

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 3-23-16

ONSITE SEWAGE DISPOSAL SYSTEM

P 558045

PERMIT

INSTALLATION

APPROVAL DATE: 4-28-16 (Kruw)

A _____

SEWER HOUSE CONNECTION

PROPERTY ADDRESS: 12214 Pleasant Springs Court

SUBDIVISION: Regan Property

LOT: 15

TAX ID: _____

CONTRACTOR: Fogles Septic Clean Inc.

EMAIL: kevin@foglesinc.com

CONTRACTOR ADDRESS: 580 Obrecht Road, Sykesville, MD 21784

PHONE: 410-795-5670

PROPERTY OWNER: MB Highland Reserve LLC

EMAIL: _____

OWNER ADDRESS: 1686 E Gude Drive, Rockville, MD 20850

PHONE: 301-762-8523

NUMBER OF BEDROOMS: 5

CONNECTED TO PUBLIC WATER:

YES

NO

LOCATION:	Install BAT unit per plan.
NOTES:	BAT location must be surveyed and staked per BAT plan.

ISSUED BY: Jeff Williams

ISSUE DATE: 3-23-16

~~8/31/16~~

EXPIRATION DATE: 3-23-17

~~8/31/16~~

NOTE: HOWARD COUNTY BUREAU OF UTILITIES APPROVAL OF GRINDER PUMP INSTALLATION IS REQUIRED PRIOR TO SEPTIC PERMIT APPROVAL

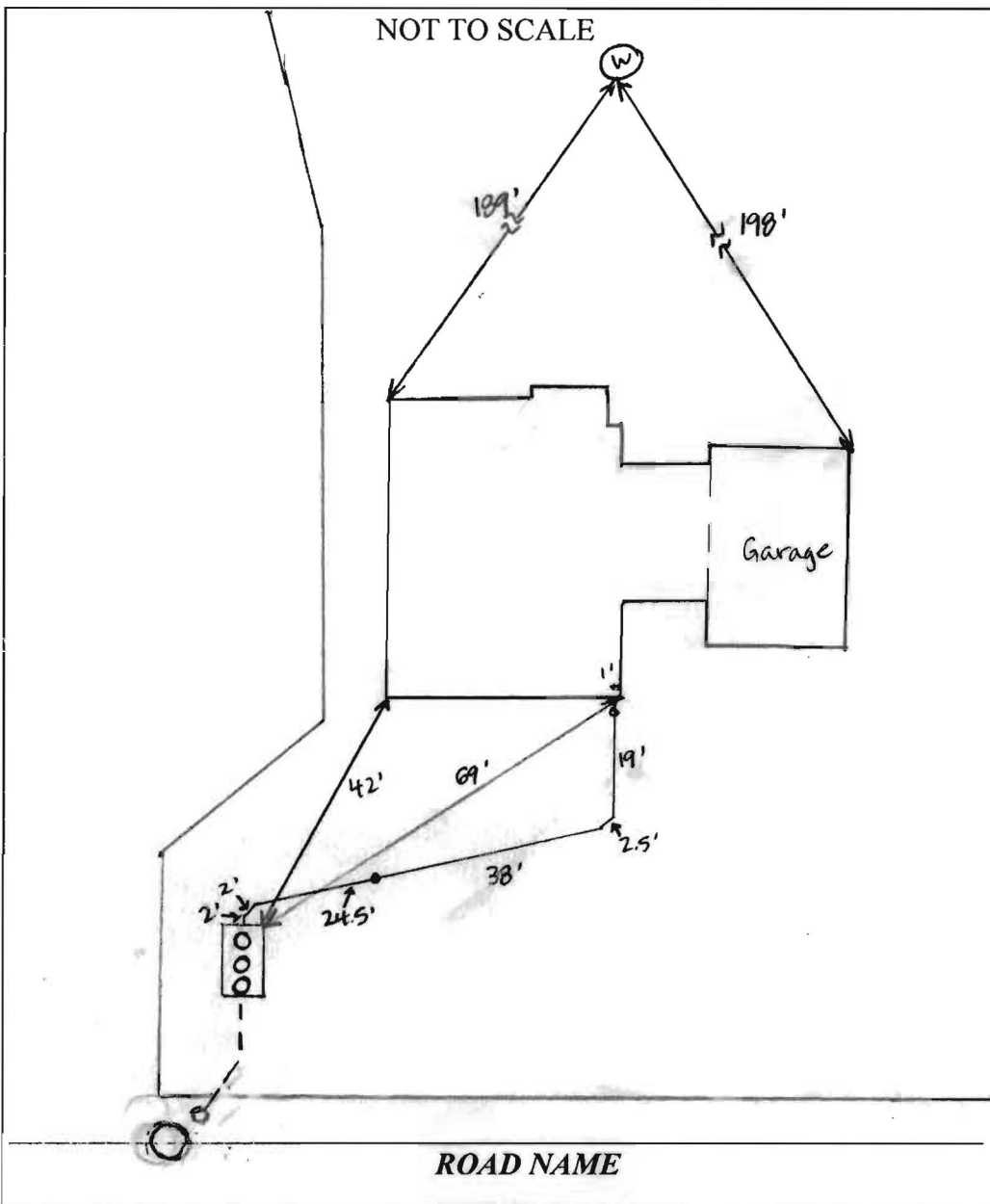
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM.



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
_____	_____	_____
NUMBER OF TRENCHES _____		
TOTAL LENGTH _____		
ABSORPTION AREA _____		
DISTRIBUTION BOX LEVEL _____		
DISTRIBUTION BOX BAFFLE _____		
DISTRIBUTION BOX PORT _____		

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES _____
MANUFACTURER	BACKRIVER/ NORWEGIAN
CAPACITY	1300 GAL
SEAM LOC	TOP
TANK LID DEPTH	6" - 2'
BAFFLES	NO
BAFFLE FILTER	NO
MANHOLE LOC	FRONT, MID, REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	NO
DATE ON LID	_____

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	_____
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____
SLOTTED	_____
DATE ON LID	_____

PRE-CONSTRUCTION:

3/28/2016 BAT box staked. Keep house connection away from house/sidewalk. (BB)

INSTALLATION: 3/30/16 On site for tank delivery. No visible cracks on sides of tank. Line installed from house to tank - 2% fall, #57 stone bed. House connection not yet made. Need connection to grinder pit. (SC)

4/20/2016 Received approval from utilities. (BB)

FINAL INSPECTOR K. Hall DATE OF APPROVAL 4-28-16

Baker, Brian

From: Tudor, Matt
Sent: Tuesday, April 19, 2016 3:31 PM
To: Harris, Leslie
Cc: Baucom, Scott; Hart, Amy; Rocco, Anthony; Baker, Brian; Martin, Sharhonda; Williams, Jeffrey; Bozzell, Duane; Bernard, Dana; Mike Lancaster
Subject: U&O Release 12214 Pleasant Springs Court

This morning, I observed the start-up of a Sewage Grinder Pump at the Regan Property Shared Septic System:

Regan Property, Contract 4742
Mitchell & Best, Lot 15
12214 Pleasant Springs Ct.
Highland, MD 20777

We are now satisfied with the grading efforts at the grinder pump chamber. The Sewage Grinder Pump test was successful; the Bureau of Utilities releases its hold on this property for U&O.

W. Matt Tudor, Operations Supervisor II
Howard County DPW, Bureau of Utilities
8270 Old Montgomery Road
Columbia, Maryland 21045
410-313-4934 office
410-978-1320 mobile

Back River Pre-Cast, LLC

PO BOX 329
Glyndon, MD 21071
Phone # 410-833-3394
Fax # 410-833-4116

Letter of Certification

This is to certify that the Norweco Singulair TNT 600 GPD Septic Tank installed at 12214 Pleasant Meadow Ct., Highland, 20777 March 30, 2016 was installed according to the manufacture's specifications.

Installer: Ricky Colson

Property Owner: Omid Janloo

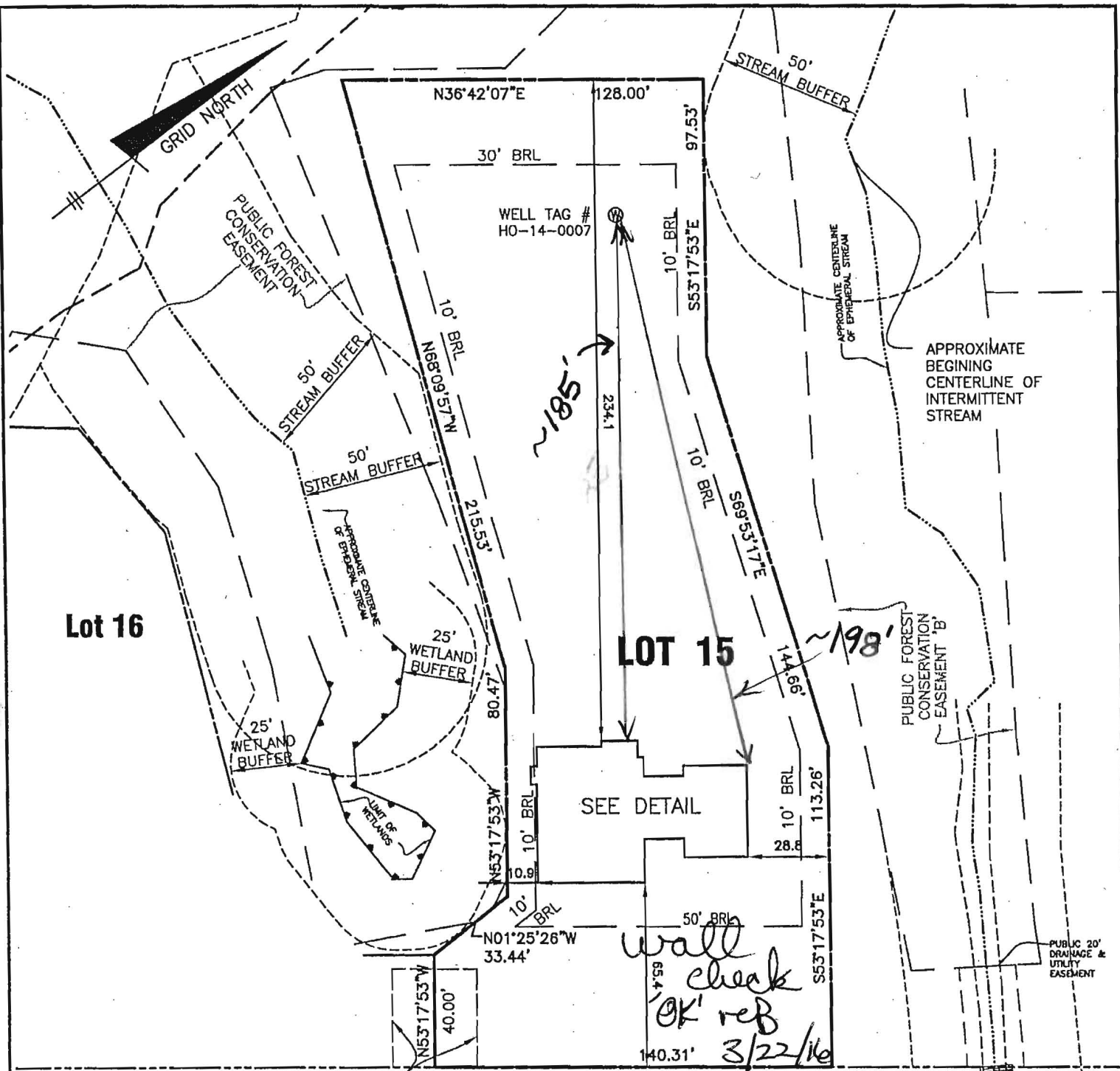
Permit #

THIS CERTIFICATION IS FOR INSTALLATION ONLY. THE 5-YEAR OPERATIONS & MAINTENANCE AGREEMENT FROM DATE OF INSTALLATION WILL ONLY GO INTO EFFECT AFTER BACK RIVER PRE-CAST, LLC RECEIVES FINAL AND FULL PAYMENT FOR THE SYSTEM.



MATTHEW GECKLE

Vice-President



Lot 16

LOT 15

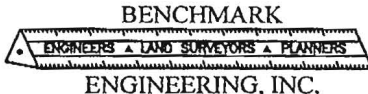
PLEASANT SPRINGS COURT
PUBLIC ACCESS PLACE - 50' R/W

TOP OF FOUNDATION WALL ELEVATION = 425.9'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

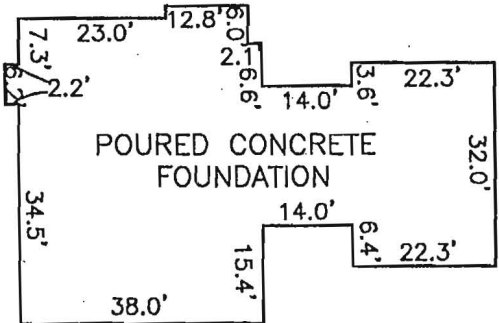
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2017 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 12/03/2015.

Donald A. Mason
DONALD A. MASON
PROFESSIONAL LAND SURVEYOR
MD REG. No. 21320
FOR BENCHMARK ENGINEERING, INC.
MD REG. No. 351
FEMA FIRM No. 24027C0140D
ZONE: X
DATED: 11/06/2013



8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
ELLCOTT CITY, MARYLAND 21043
phone: 410-465-6105 ▲ fax: 410-465-6644
www.bei-civilengineering.com



FOUNDATION DETAIL
SCALE: 1" = 30'

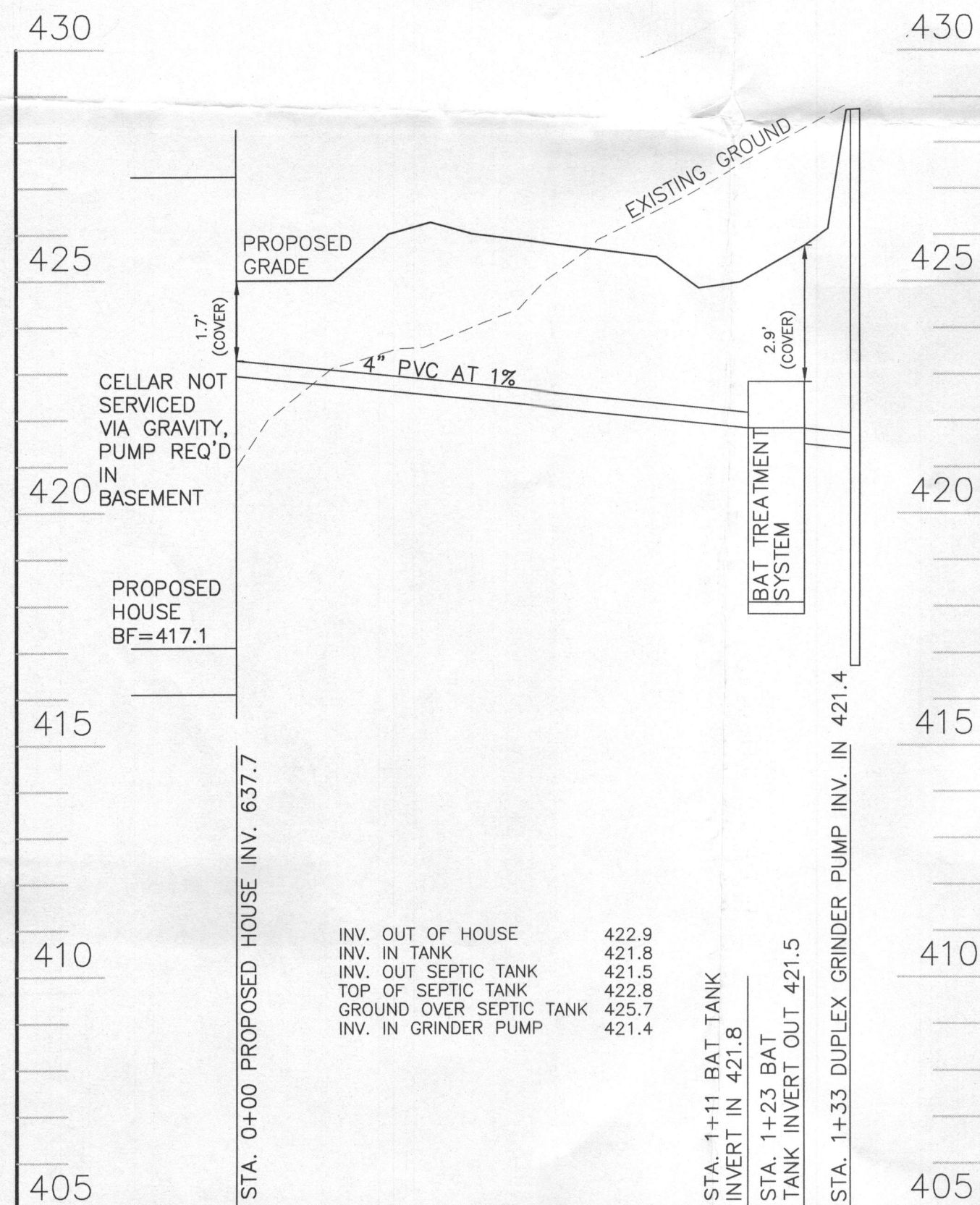
WALL CHECK
REGAN PROPERTY
LOTS 2 THRU 23
PLAT No. 23065
LOT No. 15

12214 PLEASANT SPRING COURT

FIFTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: 12/03/2015

FIELD OBS. BY
COMP. BY
DRAWN BY

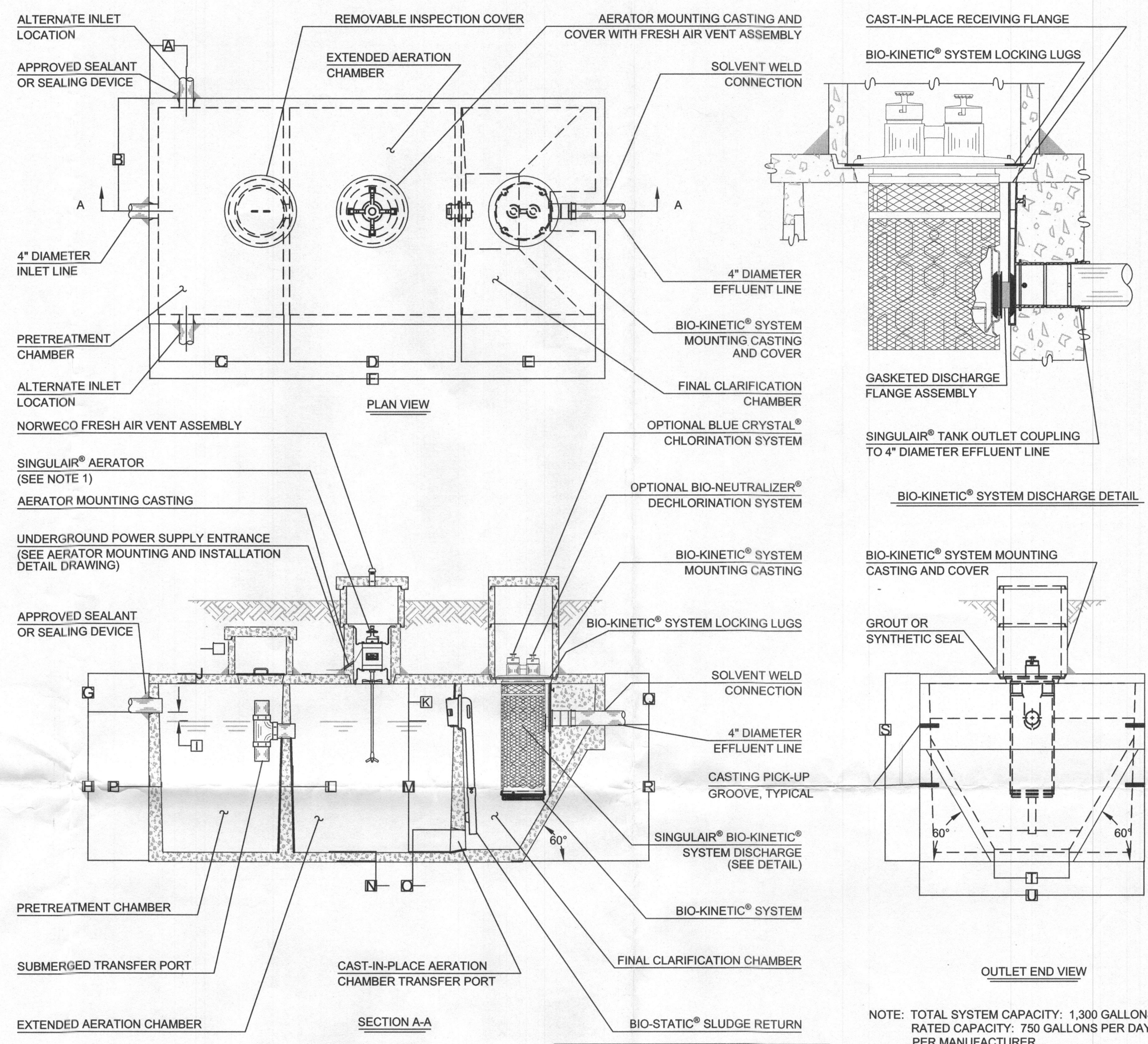
Approved Septic System Plan
 Howard County Health Department
Dana Bevard 11-12-15
 Signature Date
 B 15004197



- GENERAL NOTES:**
- SINGULAIR® AERATOR, AS TESTED AND ACCEPTED BY NSF, OPERATING 60 MINUTES ON / 60 MINUTES OFF.
 - FALL THROUGH SINGULAIR® PLANT FROM INLET INVERT TO OUTLET INVERT IS FOUR INCHES. INLET INVERT IS TWELVE INCHES BELOW TANK TOP.
 - ON DEEPER INSTALLATIONS, PRECAST RISERS MUST BE USED TO EXTEND AERATOR MOUNTING CASTING AND BIO-KINETIC® SYSTEM MOUNTING CASTING TO GRADE.
 - TANK REINFORCED PER ACI STD. 318-05.
 - REMOVABLE COVERS ON RISERS WEIGH IN EXCESS OF SEVENTY-FIVE POUNDS EACH TO PREVENT UNAUTHORIZED ACCESS.
 - CONTACT THE LOCAL, LICENSED SINGULAIR® DISTRIBUTOR FOR ELECTRICAL REQUIREMENTS.

CRITICAL DIMENSIONS			
A	1'-0"	N	0'-3"
B	3'-0"	O	0'-6"
C	3'-4"	P	0'-3"
D	4'-5"	Q	1'-4"
E	3'-7"	R	3'-8"
F	12'-2"	S	5'-0"
G	1'-0"	T	2'-0"
H	4'-0"	U	6'-0"
I	0'-3"	V	
J	0'-3"	W	
K	1'-0"	X	
L	0'-2"	Y	
M	3'-6"	Z	

U.S. AND FOREIGN PATENTS PENDING	norweco	3-26-07	REVISED BY B
	LOW-PROFILE SINGULAIR® BIO-KINETIC® WASTEWATER TREATMENT SYSTEM MODEL TMTLP-600 GPD	DESIGNED BY BDS	
		APPROVED BY JMM	
		DATE 10-16-06	
		SCALE NTS	
		PC-5-7091	



- Required BAT Site Plan Notes**
- Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
 - The maximum depth of the BAT shall be per the manufacturer's specification, 3.0'.
 - The blower may not be located further from the tank than the manufacturer's specifications, 75'.
 - The BAT system shall be maintained and operated for the life of the system.
 - The BAT shall be operated by and maintained by a certified service provider.
 - Within one month of installation, a person installing the BAT system shall report to the Maryland Department of the Environment (MDE) in a manner acceptable to MDE, the address and date of completion of the BAT installation and the type of BAT installed.
 - Electrical work for the BAT installation must be performed by a licensed electrician.
 - An agreement and Easement must be completed and signed by all applicable parties, and recorded in Land Records of Howard County.
 - The Health Department requires documentation for the start-up certification from the manufacturer prior to final approval of the installation.

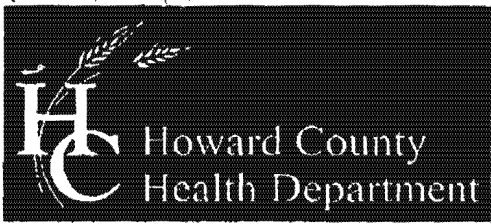
THE BAT TANK FOR THIS LOT IS PUBLIC, SEE CONTRACT DRAWINGS 50-47427-D FOR INFORMATION.

BENCHMARK ENGINEERING, INC.
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 ▲ FAX: 410-465-6644
 BEI@BEI-CIVILENGINEERING.COM

SIGNATURE AND SEAL ARE FOR PROFILE ONLY:
 Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2016.

u/s/15

OWNER/BUILDER: MB HIGHLAND RESERVE, LLC 1686 EAST GUDE DRIVE ROCKVILLE, MD 20850 301-762-9511	PROJECT: REGAN PROPERTY LOT 15
LOCATION: 12214 PLEASANT SPRINGS COURT HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND TAX ID NUMBER:	TITLE: BAT NOTES AND DETAILS
HOUSE TYPE: HAWTHORNE-ELEVATION 'A'	DATE: OCTOBER, 2015 PROJECT NO. 2171
DESIGN: JMC DRAFT: JMC	SCALE: AS NOTED DRAWING 2 OF 2



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Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

OPERATION AND MAINTENANCE AGREEMENT
FOR A SEWAGE DISPOSAL SYSTEM
HAVING AN ADVANCED PRE-TREATMENT SYSTEM

THIS AGREEMENT is made this 8th day of October 2015, among MB Highland Reserve LLC, hereinafter collectively referred to as "Owner", MB Highland Reserve LLC, hereinafter collectively referred to as "Operator", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner of a parcel of land located at 12214 Pleasant Springs Ct., in the 5th Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber 15533 Folio 484.

WHEREAS, Operator is the owner and operator of a shared sewage disposal system serving lots 12-17 of the Regan Property subdivision and the Operator is responsible for operating and maintaining the system until such time that the subdivision is substantially developed and Howard County Department of Public Works accepts ownership and responsibility for the operation and maintenance of the system as described in the developer's agreement for the subdivision. The shared sewage disposal system drainfield is located on a parcel of land owned by Howard County Department of Public Works located at 12351 Point Ridge Drive, in the 5th Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber 15918 Folio 00156.

WHEREAS, The system is equipped with advanced pre-treatment tanks, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013. The tanks are located within a utility easement on the individual lots served by the system.

WHEREAS, The pre-treatment device being installed on Lot 15 located at 12214 Pleasant Springs Ct. is Norweco Model #TNTLP-600 GPD.

NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner hereby grants to the County the right to enter upon the Lot at any reasonable time with prior notice for access to the system to make periodic inspections and the Operator agrees to provide information and data in Operator's possession reasonably requested and needed by the County.
B. Owner and Operator acknowledge and agree that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.
C. The Operator will devote reasonable care and effort to the operation and maintenance of the system until ownership and operation is transferred to Howard County Department of Public Works as stated in

LR - Agreement Recording Fee 20.00
Grantor/Grantee Name:
Howard County
Reference/Control #:
LR - Agreement Surcharge 40.00
Subtotal: 60.00
Total: 396.00
10/30/2015 12:03
CC13-NN
#5085927 CC0503 -
Howard Co
Columbia/CC05.03.02
Register 02

Handwritten notes: 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

000083
JW 8/8/2014

the developer's agreement for the subdivision so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.

D. The Operator agrees to enter into a contract with a private entity to operate and maintain the system on a regularly scheduled basis according to the requirements set forth in the Code of Maryland Regulations 26.04.02.07. The Operator shall supply a copy of the contract to the County when it is renewed or altered.

E. This agreement shall run with the land and upon Owner's taking title to the Lot shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Lot that the system shall require maintenance or other attention. Upon taking title to the Lot, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement contains the entire agreement and understanding between the County, the Owner, and the Operator. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

H. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

I. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

Bert Nixon 10/8/2015

Bert Nixon
Director, Bureau of Environmental Health
Howard County Health Department
MB Highland Reserve LLC

MB Highland Reserve LLC

Martin J. Mitchell 10/5/15
Owner Signature Date

Martin J. Mitchell 10/5/15
Operator Signature Date

Martin J. Mitchell
Owner Print Name

Martin J. Mitchell
Operator Print Name

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office Only
 (Type or Print in Black Ink Only - All Copies Must Be Legible)

Type(s) of Instruments	<input type="checkbox"/> Deed	<input type="checkbox"/> Mortgage	<input checked="" type="checkbox"/> Maintenance Agreement	<input checked="" type="checkbox"/> Maintenance Agreement
Conveyance Type	<input type="checkbox"/> Deed of Trust	<input type="checkbox"/> Lease	<input type="checkbox"/> Unimproved Sale	<input type="checkbox"/> Not an Arms-Length Sale
Check Box	Arms-Length (1)	Arms-Length (2)	Arms-Length (3)	Length Sale (9)

Tax Exemptions (If Applicable)	Recordation
Cite or Explain Authority	State Transfer

Space Reserved for Circuit Court Clerk Recording Violation

Consideration and Tax Calculations	Consideration Amount	Finance Office Use Only
	Purchase Price/Consideration	Transfer and Recordation Tax Consideration
	Any New Mortgage	Transfer Tax Consideration \$
	Balance of Existing Mortgage	X () % = \$
	Other Assessed Value	Less Exemption Amount - \$
	Other	Total Transfer Tax = \$
	Recordation Tax Consideration \$	
	X () % = \$	
	TOTAL DUE \$	

Fees	Amount of Fees	Doc. Fee	Doc. Fee	Doc. Fee
	Recording Charge	20.00	20.00	
	Surcharge	40.00	40.00	
	State Recordation Tax			Tax Bill:
	State Transfer Tax			C.B. Credit:
	County Transfer Tax (If Applicable)			
	Other -			Ag. Tax/Other:

Description of Property	Property Tax ID No. (1)	Grantor/Libero/Folio	Map No.	Parcel No.	Assessed Value
	Subdivision Name	Lot (a)	Block (b)	Sec./AR (c)	Plat Ref. (d)
	Location/Address of Property Being Conveyed (2)				

SDAT requires submission of all applicable information. A Maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).	Other Property Identifiers (if applicable)		Water Meter Account No.
	<input checked="" type="checkbox"/> Residential or <input type="checkbox"/> Non Residential	Fee Simple <input type="checkbox"/> or Ground Rent Amount:	
	Partial Conveyance? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Description/Amt. Of Sq. Ft./Acreage	
	If Partial Conveyance, List Improvements Conveyed:		

Transferred From	Doc. 1 Grantor(s) Name(s)	Doc. 2 Grantor(s) Name(s)
	MB Highland Reserve LLC	MB Highland Reserve LLC
	Doc. 1 Owner(s) of Record (if Different from Grantor(s))	Doc. 2 Owner(s) of Record (if Different from Grantor(s))

Transferred To	Doc. 1 Grantee(s) Name(s)	Doc. 2 Grantee(s) Name(s)
	Howard County Health Department	Howard County Health Department
	New Owner(s) (Grantee) Mailing Address	

Other Names to be Indexed	Doc. 1 - Additional Name(s) to be Indexed (Optional)	Doc. 2 - Additional Name(s) to be Indexed (Optional)

Contact/Mail Information	Instrument Submitted By or Contact Person	<input checked="" type="checkbox"/> Return to Contact Person
	Name: Heidi Murphy	<input type="checkbox"/> Hold for Pickup
	Firm: Residential Title & Escrow Co.	<input type="checkbox"/> Return Address Provided
	Address: 100 Painters Mill Road, Suite 200, Owings Mills, MD 21117	
	Phone: 410-653-3400	

Space Reserved for County Validation

Assessment Information	<input checked="" type="checkbox"/> No	Will the property being conveyed be the grantee's principal residence?
	<input type="checkbox"/> Yes	Does transfer include personal property? If yes, identify:
	<input type="checkbox"/> Yes	Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).

Assessment Fee Only: Do Not Write Below This Line

Transfer Number	Date Received	Doc. Reference	Assessed Property No.
Year	Year	Geo. Loc.	Block
Land	Use	Parcel	Section
Buildings	Use	Parcel	Section
Total	Town/Co.	EX-STR.	EX-OD.

REMARKS:

Distribution	Clerk's Office
	SDAT
	Office of Finance
	Prepare



Circuit Court for Howard County
Land Records/License Department
Thomas B. Dorsey Bldg.
9250 Bendix Road
Columbia, MD 21045
410.313.5850

www.mdcourts.gov/clerks/howard/index.html

Wayne A. Robey, Clerk

STATE OF MARYLAND, HOWARD COUNTY, TO WIT:

I HEREBY CERTIFY that the foregoing is a true copy of the original OPERATION AND MAINTENANCE AGREEMENT in Liber WAR 16520 Folio 431, recorded among the Land Records of Howard County, Maryland.

IN TESTIMONY WHEREOF, I hereto set my hand and affix the seal of the Circuit Court for Howard County this 2nd day of NOVEMBER, 2015.

Wayne A. Robey

Clerk of the Circuit Court of Howard County, Maryland