

HOWARD COUNTY
PERMIT APPLICATION

PERMIT NUMBER

207002759

Building Address 16400 Ed Warfield Rd
21797
Suite/Apt. #: _____ SDP/WP/Petition #: _____
Census Tract _____ Subdivision _____
Section _____ Area _____ Lot _____
Tax Map _____ Parcel _____ Grid _____
Zoning _____ Map Coordinates _____ Lot size 7.11 acres

Property Owner's Name Greg & Carol Nolf
Address 16400 Ed Warfield Rd
City Woodbine State MD Zip Code 21777
Home Phone 410 489 7621 Work Phone _____
Applicant's Name & Mailing Address, (if other than stated hereon):
Phone _____ Fax _____

Existing Use _____
Proposed Use _____
Estimated Construction Cost \$ 115,000
Description of Work Building a 20'4" x 24'8" Brick sunroom with a 6' x 24' Balcony w/ stairs & full unfinished basement

Contractor Company Barnard Construction
Contact Person Paul Barnard
Address 1045 St Michaels Rd
City Mt Airy State MD Zip Code 21771
License No. _____
Phone 410 489 7621 Fax _____

Occupant or Tenant _____
Contact Name _____
Address _____
City _____ State _____ Zip Code _____
Phone _____ Fax _____

Engineer or Architect Company _____
Contact Person _____
Address _____
City _____ State _____ Zip Code _____
Phone _____ Fax _____

BUILDING DESCRIPTION - COMMERCIAL

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
Height: _____	Water Supply: _____ Public <input type="checkbox"/> Private <input type="checkbox"/>
No. of stories: _____	Sewage Disposal: _____ Public <input type="checkbox"/> Private <input type="checkbox"/>
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Construction type: _____ Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular <input type="checkbox"/>	Sprinkler system: N/A <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____

Building Characteristics	Utilities
SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> Depth _____ Width _____	Water Supply: _____ Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>
1st floor: _____	Sewage Disposal: _____ Public <input type="checkbox"/> Private <input type="checkbox"/>
2nd floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Basement: _____ Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/>	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
No. of Bedrooms _____	Sprinkler system: N/A <input checked="" type="checkbox"/> NFFA #13D _____ NFFA #13R _____ Other: _____
Height: _____	
Multi-family dwellings: _____	
No. of efficiency units: _____	
No. of 1 BR units: _____	
No. of 2 BR units: _____	
No. of 3 BR units: _____	
Other Structure: _____	
Dimensions: _____	
Footings: _____	
Roof Height: _____	
State Certified Modular <input type="checkbox"/> Manufactured Home <input type="checkbox"/>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
Title/Company _____

Print Name _____
Date 9-10-07

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
** PLEASE WRITE NEATLY AND LEGIBLY. **

- FOR OFFICE USE ONLY -

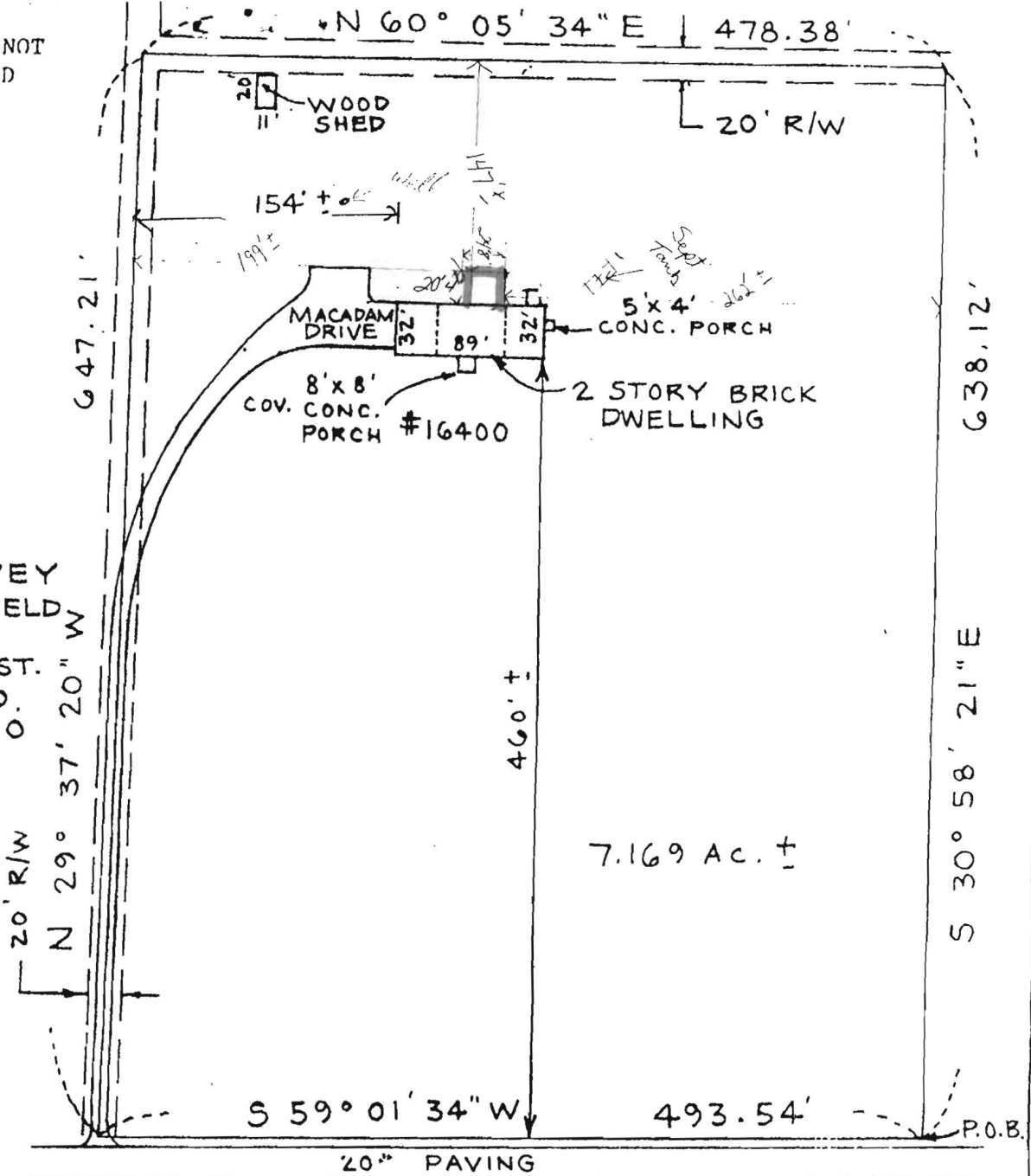
AGENCY	DATE	SIGNATURE APPROVAL
Land Development, DPZ		
State Highways		
Building Official		
Dev. Engineering, DPZ		
Health	<u>11/15/2007</u>	<u>Salil A. Gh</u>
Fire Protection		
Is Sediment Control approval required prior to issuance? YES <input type="checkbox"/> NO <input type="checkbox"/>		
CONTINGENCY CONSTRUCTION START: <input type="checkbox"/>		
ONE STOP SHOP: <input type="checkbox"/>		
Distribution of Copies-	White: Building Official	Green: LDD, DPZ

DPZ SETBACK INFORMATION	PROPERTY ID#:
Front: _____	Filing fee \$ <u>25.00</u>
Rear: _____	Permit fee \$ _____
Side: _____	Excise tax \$ _____
Side St.: _____	Add'l per. fee \$ _____
All minimum setbacks met? YES <input type="checkbox"/> NO <input type="checkbox"/>	TOTAL FEES \$ _____
Is Entrance Permit required? YES <input type="checkbox"/> NO <input type="checkbox"/>	Sub-total paid \$ _____
Historic District? YES <input type="checkbox"/> NO <input type="checkbox"/>	Balance due \$ _____
Lot Coverage for NewTown Zone _____	Check # <u>14125</u>
SDP/Red-line approval date _____	Validation # _____
Accepted by _____	

COMMUNITY PANEL NO: 240044 0013 B

ZONE " C "

THIS PROPERTY IS NOT
LOCATED IN A FLOOD
HAZARD ZONE.



LOCATION SURVEY
#16400 ED WARFIELD
ROAD
4TH ELECTION DIST.
HOWARD CO., MD.
DEED: 4198 - 720

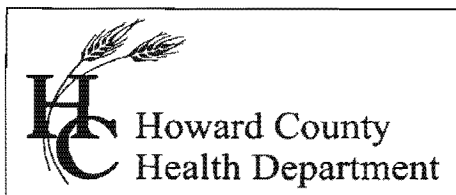
ED WARFIELD ROAD (30' R/W)

I HEREBY CERTIFY THAT THE LOT SHOWN HEREON HAS BEEN SURVEYED FOR THE PURPOSE OF LOCATING ALL IMPROVEMENTS ONLY. THE PLAT IS A BENEFIT TO THE CONSUMER ONLY INSOFAR AS IT IS REQUIRED BY A LENDER OR A TITLE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. THE PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY LINES OR BOUNDARIES. 02-4655

J. Silver

Site Rite Surveying, Inc.
200 E. Joppa Road
Shell Building, Room 101
Towson, MD 21286
(410)828-9060

AWN BY | CHECKED BY | SURVEYED BY | SCALE | DATE



Bureau of Environmental Health
7178 Gateway Drive Columbia, MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter Beilenson, M.D., M.P.H., Health Officer

9/28/2007

To: Garry Barnard
Barnard Construction
1045 St. Michaels Rd.
Mt. Airy, MD 21771

From: Gabe Creighton, Sanitarian
Well and Septic Program

Re: B07003759
16400 Ed Warfield Rd.
Woodbine, MD 21797
Proposed sunroom and balcony addition

To Whom It May Concern:

This department has received and reviewed the building permit application referenced above. Upon this review it has been determined that the improvements proposed by this building permit are not permissible without fulfilling additional requirements from this agency. Items listed are needed prior to permit approval.

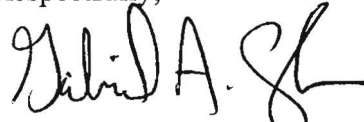
1. No floor-plans were received with the application in this office. Floor plans are needed to determine potential impact of the proposed addition to the existing septic system.
2. Upon review of the Health Department's file for this property, it has been observed that the property does not have a septic reserve area on record. A septic reserve area is an area set aside on the property for the purpose of on site sewage disposal (septic) systems. A septic reserve area is required on all properties prior to approval of building permits for additions.
 - a. To obtain a septic reserve area, it will be necessary to perform percolation tests on the property. (see enclosed Application for Percolation Testing) A fee of \$506.00 is charged for this testing and the contractor/homeowner are responsible for hiring a backhoe and operator to be on-site at the time of the testing.
 - b. It is the standard practice of this department to attempt to obtain 10,000 square feet (100' x 100' or equivalent) of septic reserve area on lots established after 1972 or at least enough septic reserve for two (2) repair septic systems for lots established before 1972. Typically, five (5) passing percolation tests are needed to establish this area.

Letter to: Barnard Construction
Re: B07003759
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- c. In order to establish a septic reserve area; after percolation testing is done, a percolation certification plan must be prepared and submitted for formal signature approval in this office (see the enclosed summary of Howard County Code Section 3.805).
3. Additionally, depending upon observed site conditions at the time of percolation testing and review of the floor plans, an upgrade to the existing septic system may be required prior to building permit approval by this agency.
4. At a minimum, an upgrade of the existing septic tank storage capacity (1250 gallons) to be a minimum of 2000 gallons total will be required to meet the septic tank size required by Howard County Code for homes larger than 3500 square feet. [Howard County Code: Section 3.810 (B) (2)]

Upon receipt of this letter, you may send the items requested above, respond in writing to the above address, or contact me directly at (410) 313-2775.

Respectfully,



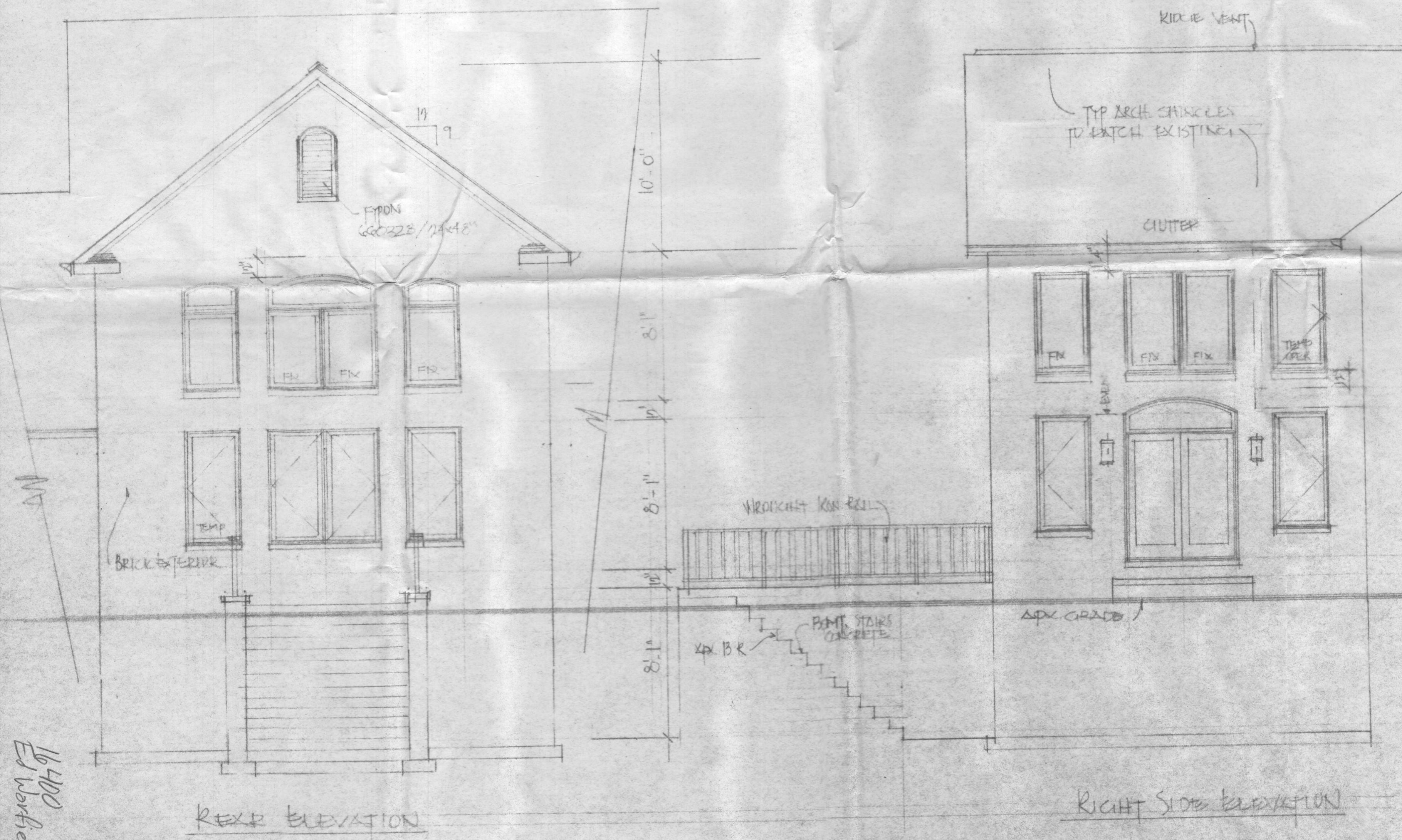
Gabriel A. Creighton, R.S.
Development Coordination Section
Well and Septic Program

GAC/gac

Enclosure(s)

cc: Greg and Carol Nolf (16400 Ed Warfield Rd., Woodbine, MD 21797)

File



REAR ELEVATION

RIGHT SIDE ELEVATION

16400
Ed Warfield RD

ELEVATIONS - S&P 11x10'

PROPOSED ADDITION TO THE

NOLF RESIDENCE
HOWARD COUNTY, MD

DATE
31 JUL 2007

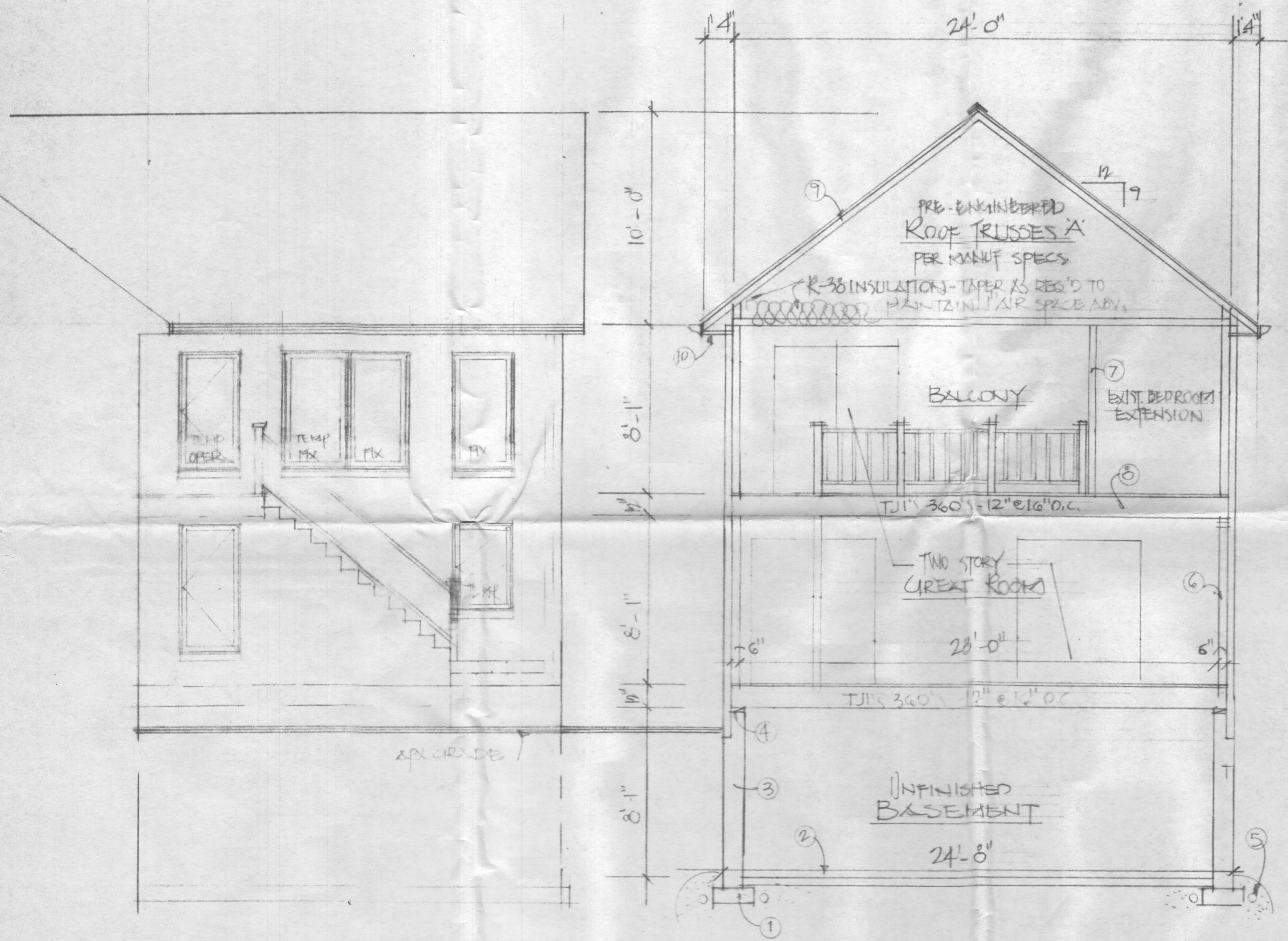
SHEET
—
OF 3

CONSTRUCTION NOTES

1. TYPICAL FOOTING: ALL FOOTINGS SHALL BE POURED CONCRETE. 8" X 16" OR 8" X 20" ALL FOOTINGS ARE TO BE POURED ON UNDISTURBED SOIL. BOTTOM OF ALL FOOTINGS TO BE 2'-6" MIN. BELOW FINISH GRADE.
 2. TYPICAL CONCRETE SLAB: REINFT. SLABS TO BE POURED CONCRETE, 4" THICK MIN. WITH 6X6X10 WELDED WIRE MESH, OR 6 MIL VAPOR BARRIER, ON 4" GRAVEL BED ON UNDISTURBED OR COMPACTED SOIL. PROVIDE 1 1/2" R-8 RIGID FOAM INSULATION BOARDS 24" HORIZONTALLY AND 24" VERTICALLY UNDER ALL SLABS LOCATED WITHIN 12" OF GRADE.
 3. TYPICAL FOUNDATION WALL: 8" OR 12" CMU PARCELED WITH 3/8" PORTLAND CEMENT COVERED AT FOOTING. COAT ALL PORTIONS OF WALL BELOW GRADE WITH BITUMINOUS MATERIAL FOR DAMP PROOFING. ALL TOP COURSES TO BE SOLID CMU. DO NOT BACK FILL AGAINST CMU WALLS UNTIL FIRST DECK IS IN PLACE AND MORTAR IS FULLY CURED. LIMIT UNBALANCED BACKFILL AGAINST UNREINFORCED CMU WALLS AS FOLLOWS: 4'-0" ABOVE SLAB FOR 8" CMU OR 6'-0" ABOVE SLAB FOR 12" CMU.
 4. SILL PLATES: ANCHOR 2X8 PRESSURE TREATED SILL PLATES INTO CMU AT 6'-0" O.C. MAX.
 5. DRAIN SYSTEM: PROVIDE DRAIN SYSTEM AT ALL BASEMENT AREAS. INSTALL 3" O.D. PERFORATED DRAIN TILE AT BOTTOM OF FOOTING. COVER EXTERIOR GRAVEL BED WITH RESIN PAPER PRIOR TO BACKFILL.
 6. TYPICAL EXTERIOR WALL: 2X4 STUDS AT 16" O.C. WITH 1/2" THICK SUBSIDING. FOIL FACED FOAM BOARD (R-MAX. OR SIM.) BRACE ALL EXTERIOR BUILDING CORNERS AS REQUIRED WITH 1/2" PLYWOOD SHEATHING. COVER SUBSIDING WITH HORIZONTAL SIDING 8" OR PER BUILDING SPECS. THE ALL MASONRY VENEERS TO STUD WALL WITH APPROVED TIES, 16" O.C. VERTICALLY. TAPE SUBSIDING JOINTS OR COVER WITH BUILDING PAPER BEFORE SETTING STONE OR BRICK. ALL OPENINGS IN WALLS TO BE FRAMED IN WITH 2-2X10 HEADERS UP TO 6' WIDE. WIDER THAN 6' REQUIRE 2-2X12 HEADERS. BOLT ALL REQUIRED FLECH BEAMS TOGETHER WITH 1/2" CARRIAGE BOLTS AT 24" O.C. STAGGERED. USE PRESSURE TREATED SILL PLATES AT BOTTOM PLATES FOR ALL WALLS IN CONTACT WITH CONCRETE. BLOCK ALL POSTS SOLID THROUGH DECKS AND WALLS BELOW. INSULATE ALL EXTERIOR WALLS WITH R-18 INSULATION UNLESS NOTED OTHERWISE.
 7. TYPICAL INTERIOR WALLS: ALL INTERIOR LOAD BEARING WALLS TO BE 2X4 STUDS AT 16" O.C. FRAME ALL OPENINGS WITH 2-2X10 HEADERS UNLESS NOTED OTHERWISE. USE PRESSURE TREATED BOTTOM PLATES ON ALL WALLS IN CONTACT WITH CONCRETE. BLOCK POSTS SOLID THRU DECKS AND WALLS BELOW.
- INT. WALLS CONT: ALL INTERIOR NON-LOAD BEARING WALLS TO BE FRAMED WITH 2X4 OR 2X6 STUDS AT 16" O.C.
8. TYPICAL FLOOR FRAMING: ALL FRAMING LUMBER TO BE #2 HEM-FIR OR EQUAL. (F: 1150 psi, E: 1400000 psi) OR #1 HF AS NOTED (FB: 1400 psi, E: 1.5 x 1006). DESIGN LOADS: FIRST FLOOR 40 PSF LIVE LOAD. SECOND FLOOR 50 PSF 30 PSF LIVE LOAD. 40 PSF TOTAL LOAD. BLOCK BETWEEN ALL FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL TO SPAN OF JOISTS. STEEL BEAMS TO BE ASTM-36, LATERALLY BRACED BY ANCHORING FLOOR MEMBERS TO WOOD PLATE, ANCHORED TO TOP FLANGE OF STEEL AT 36" O.C. STAGGERED. ANCHOR STEEL BEAMS AT BEARING MINIMUM BEARING ON SOLID MASONRY PER 6". INSULATE BASEMENT WALLS AND PROVIDE SILL SEALER AT 2X8 SILL PLATE.
 9. TYPICAL ROOF SYSTEM: PRE-ENGINEERED TRUSSES SPACED AT 24" O.C. MAXIMUM WITH 1/2" CDX PLYWOOD. COVER PLYWOOD WITH 15# ROOFING PAPER AND 235# ASPHALT SHINGLES. INSULATE ALL ROOF AREAS WITH R38 INSULATION UNLESS OTHERWISE NOTED.
- NOTE: TRUSS FABRICATOR TO SUBMIT SEALED ENGINEERING DRAWINGS FOR ALL TRUSS TYPES SHOWN. SUBMIT DRAWINGS TO BUILDER PRIOR TO FABRICATION AND INCLUDE NOTATIONS FOR ALL PERMANENT BRACING REQUIRED BY EACH TRUSS DESIGN. ROOF TRUSS DESIGN LOAD: 30PSF LIVE, 50 PSF TOTAL. BRACE ALL TRUSSES DURING ERECTION TO PREVENT TOPPLING AND DEFLECTION. PROVIDE PERMANENT BRACING AT ALL CABLE ENDS IN ADDITION TO ANY BRACING REQUIRED BY TRUSS ENGINEER.
10. TYPICAL ROOF OVERHANG: ALL FASCIA BOARDS TO BE 2X6 PTD. ALL RAKE BOARDS TO BE 2X6 PTD. ALL SOFFITS TO BE VENTED. VENT ALL SOFFIT AREAS WITH CONTINUOUS VENT STRIPS. PROVIDE ALUMINUM GUTTERS TO ALL FASCIA BOARDS, UNLESS NOTED OTHERWISE. PROVIDE ALUMINUM DOWNSPOUTS TO GRADE WITH CONCRETE SPLASH BLOCKS. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNIT HORIZONTAL LAP FOR EACH OF VERTICAL RISE.

GENERAL NOTES:

1. BUILDING CODES SHALL GOVERN OVER THESE DRAWINGS IN ALL CASES.
2. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. CHECK ALL DIMENSIONS PRIOR TO STARTING WORK.
3. VERIFY ALL PLUMBING, ELECTRICAL & MECHANICAL REQUIREMENTS PRIOR TO STARTING WORK.
4. EVERY ATTEMPT HAS BEEN MADE TO CREATE A SET OF ACCURATE CONSTRUCTION DWGS. THAT MEET ALL APPLICABLE BUILDING CODES, HOWEVER ANY ERRORS OR OMISSIONS SHALL BE THE RESPONSIBILITY OF THE BUILDER OR CONTRACTOR.



LEFT SIDE ELEVATION

BUILDING SECTION

L. ELEVATION & BUILDING SECTION

