

EDGEWOOD FARMS

COUNTY #

SOIL PROFILE

239

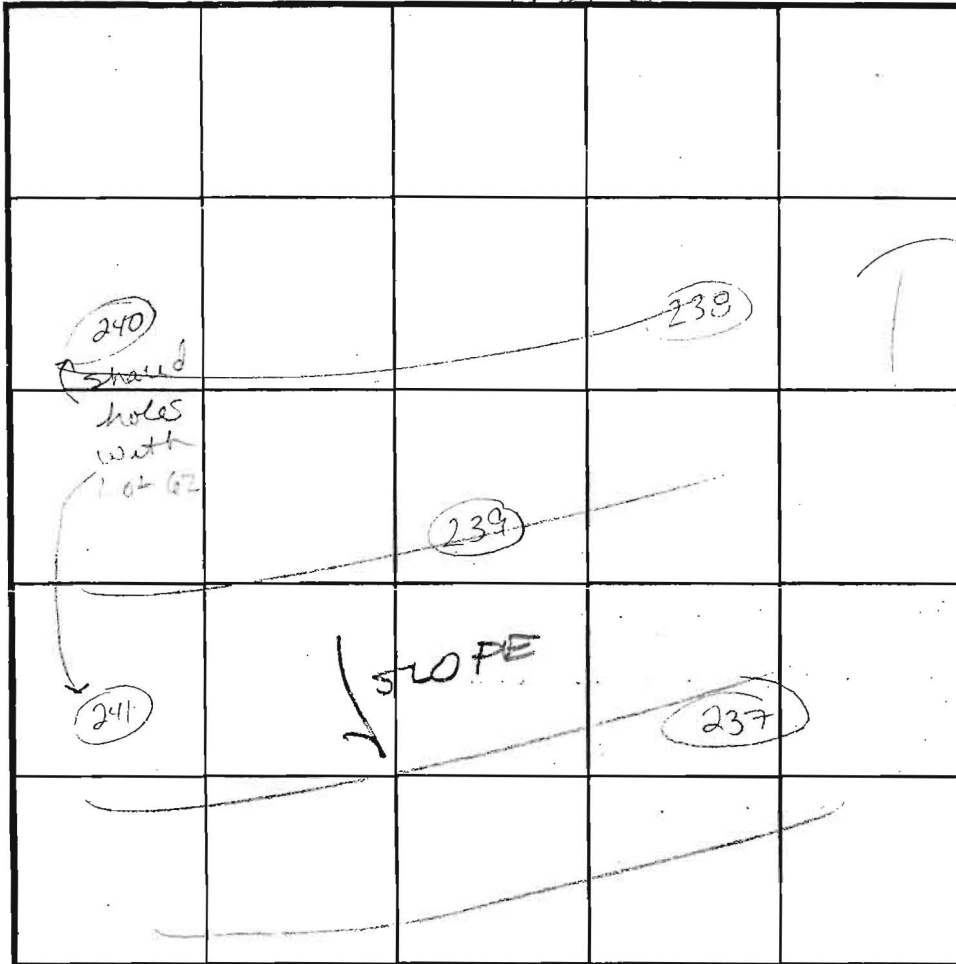
0' 2 3/4'  
Dk brn  
Sticky  
CLM  
2 3/4'  
Wk org brn  
S.L.  
6'  
Wk org brn  
1+ brn  
L.S. to  
Sand  
9 1/2'  
H. Bottom

238

Strong brn  
wk org brn  
CLM 4'  
de  
SiLM  
large  
dk brn  
wk org brn  
wk platy structure  
L.S. - S  
R & 10%  
bluish brn  
S  
blue silt  
H.B.

237

1 1/2'  
Dk. Brown  
Org loam  
2 1/2'  
Red Brown  
Silt loam  
4'  
Tan  
Chk  
Silt loam  
1 1/2'  
Tan  
Yellow  
Silt loam  
1 1/2'  
1 1/2'



SOIL PROFILE

240

0' 3'  
Red  
Brown  
Chy loam  
7 1/2'  
Yellow/  
Red  
Silt loam  
Brown  
Silt loam  
L.S. 90  
Rock

241

13'  
Brown/  
Red  
Brown  
Chy loam  
3 1/2'  
Brown  
Silt loam  
4 1/2'  
Yellow  
Brown  
Silt loam  
L.S. 90  
Rock

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
6/26/03	239	6 1/2' / 10'R	9:01 <sup>40</sup>	9:04	9:04	9:12	8 min P
	238	6 1/2' / 11' HB	9:28	9:31	9:31	9:35	4 min P
	237	5 1/2' / 12 1/2' N	9:42	9:45	9:45	9:49	4 min P
	240	6 1/2' / 13'	8:28	8:44	8:44	9:00	16 min
	241	6 1/2' / 13'	8:13	8:17	8:17	8:23	6 min

REMARKS

TYPE OF SOIL CL LM to 6' deeper is SL

TESTED BY FA / KN

ALSO PRESENT Bob S. + Mark Johnson

TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME

TRENCH WIDTH

INLET DEPTH

MAXIMUM BOTTOM DEPTH

SQ. FT/BEDROOM

518964

COUNTY #

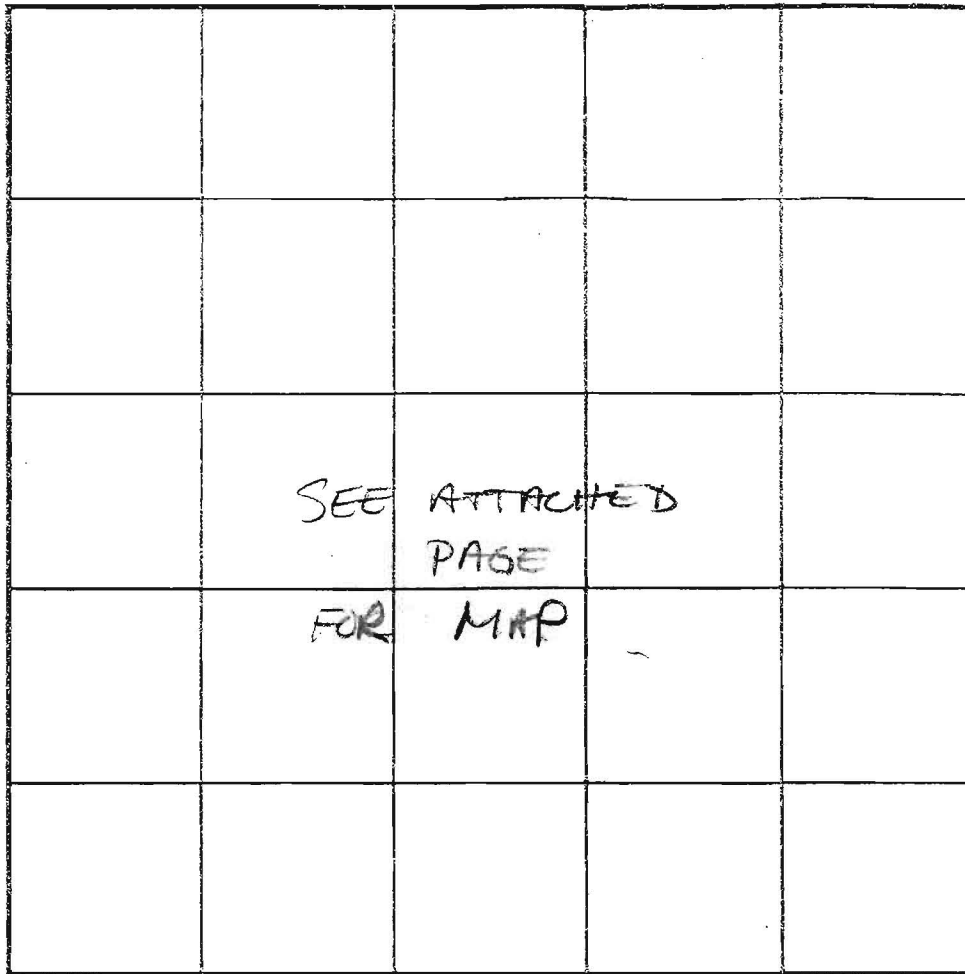
SOIL PROFILE

240

0' rdbn  
CLL  
3'  
Magenta strong yellow  
L-sil  
Ribbons ~ 3/4"  
7-7 1/2'  
brn  
LS  
trace Rx  
Mn lateral deposits on  
Rx faces  
10'  
Sand f-m  
Sq. grain  
v WK Saprolite  
@ 11'

SOIL PROFILE

0'



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

241

Str brn  
wk rd brn  
wk org brn  
CLL

brn  
Sil

Ybrn  
Sand-  
fine gr

Micaceous  
Trace  
Rx  
Bottom

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
6/26/03	245	8' S 7 1/2'	7:26	7:37	7:37	7:53	16 min P
	244	7' S 13'	7:35 <sup>40</sup>	8:02	8:02	TEST STOPPED	
		9' S 13'	8:39	8:42	8:42	8:46	4 min P
	242	7' S 12R	8:01	8:24	TEST STOPPED RETEST		F
		9' 12R	8:52	9:02	9:02	9:18	16 min
	241	6 1/2' M 13'	8:13	8:15	8:17	8:23	6 min P
	240	6 1/2' S 13R	8:28	8:44	8:44	9:00	16 min P
	243	Middle hole	visual				P

REMARKS Holes dug per plan. Topo accurate

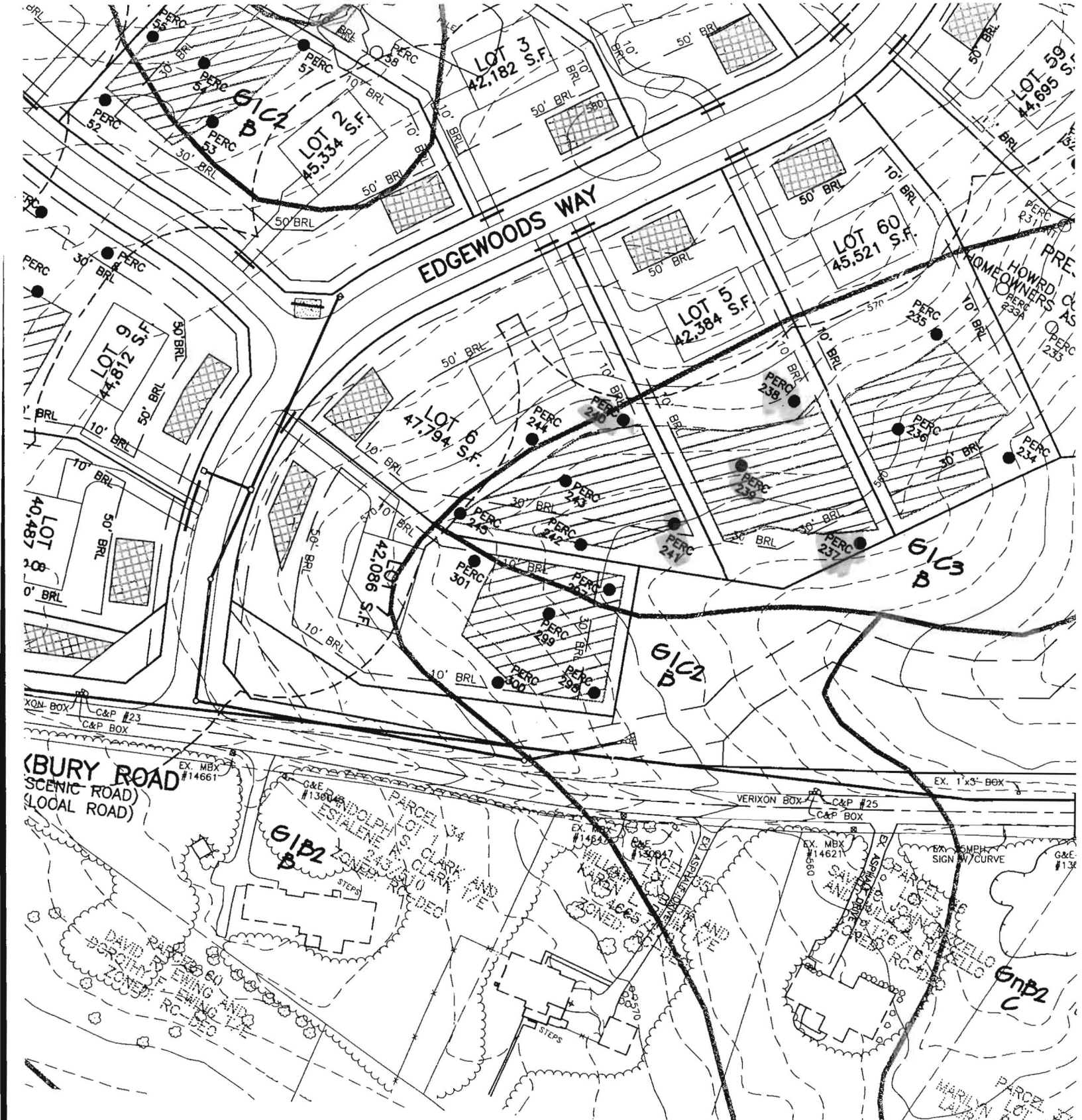
TYPE OF SOIL Deep CLAY LOAM; SANDSTONE Refusal @ ~ 13'

TESTED BY FAI/KN ALSO PRESENT Bob S. + Mark Johns

TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME 10 min TRENCH WIDTH 3

INLET DEPTH 7 MAXIMUM BOTTOM DEPTH 9 SQ. FT/BEDROOM 210

OR 2.07



PLAN VIEW  
 SCALE: 1" = 100'

I CERTIFY THAT THE INFO  
 BASED ON FIELD SUPERV  
 MY DIRECT SUPER  
 BEST OF KNOW

MAP SYMBOL	SOIL GROUP	
AdB2		
Co	C	ALDINO SILT
Ba	C	CORODUS SILT
ChB2	C	BAILE SILT LOAM
CuB	C	CHESTER SILT
G1B2	B	COMUS SILT
G1C2	B	
EKB2	B	
G1C3	B	
G		

CURVE	RADIUS	ARC	DELTA	TANGENT	CHORD
25-26	94.00'	322.43'	19°39'11"	162.81'	N83°39'58"E 320.85'
27-28	2000.00'	256.91'	07°21'35"	128.63'	N70°09'35"E 256.73'
31-32	325.00'	172.57'	30°25'23"	88.37'	N09°00'58"E 170.55'
34-35	380.00'	83.40'	12°34'31"	41.87'	N82°09'21"W 83.24'
36-37	820.00'	135.62'	09°28'34"	67.96'	N83°42'20"W 135.46'
38-39	25.00'	23.18'	53°07'48"	12.50'	S74°28'03"W 22.38'
39-40	50.00'	249.81'	286°15'37"	37.50'	N11°01'57"E 60.00'
40-41	25.00'	23.18'	53°07'48"	12.50'	S52°24'09"E 22.38'
42-43	780.00'	129.00'	09°28'34"	64.65'	S83°42'20"E 128.85'
44-45	420.00'	92.18'	12°34'31"	46.28'	S82°09'21"E 92.00'
47-48	325.00'	66.34'	11°41'41"	33.28'	N27°54'57"E 66.21'
49-50	215.00'	260.29'	69°21'52"	148.77'	N00°55'09"W 244.68'
84-85	265.00'	320.82'	69°21'52"	183.37'	S00°55'09"E 301.58'
86-87	275.00'	278.34'	57°59'27"	152.41'	S04°46'04"W 266.61'

Maximum Stamp Archival

1 2 3 4 5 6

THE REQUIREMENTS § 3-106, THE REAL PROPERTY ARTICLE, ASSOCIATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

STEPHAN JALON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
MARYLAND NO. 10726

*William M. Holmes* 6/20/07  
TOLL MD V LIMITED PARTNERSHIP  
DATE  
William M. Holmes



MDR PLAT NO. 19256  
RECEIVED  
FOR RECORDS 19 007

**AREA TABULATION CHART**

TOTAL NUMBER OF LOTS AND/OR PARCELS TO BE RECORDED	7
BUILDABLE	0
OPEN SPACE	0
BUILDABLE PRESERVATION PARCELS	0
NON-BUILDABLE PRESERVATION PARCELS	1 & P/O 2
NON-BUILDABLE BULK PARCELS	2 & P/O 2
TOTAL AREA OF LOTS AND/OR PARCELS TO BE RECORDED	7.51± AC.
BUILDABLE	N/A
OPEN SPACE	N/A
BUILDABLE PRESERVATION PARCELS	N/A
NON-BUILDABLE PRESERVATION PARCELS	3.57± AC.
NON-BUILDABLE BULK PARCELS	16.90± AC.
TOTAL AREA OF ROADWAY TO BE RECORDED (INCLUDING WIDENING STRIPS)	2.27± AC.
TOTAL AREA OF SUBDIVISION TO BE RECORDED	30.25± AC.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWER SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

*Richard A. Peter* 6/17/07  
HOWARD COUNTY HEALTH OFFICER  
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*William M. Holmes* 5/8/07  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE

*David S. Cuyler* 7/2/07  
DIRECTOR  
DATE

STEPHAN JALON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
MARYLAND NO. 10726

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION SHOWN HEREON IS CORRECT, THAT IT IS ALL OF LAND ACQUIRED BY TOLL MD V L.P. FROM EDGEWOOD FARM, INC. BY DEED DATED MAY 8, 2007 AND RECORDED IN LIBER 0677 AT FOLIO 0467 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO ACCEPTANCE OF THE ROADS BY HOWARD COUNTY, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED.

*Stephan Jalon* 12/11/06  
DATE

**OWNER'S CERTIFICATE**

TOLL MD V LIMITED PARTNERSHIP, OWNER OF THE PROPERTY SHOWN HEREON, HEREBY ADOPTS THIS PLAN OF SUBDIVISION AND IN CONSIDERATION OF APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES AND GRANTS UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES, AND OTHER MUNICIPAL UTILITIES AND SEWERAGES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY, AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON, (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE OF THE BEDS OF THE STREETS AND/OR ROADS, FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANTS THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE, (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE, AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE CREATED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY, WITNESS OUR HANDS THIS DAY OF JUNE, 2007.

*William M. Holmes* 6/20/07  
TOLL MD V LIMITED PARTNERSHIP  
DATE  
William M. Holmes

OWNER:  
TOLL MD V LIMITED PARTNERSHIP  
280 GIBBALTAR ROAD  
HORSHAM, PENNSYLVANIA 19044

**BENCHMARK**  
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE & SUITE 418  
ELICOTT CITY, MARYLAND 21043  
PHONE: 410-465-6100 & FAX: 410-465-6644  
WWW.BENCHMARKENGINEERING.COM

RECORDED AS PLAT NO. \_\_\_\_\_  
ON \_\_\_\_\_ AMONG THE LAND  
RECORDS OF HOWARD COUNTY, MARYLAND.

**EDGEWOOD FARM**

PHASE 1  
LOTS 1-7; NON-BUILDABLE BULK PARCELS 'AA'-'HH'  
NON-BUILDABLE PRESERVATION PARCELS 'A'-'G'

SP-05-04 RE-06-10 WP-06-60

FOURTH ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND  
TAX MAP: 21  
GRID: 22  
PARCEL: 90  
ZONED: RC-DEO  
DATE: DECEMBER, 2006  
SHEET: 2 OF 7

P41053 F-06-108