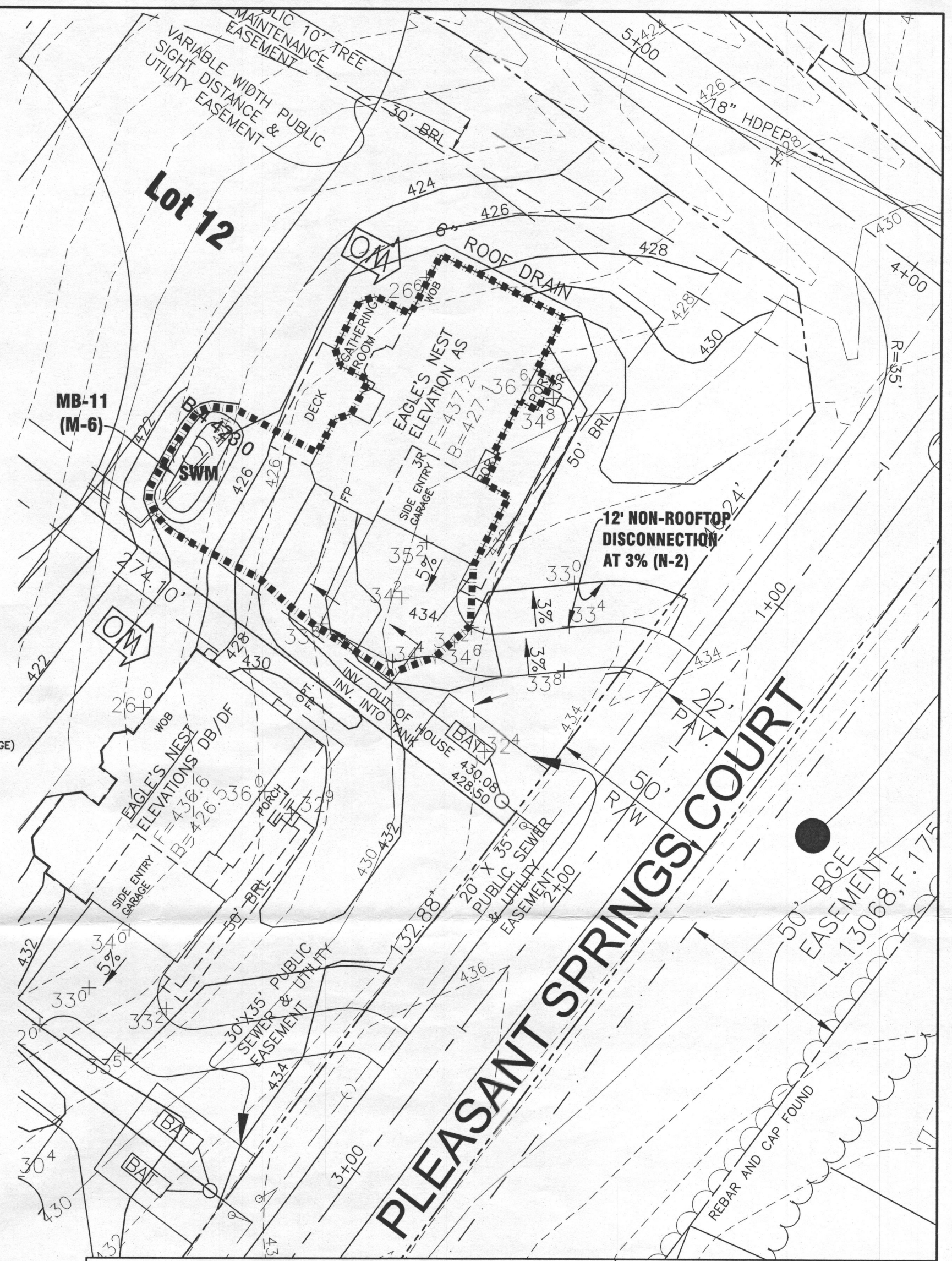
MICRO-BIORETENTION FACILITIES WITHIN 100' OF A WELL MUST INCLUDE AN IMPERMEABLE LINER. THIS INCLUDES THE FACILITIES ON LOTS 3, 5, 6, 7, 8, 18 AND 20 ON THIS PLAN.

**OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)**

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)**

- MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.



<b>BENCHMARK</b> ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ELLICOTT CITY, MARYLAND 21043 PHONE: 410-465-6105 ▲ FAX: 410-465-6644 BEI@BEI-CIVILENGINEERING.COM	
OWNER/BUILDER:	PROJECT:
MB HIGHLAND RESERVE, LLC 1686 EAST GUDE DRIVE ROCKVILLE, MD 20850 301-762-9511	<b>REGAN PROPERTY LOT 12</b>
LOCATION:	12202 PLEASANT SPRINGS COURT HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
TITLE:	STORMWATER MANAGEMENT PLAN
HOUSE TYPE:	EAGLE'S NEST
DATE:	JANUARY, 2015
DESIGN:	JMC
DRAFT:	JMC
SCALE:	1" = 30'
PROJECT NO.	2171
DRAWING	2 OF 2