

HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

PO8001846

Building Address <u>11886 Farside Rd.</u> <u>Ellicott City, Md 21042</u> Suite/Apt.#: _____ SDP/WP/Petition #: _____ Census Tract _____ Subdivision <u>Farside</u> Section _____ Area _____ Lot <u>65</u> Tax Map <u>23</u> Parcel <u>126</u> Grid <u>21</u> Zoning _____ Map Coordinates _____ Lot size _____	Property Owner's Name <u>Yoon - In Bae & Koung Jo</u> Address <u>11886 Farside Rd.</u> City <u>Ellicott City</u> State <u>MD</u> Zip Code <u>21042</u> Home Phone _____ Work Phone _____ Applicant's Name & Mailing Address, (if other than stated hereon): <u>Building Permit Services, Inc. - Pat Orla</u> <u>902-2H MacPhail Woods Xing, Bela Air, MD 21015</u> Phone <u>410-879-7848</u> Fax <u>410-879-7847</u>
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Existing Use <u>Vacant Lot</u> Proposed Use <u>SFD- Addition</u> Estimated Construction Cost \$ <u>100,000.00</u> Description of Work <u>Const. 1 sty w/unfin. bsmt.</u>	Contractor Company <u>Hamilton Development-T/A Hagan</u> Contact Person <u>Pat Hagan w/ Hagan & Hamilton</u> Address <u>20E. Timonium Rd. - Ste# 100</u> City <u>Timonium</u> State <u>MD</u> Zip Code <u>21093</u> License No. <u>MHBR#97</u> Phone <u>410-561-1004</u> Fax <u>410-561-1654</u>
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Occupant or Tenant _____ Contact Name _____ Address _____ City _____ State _____ Zip Code _____ Phone _____ Fax _____	Engineer or Architect Company _____ Contact Person _____ Address _____ City _____ State _____ Zip Code _____ Phone _____ Fax _____
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BUILDING DESCRIPTION - <u>COMMERCIAL</u>	BUILDING DESCRIPTION - <u>RESIDENTIAL</u>
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Building Characteristics	Utilities	Building Characteristics	Utilities
Height: _____	Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private	SF Dwelling <input checked="" type="checkbox"/> SF Townhouse <input type="checkbox"/> Depth _____ Width _____	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
No. of stories: _____	Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private	1st floor: _____ 2nd floor: _____ Basement: _____	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/>	Finished Basement <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/> No. of Bedrooms _____	Electric Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Gas Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Heating System: Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>	Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____	Heating System: Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas <input type="checkbox"/>
Construction type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular	Sprinkler system: <u>N/A</u> <input type="checkbox"/> <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____	Other Structure: _____ Dimensions: _____ Footings: _____ Roof: _____ <input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home	Sprinkler system: <u>N/A</u> <input type="checkbox"/> <input type="checkbox"/> NFPA # 13D <input type="checkbox"/> NFPA#13R <input type="checkbox"/> Other:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE HERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

_____ Applicant's Signature Agent	Building Permit Services, Inc. - Pat Orla Print Name June 17, 2008 Date
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Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
 ** PLEASE WRITE NEATLY AND LEGIBLY. **

FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL	DPZ SETBACK INFORMATION	PROPERTY ID#:
<input checked="" type="checkbox"/> Land Development, DPZ			Front: _____	Filling fee \$ <u>15.00</u>
<input checked="" type="checkbox"/> State Highways			Rear: _____	Permit fee \$ _____
<input checked="" type="checkbox"/> Building Official			Side: _____	Excise tax \$ _____
<input checked="" type="checkbox"/> Dev. Engineering, DPZ			Side St.: _____	Subtotal paid \$ _____
<input checked="" type="checkbox"/> Health			All minimum setbacks met? YES <input type="checkbox"/> NO <input type="checkbox"/>	Add'l permit fee \$ _____
<input checked="" type="checkbox"/> Fire Protection			Is Entrance Permit required? YES <input type="checkbox"/> NO <input type="checkbox"/>	TOTAL FEES \$ _____
Is Sediment Control approval required prior to issuance? YES <input type="checkbox"/> NO <input type="checkbox"/>			Historic District? YES <input type="checkbox"/> NO <input type="checkbox"/>	Balance due \$ _____
CONTINGENCY CONSTRUCTION START: <input type="checkbox"/>			Lot Coverage for NewTown Zone _____	Check # <u>1247</u>
ONE STOP SHOP: <input type="checkbox"/>			SDP/Red-line, approval date _____	Validation # _____
			Accepted by _____	

Distribution of Copies- White: Building Official Green: LDD, DPZ Yellow: DED, DPZ Pink: Health Gold: SHA

BP 08001846 cancelled per
homeowner. ~~Consent~~ was placed
call from Boulder (Hagan)
confirmed on 7/8/08.

kw

RECEIVED
SAND COUNTY HEALTH
ENVIRONMENTAL HEALTH
2008 JUN 25 PM 1:20



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

July 1, 2008

Yoon – In Bae, Koung Jo Residence
11886 Farside Rd.
Ellicott City, MD 21042

RE: B08001846
11886 Farside Rd.

Dear Sir or Madam,

Building permit application B08001846 for the above referenced property has been reviewed by our office and has been placed on hold. According to submitted floor plans for the proposed additions, you will need to develop a larger sewage disposal area to accommodate the additional bedroom.

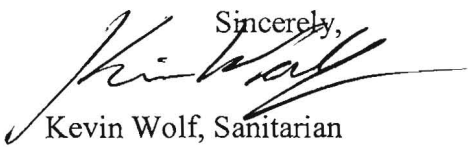
In addition, review of the Health Department's file for this property indicated this lot has a designed area that **was** suitable for the 6 bedroom you currently reside. However, in support of your current proposed building permit, you will need to have an area brought up to current code that requires enough septic reserve area to support the current/proposed bedrooms for the dwelling. A septic reserve area is the area set aside on the property for the purpose of on-site sewage disposal systems and repairs. An adequate septic reserve area is required at this time prior to building permit approval per the *Howard County Code Subtitle 8, Section 3.805*. Please review this for further explanation. Also, refer to our website under Well and Septic www.hchealth.org

Moreover, in order to move forward, percolation testing must be performed to demonstrate adequate area is available for future on-site sewage disposal. A test application, a plan indicating the septic reserve area and a fee of \$506.00 needs to be submitted to the Health Department prior to testing. The homeowner is responsible for having a backhoe capable of excavating a minimum of 14' deep and an operator on-site at the time of the testing. Once testing has been completed the Percolation Certification Plan must be submitted illustrating the sewage disposal area. Homeowners are strongly encouraged to contact a professional engineer, surveyor, or consultant to prepare this plan.

Lastly, at the time of the percolation testing, your existing system will need to be delineated in order to show that it is still able to be used for an initial subsurface disposal system.

If you have any questions regarding this matter, please contact me at the above address or by calling 410-313-2645.

Sincerely,


Kevin Wolf, Sanitarian
Well and Septic Program
Ground Water Management

cc. Pat Hagan

WALSH & COMPANY, P.A.

A PROFESSIONAL ASSOCIATION
ATTORNEYS AT LAW
9841 Broken Land Parkway - Suite 206
Columbia, Maryland 21046

September 3, 2008

Howard County Health Department
Attn: Sara Sappington
7178 Columbia Gateway Drive
Columbia, Maryland 21046-2147

Re: 11886 Farside Road, Ellicott City, MD 21042
Building Permit Application #B08001846

Dear Ms. Sappington:

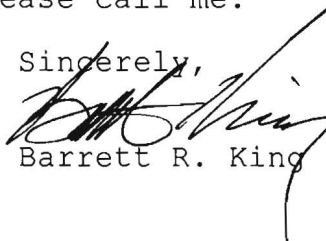
My office represents Dr. & Mrs. In Bae Yoon, the owners of the above-referenced residence. Per the enclosed letter from the Howard County Health Department, in July, the building permit for this residence was put on hold due to the Health Department's determination that a percolation test would be required to proceed with plans. The building contractor for the project, Hagan & Hamilton, P.A., submitted a check payable to the Director of Finance in the amount of \$506.00 for the percolation test fee. A copy of the stub is enclosed.

The contract between my client and the contractor has since been terminated. A termination agreement between the parties is enclosed. The understanding between the parties was that the Yoons could pursue a refund from the Health Department for the percolation test which was paid on their behalf by Hagan & Hamilton from the down payment on the contract. As confirmation of that understanding, I copy Pat Hagan of Hagan & Hamilton on this letter.

Please accept this letter and the enclosed exhibits as the Yoons' request for a refund of the percolation test fee, as it is my understanding the test was never performed due to the cancellation of the contract for renovations at the Farside Road property.

If you have any questions, please call me.

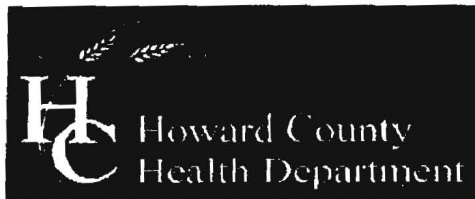
Sincerely,



Barrett R. King

Enclosures

cc: Dr. & Mrs. In Bae Yoon (w/o enclosures)
Pat Hagan (w/o enclosures)



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
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website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

July 1, 2008

Yoon - In Bae, Koung Jo Residence
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Ellicott City, MD 21042

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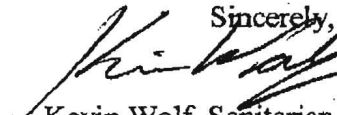
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Lastly, at the time of the percolation testing, your existing system will need to be delineated in order to show that it is still able to be used for an initial subsurface disposal system.

If you have any questions regarding this matter, please contact me at the above address or by calling 410-313-2645.

C. Pat Hagan

Sincerely,

Kevin Wolf, Sanitarian
Well and Septic Program
Ground Water Management

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
	county perk test fees				506.00
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
7/2/08	12230	Director of Finance			\$506.00

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
	Turn Permit Director CA Finance				
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
6/20/08					2500

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
	county perk test fees				506.00
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
7/2/08	12230	Director of Finance			\$506.00

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
	Loan Permit Director CA Finance				
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
6/20/08					2500

AGREEMENT ADDENDUM

Between the Owner: Inbae Yoon, M.D & Kyung Joo Yoon

And the Contractor: Hamilton Development Corporation, T/A Hagan & Hamilton
20 East Timonium Road, Suite 100, Timonium, MD 21093
MHBR# 0097
MHIC# 121898

For the Project: bedroom & bath addition with full basement
11886 Farside Road, Ellicott City, MD 21042

Contract Dated: May 14, 2008

Addendum number 1:

1. Pursuant to the Owner's request sent via email on July 7, 2008, the above referenced agreement is considered null and void.

Buyer Inbae Yoon Date 8-20-08

Buyer Kyung Joo Yoon Date 8-20-08

Contractor [Signature] Date 7-29-08
THE HAMILTON DEVELOPMENT CORPORATION, INC.
T/A HAGAN & HAMILTON

WALSH & COMPANY, P.A.

A PROFESSIONAL ASSOCIATION
ATTORNEYS AT LAW
9841 Broken Land Parkway - Suite 206
Columbia, Maryland 21046

September 8, 2008

Howard County Health Department
Attn: Sara Sappington
7178 Columbia Gateway Drive
Columbia, Maryland 21046-2147

Re: 11886 Farside Road, Ellicott City, MD 21042
Building Permit Application #B08001846

Dear Ms. Sappington:

Thank you for your call this morning regarding my request for a refund of the fee for the above-referenced permit application. I understand from our conversation that it is the Department's policy to send a refund to the party who paid the application fee.

As I have previously provided documentation regarding the fee paid on behalf of my clients, Dr. & Mrs. Yoon, by Hagan & Hamilton, I submit to you this letter, counter-signed by Mr. Hagan acknowledging the fee paid by his company on behalf of the Yoons and requesting a refund of that fee. Also enclosed is an Assignment Agreement, wherein Mr. Hagan assigns his right to a refund to the Yoons.

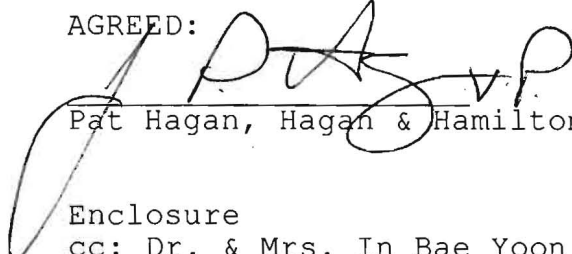
I am attempting to extend a professional courtesy to limit Mr. Hagan's involvement in this matter as he is not being compensated for his time in processing the request. To the extent the Health Department and the Department of Finance can oblige our mutual request, please treat this letter as Mr. Hagan's request and consent for my acting on his behalf insofar as this refund is concerned.

If you have any further questions, please call me.

Sincerely,


Barrett R. King

AGREED:


Pat Hagan, Hagan & Hamilton

Enclosure
cc: Dr. & Mrs. In Bae Yoon (w/o enclosure)

ASSIGNMENT AGREEMENT

September 12, 2008

FOR VALUE RECEIVED, the undersigned, HAGAN & HAMILTON, P.A. (the "Assignor") assigns to Dr. IN BAE YOON (the "Assignee") Assignor's interest in any permit application fee paid to the Howard County Department of Health and/or the Director of Finance in regard to building permit application # B08001846.

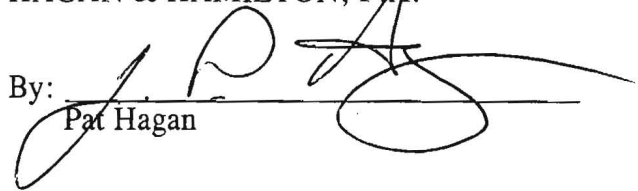
The Assignor acknowledges that fees paid with respect to the aforementioned application were paid from funds paid to Assignor by the Assignee and which Assignor wishes to relinquish any interest in fees paid in connection with permit application # B08001846 to the Howard County Department of Health and/or the Director of Finance to the Assignee.

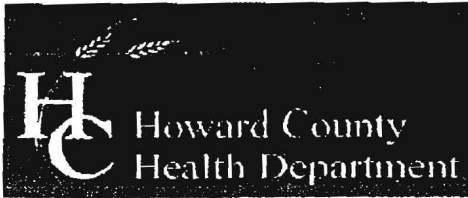
HAGAN & HAMILTON, P.A.

By:

Pat Hagan

(SEAL)

A handwritten signature in black ink, appearing to be 'Pat Hagan', is written over a horizontal line. The signature is stylized and somewhat cursive.



Bureau of Environmental Health
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(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

July 1, 2008

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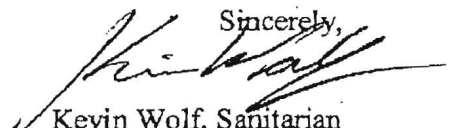
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Sincerely,


Kevin Wolf, Sanitarian
Well and Septic Program
Ground Water Management

C. Past Hagan

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7/2/08	12230	Director of Finance			\$506.00

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
	Per Permit Director CA Finance				
CHECK DATE	CHECK NO.	PAYEE		DISCOUNTS TAKEN	CHECK AMOUNT
6/20/08					25.00

AGREEMENT ADDENDUM

Between the Owner: Inbae Yoon, M.D & Kyung Joo Yoon

And the Contractor: Hamilton Development Corporation, T/A Hagan & Hamilton
20 East Timonium Road, Suite 100, Timonium, MD 21093
MHBR# 0097
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For the Project: bedroom & bath addition with full basement
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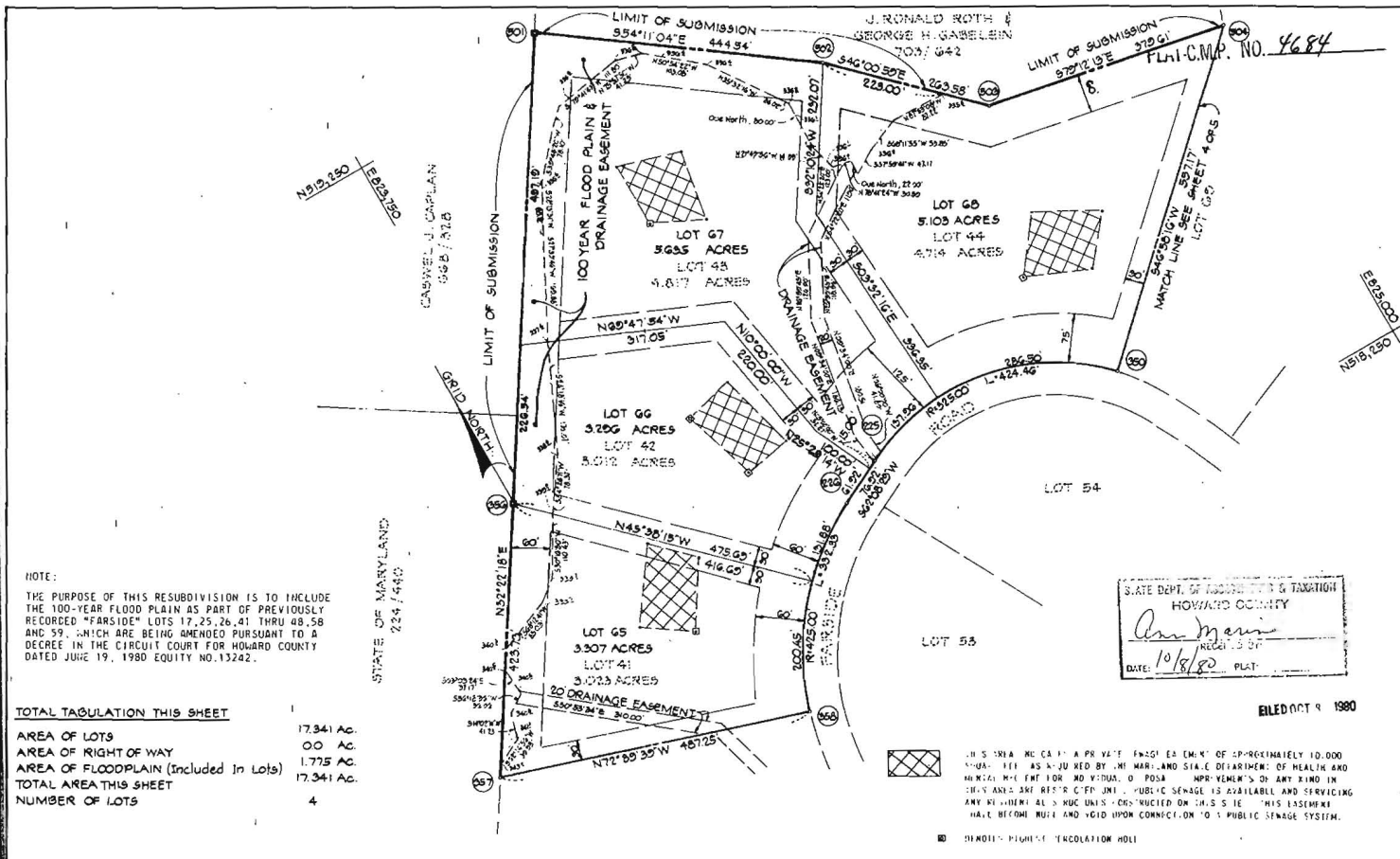
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Buyer *Inbae Yoon* Date 8-20-08

Buyer *Kyung Joo Yoon* Date 8-20-08

Contractor *[Signature]* Date 7-29-08
THE HAMILTON DEVELOPMENT CORPORATION, INC.
T/A HAGAN & HAMILTON



NOTE:
 THE PURPOSE OF THIS RESUBDIVISION IS TO INCLUDE THE 100-YEAR FLOOD PLAIN AS PART OF PREVIOUSLY RECORDED "FAR SIDE" LOTS 17, 25, 26, 41 THRU 48, 58 AND 59, WHICH ARE BEING AMENDED PURSUANT TO A DECREE IN THE CIRCUIT COURT FOR HOWARD COUNTY DATED JUNE 19, 1980 EQUITY NO. 13242.

STATE DEPT. OF REGISTRATION & TAXATION
 HOWARD COUNTY
Ann Marie
 REGISTRAR
 DATE: 10/18/80 PLAT

FILED OCT 9 1980

TOTAL TABULATION THIS SHEET	
AREA OF LOTS	17.341 AC.
AREA OF RIGHT OF WAY	00 AC.
AREA OF FLOODPLAIN (Included In Lots)	1.775 AC.
TOTAL AREA THIS SHEET	17.341 AC.
NUMBER OF LOTS	4

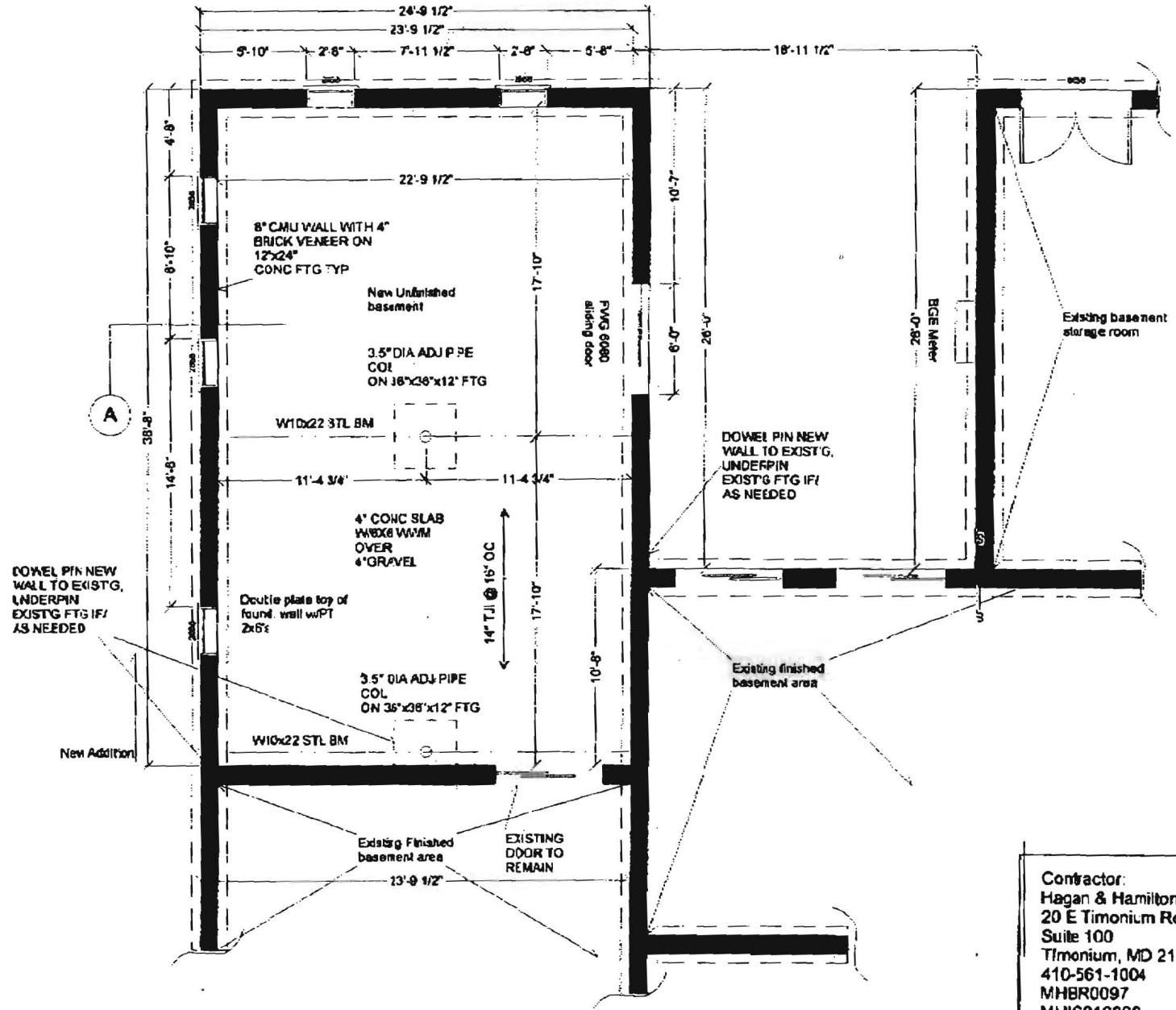
THIS AREA IS NOT A PRIVATE SEWER SYSTEM OF APPROXIMATELY 10,000 G.P.D. AS AUTHORIZED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR THE INSTALLATION OF A PRIVATE SEWER SYSTEM OF ANY KIND IN THIS AREA AND RESTRICTIONS FOR PUBLIC SEWAGE IS AVAILABLE AND SERVING ANY RESIDENTIAL SEWER UNITS CONSTRUCTED ON THIS SITE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.

James Taylor 9-25-80

LOT 42: *Myron Nieber*
 LOTS 41, 43 & 44: *Mark A. Wampler, Jr. / Woodmark, Inc.*

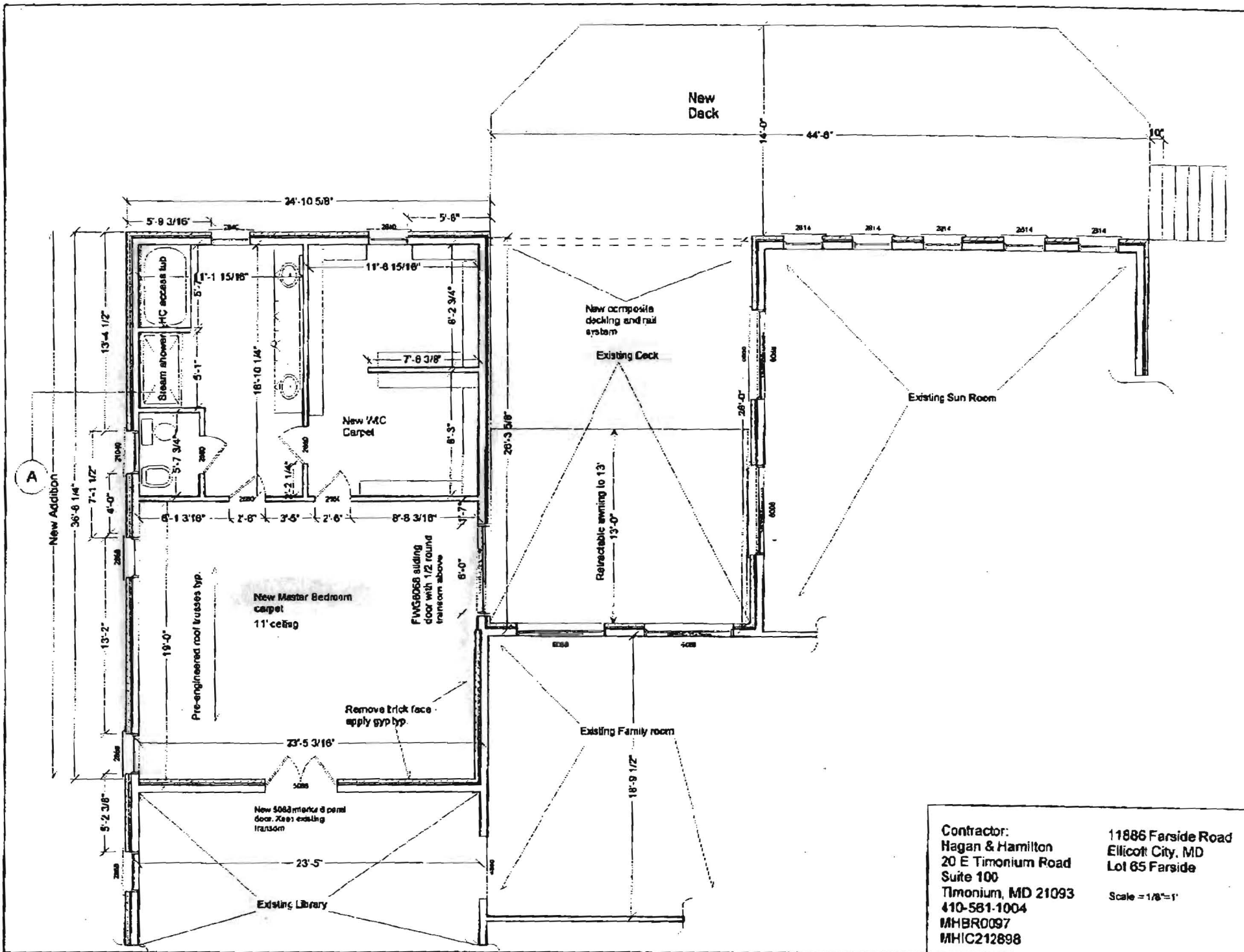
RECORDED AS PLAT NUMBER

FAR SIDE
 1005-19-74
 RESUBDIVISION OF LOTS 17, 25, 26, 41, 42, 43, 44, 45, 46, 47, 48, 58, 59
 TAX MAPS 23 & 25
 THE ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND
 SHALL: P# 100
 DATE: 8/11/80
 SHEET 3 OF 3



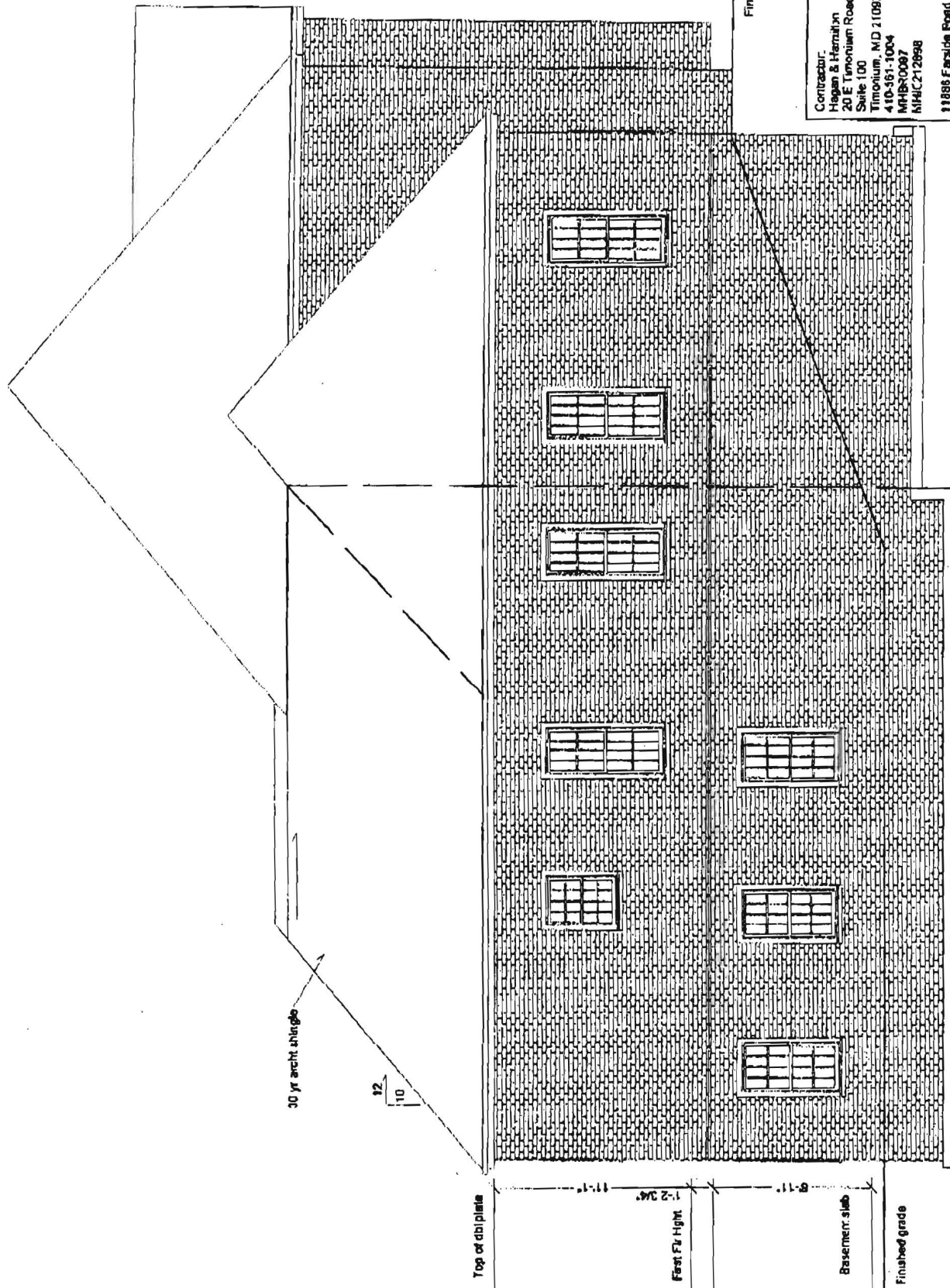
Contractor:
 Hagan & Hamilton
 20 E Timonium Road
 Suite 100
 Timonium, MD 21093
 410-561-1004
 MHBR0097
 MHIC212898

11986 Farside Road
 Ellicott City, MD
 Lot 85 Farside
 Scale = 1/8" = 1'

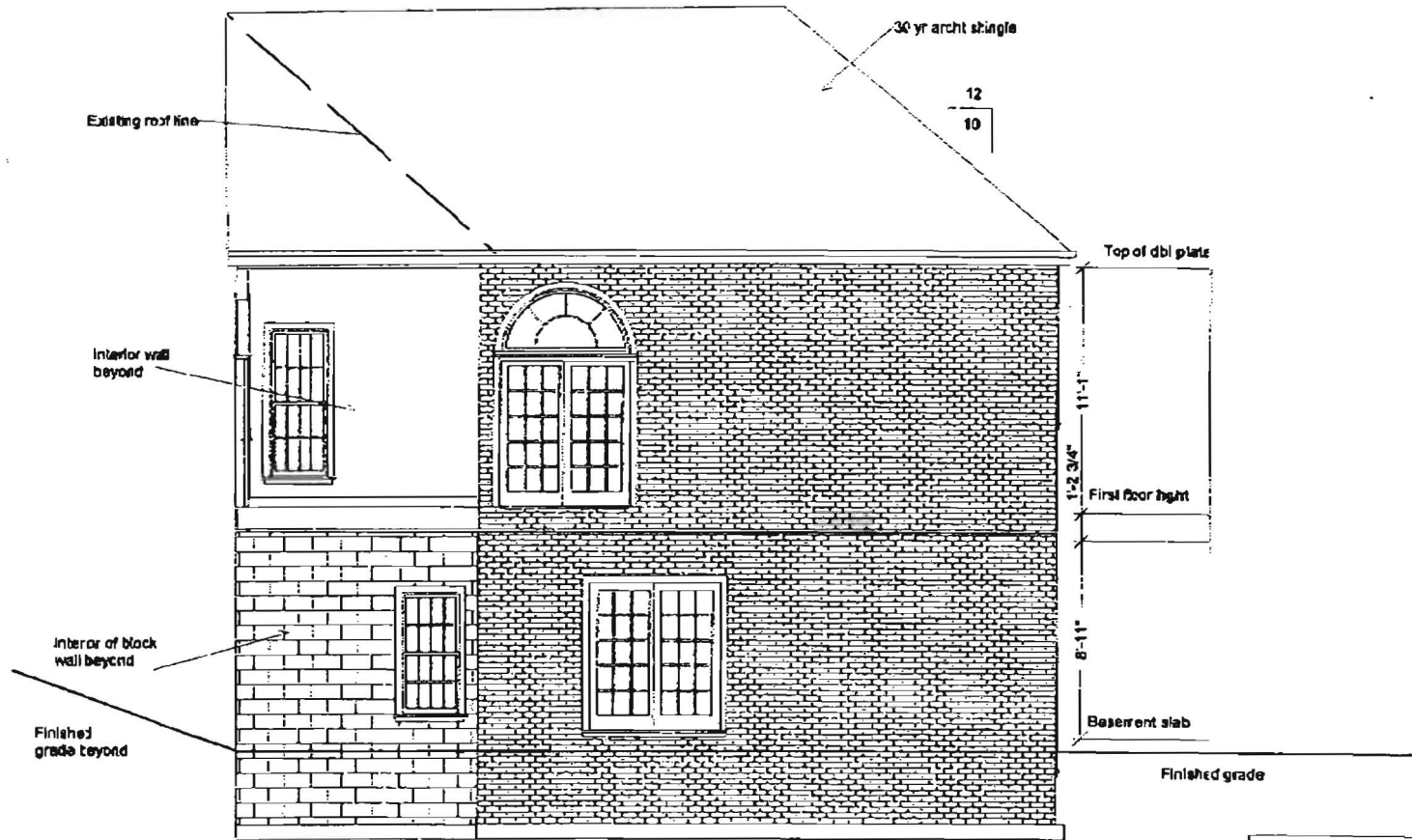


Contractor:
 Hagan & Hamilton
 20 E Timonium Road
 Suite 100
 Timonium, MD 21093
 410-581-1004
 MHBR0097
 MHIC212898

11886 Farside Road
 Ellicott City, MD
 Lot 65 Farside
 Scale = 1/8"=1'



LEFT ELEVATION



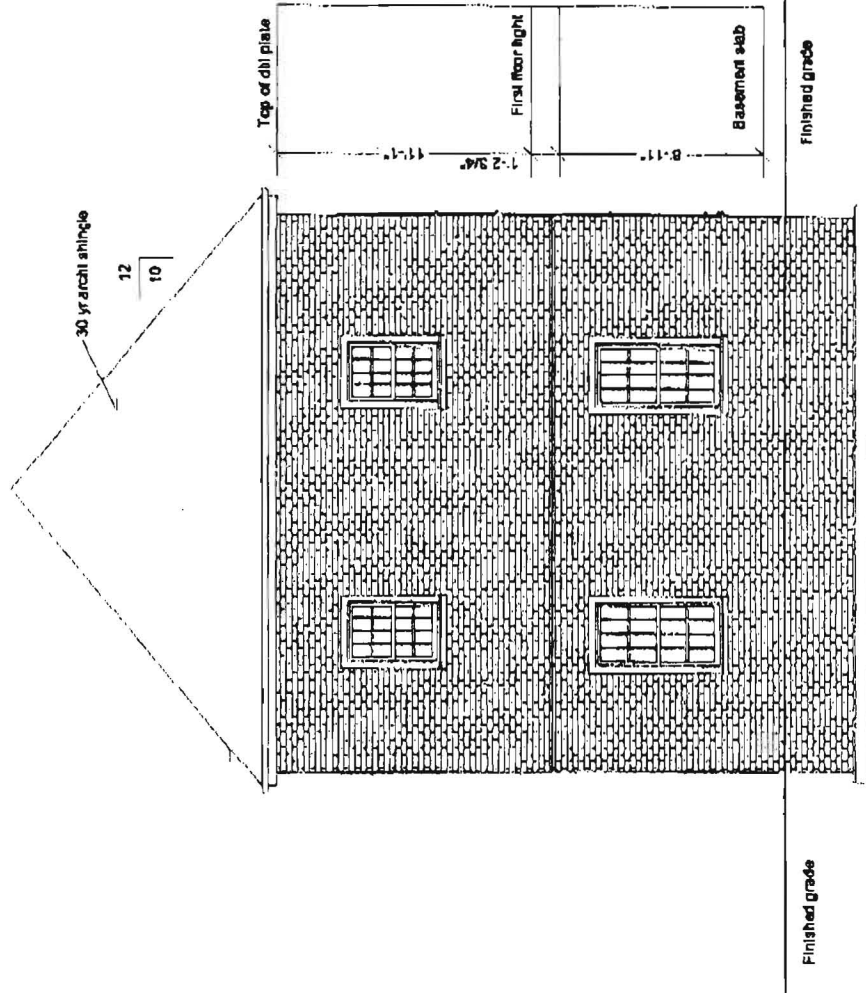
Right Elevation

Contractor:
 Hagan & Hamilton
 20 E. Timonium Road
 Suite 100
 Timonium, MD 21093
 410-561-1004
 MH8R0097
 MHIC212899

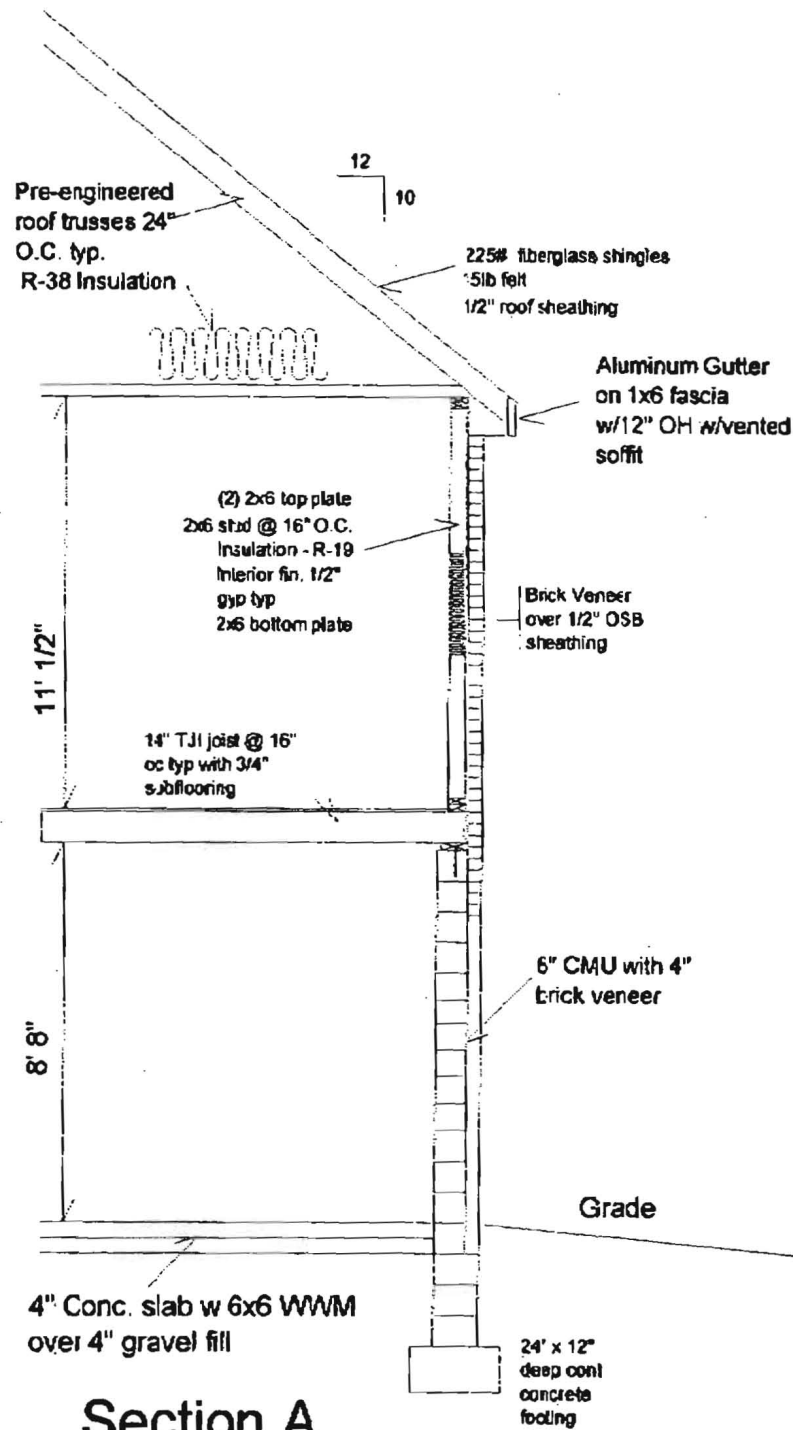
11888 Farside Road
 Ellicott City, MD
 Lot 65 Farside

Contractor:
 Hagan & Hamilton
 20 E Timonium Road
 Suite 100
 Timonium, MD 21083
 410-561-1004
 MHBR0097
 MHIC212888

14888 Farnside Road
 Ellicott City, MD
 Lot 65, Farnside



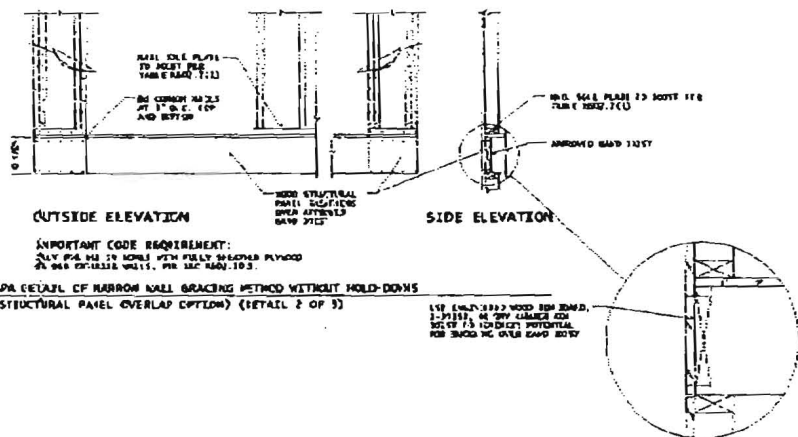
Rear Elevation



Section A

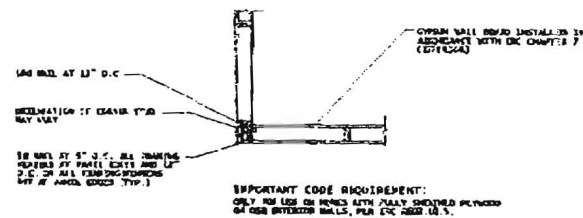
Contractor:
 Hagan & Hamilton
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 Suite 100
 Timonium, MD 21093
 410-561-1004
 MHBR0097
 MHIC212898

11886 Farside Road
 Ellicott City, MD
 Lot 65 Farside

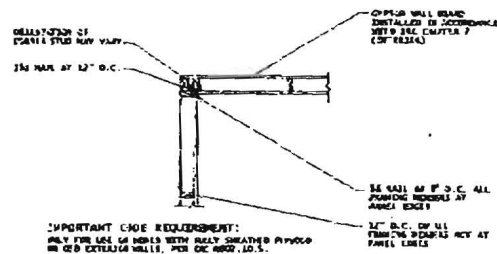


APA DETAIL OF HARBOR WALL BRACING METHOD WITHOUT HOLD-DOWNS (STRUCTURAL PANEL OVERLAP OPTION) (DETAIL 2 OF 3)

USE 1 1/2" x 4" x 8" WOOD SILL BOARD, 1-1/2" x 1-1/2" x 8" WOOD SILL BOARD FOR 3/4" x 3/4" x 1/2" POTENTIAL FOR BRACKING OVER SILL BOARD



EXAMPLE OF OUTSIDE CORNER DETAIL PER IRC 602.10.5

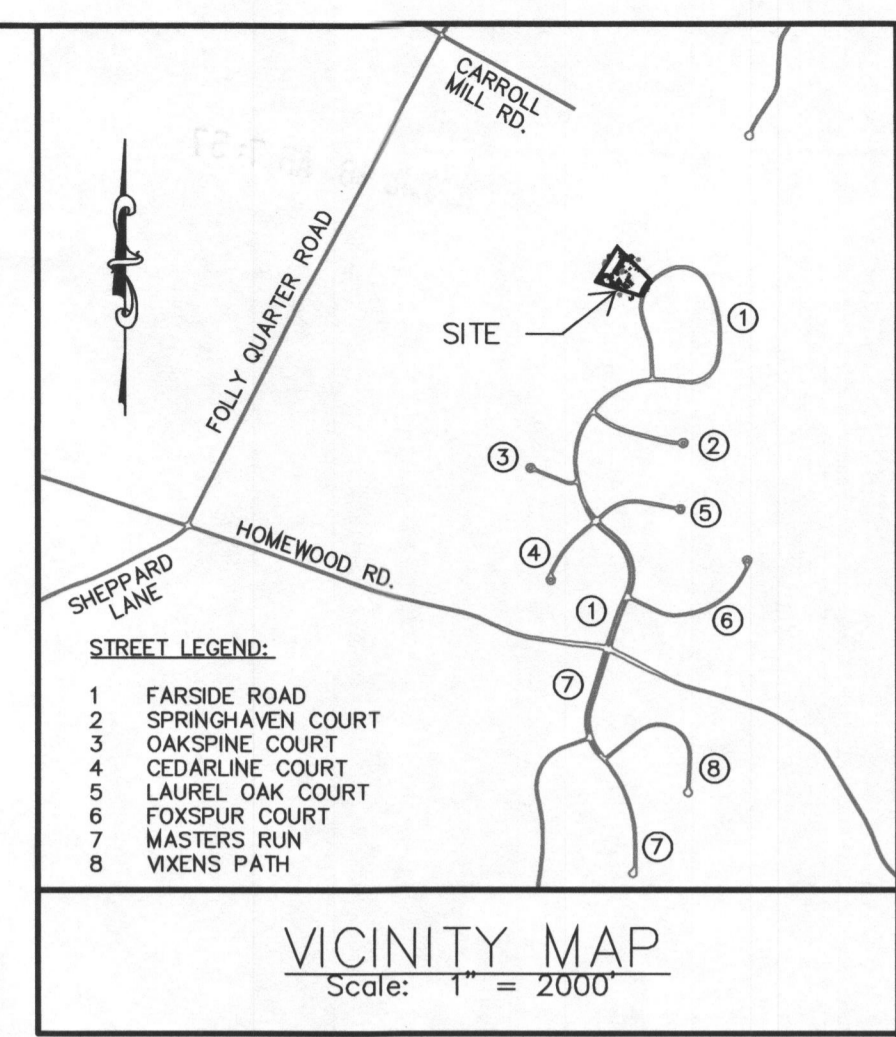


EXAMPLE OF INSIDE CORNER DETAIL PER IRC 602.10.5

Contractor:
 Hagan & Hamilton
 20 E Timonium Road
 Suite 100
 Timonium, MD 21093
 410-561-1004
 MHBR0097
 MHIC212898

Wind Bracing details

11886 Farside Road
 Ellicott City, MD
 Lot 65 Farside



LEGEND

Minor Contour— (2' Interval)	
Index Contour— (10' Interval)	
Prop. Contours	
Steep Slopes (25% or greater)	
Exist. Spot Elevation	+ 373.5
Prop. Spot Elevation	+ 85'
Soils Boundary	
Existing Brick & Stone Driveway (To be removed)	
10' Temporary Access Road	
Existing Well—	
Sanitary Clean Out	
Proposed Perculation Test Hole	
Existing Septic Easement	
Existing Deck to be removed & replaced w/new Building Addition	
Limit of Disturbance	
Silt Fence	
Existing Stream	
Existing Treeline	

This area designates a private sewage easement of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted. This easement shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant adjustments to the private sewage easement. Recordation of a revised sewage easement shall not be necessary.

GENERAL NOTES

- Existing Zoning: RR-DEO
- Deed Reference: L. 4857, F. 472
- Total area of Lot: 144,053 s.f. / 3.307 Ac.
- The lot shown complies with the minimum lot area and ownership width as required by the Maryland State Department of the Environment.
- Existing wells and septic areas have been shown within 100 feet of Parcel 126.
- The topography shown in the vicinity of the proposed building addition, deck & septic easement was field run by LDE, Inc. in May, 2008. The remainder of the topography shown hereon was taken from the latest Howard County Aerial topography. Vertical control is based on Howard County NAVD88. Horizontal control is based on Plat No. 4684.
- The purpose of this plan is to provide a construction plan for a proposed house addition, new deck & expanded septic system.
- The subject lot has an existing house and driveway to remain. An addition to the existing house is proposed.
- Soils information shown hereon was taken from the latest Howard County Soil Survey.
- The existing well located on the subject lot shall remain.
- The existing septic system shall be expanded to accommodate the proposed new bedroom.
- Total limit of disturbance: 4,818 sq. ft./0.11 Ac.
- The proposed building addition will be constructed in a location presently occupied by an existing deck. The proposed new deck will add 594 s.f. of new impervious area to the subject site.
- Since the total limit of disturbance is less than 5,000 s.f., grading & sediment control and stormwater management approval is not required.
- The basement walls for the proposed addition will act as retaining walls. Original grade will be maintained during construction of the addition.
- Spot elevations shown in grey are field run ground shots around the proposed addition area.
- See architectural plans for the proposed addition and deck dimensions.

SOILS LEGEND

HYDROLOGIC SOIL GROUP	SOIL SYMBOL	DESCRIPTION	REMARKS
B	GbB	Gladstone loam, 3 to 8 percent slopes	-
B	MaD	Manor loam, 15 to 25 percent slopes	-
D	Co	Codorus and Hatboro silt loams 0 to 3 percent slopes	-

Approved: For private water and private sewerage systems
Howard County Health Department

Howard County Health Officer _____ Date _____

LDE Inc.
Engineers, Surveyors, Planners
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
(410)715-1070 - (301)596-3424 - FAX (410)715-9340

DESIGNED S.D.H.	Plot Plan for Building Permit & Perculation Testing Application Plan FARSI DE, LOT 65 PLAT NO. 4684 Yoon Residence 11886 Farside Road Ellicott City, Maryland 21042 Tax Map 23, Grid 21, Parcel 126 3rd Election District Howard County, Maryland	SCALE 1" = 30'
DRAWN G.D.W.		DRAWING 1 of 1
CHECKED B.D.B.	PREVIOUS SUBMITTALS: Plat Nos. 4412 & 4684	JOB NO. 08-017
DATE 7/2008	DEVELOPER: Hogan & Hamilton 20 E. Timonium Road, Suite 100 Timonium, Maryland 21093 Phone: 410-977-8407	OWNER: Boe & Jo Yoon 11886 Farside Road Ellicott City, MD 21042 Phone: 410-992-3709

