



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/15/15

Permit No.: B15004497

Building Address: 12214 Pleasant Springs Ct.
City: Fulton State: MD Zip Code: 20759
Suite/Apt. # SDP/WP/BA #:
Census Tract: Subdivision: Highland Reserve aka Regan Property
Section: Area: Lot: 15
Tax Map: 34 Parcel: 200 Grid: 24
Zoning: RR-DEO Map Coordinates: Lot Size: 40,028 sf
Existing Use: Vacant
Proposed Use: Single Family Dwelling
Estimated Construction Cost: \$ 359,417
Description of Work: Hawthorne - A Elevation - Finished Basement w/ Walkout 3 car garage - 2' front ext. - 4' family room ext. - 9R, 3fb,1hb, fp
Seeking Silver Level Certification of the NGBS-3rd party verification by Pando Alliance
Occupant or Tenant:
Was tenant space previously occupied? Yes No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Property Owner's Name: MB Highland Reserve
Address: 1686 E. Gude Drive
City: Rockville State: MD Zip Code: 20850
Phone: Fax:
Email:
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Marc Quint - MB Highland Reserve LLC
Address: 1686 E. Gude Drive
City: Rockville State: MD Zip Code: 20850
Phone: 301-762-9511 Fax: 301-610-9564
Email: MQuint@mitchellbest.com
Contractor Company: MB Highland Reserve LLC
Contact Person: Marc Quint
Address: 1686 E. Gude Drive
City: Rockville State: MD Zip Code: 20850
License No.: 7316
Phone: 301-762-9511 ext. 318 Fax:
Email: MQuint@mitchellbest.com
Engineer/Architect Company:
Responsible Design Prof.:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Table with 2 columns: Commercial Building Characteristics and Residential Building Characteristics. Includes fields for Height, No. of stories, Gross area, Area of construction, Use group, Construction type, and various structural options.

Table with 2 columns: Utilities and Grading/Shell Permits. Includes sections for Water Supply, Sewage Disposal, Heating System, and Sprinkler System.

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Marc Quint
Print Name
10/15/2015
Date
MQuint@mitchellbest.com
Email Address
Operations Mgr., Mitchell & Best Homes LLC
Title/Company

RECEIVED
OCT 15 2015
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

Table with 3 columns: AGENCY, DATE, SIGNATURE OF APPROVAL. Includes rows for State Highways, Building Officials, PSZA (Zoning), PSZA (Engineering), and Health.

Table for DPZ SETBACK INFORMATION with fields for Front, Rear, Side, Side St., All minimum setbacks met?, Is Entrance Permit Required?, Historic District?, Lot Coverage for New Town Zone, and SDP/Red-line approval date.

Table for Filing Fee with fields for Permit Fee, Tech Fee, Excise Tax, PSFS, Guaranty Fund, Add'l per Fee, Total Fees, Sub- Total Paid, Balance Due, and Check #.

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

BUILDING PERMIT PLAN NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR REGAN PROPERTY, PLAT Nos. 23063-23074. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN AND MODIFIED FOR THIS SPECIFIC HOUSE.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JANUARY, 2012.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-14-0007, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED TO BE PROVIDED BY BOTH MICRO-BIORETENTION FACILITY (MDE M-6) AND ROOF-TOP DISCONNECTION (MDE N-1).
10. NO DRIVEWAY CULVERT IS REQUIRED FOR THIS LOT.
11. MICRO-BIORETENTION FACILITIES SHOULD HAVE EITHER 4" OR 6" ROOF LEADERS DEPENDING ON THE SIZE OF THE ROOFTOP AREA.

LEGEND

SOILS CLASSIFICATION *ChB2*

SOILS DELINEATION

EXISTING CONTOURS 480
478

PROPOSED CONTOURS 999

LIMIT OF WETLANDS

25' WETLANDS BUFFER CENTERLINE OF STREAM

STREAM BUFFER

EXISTING WOODS LINE

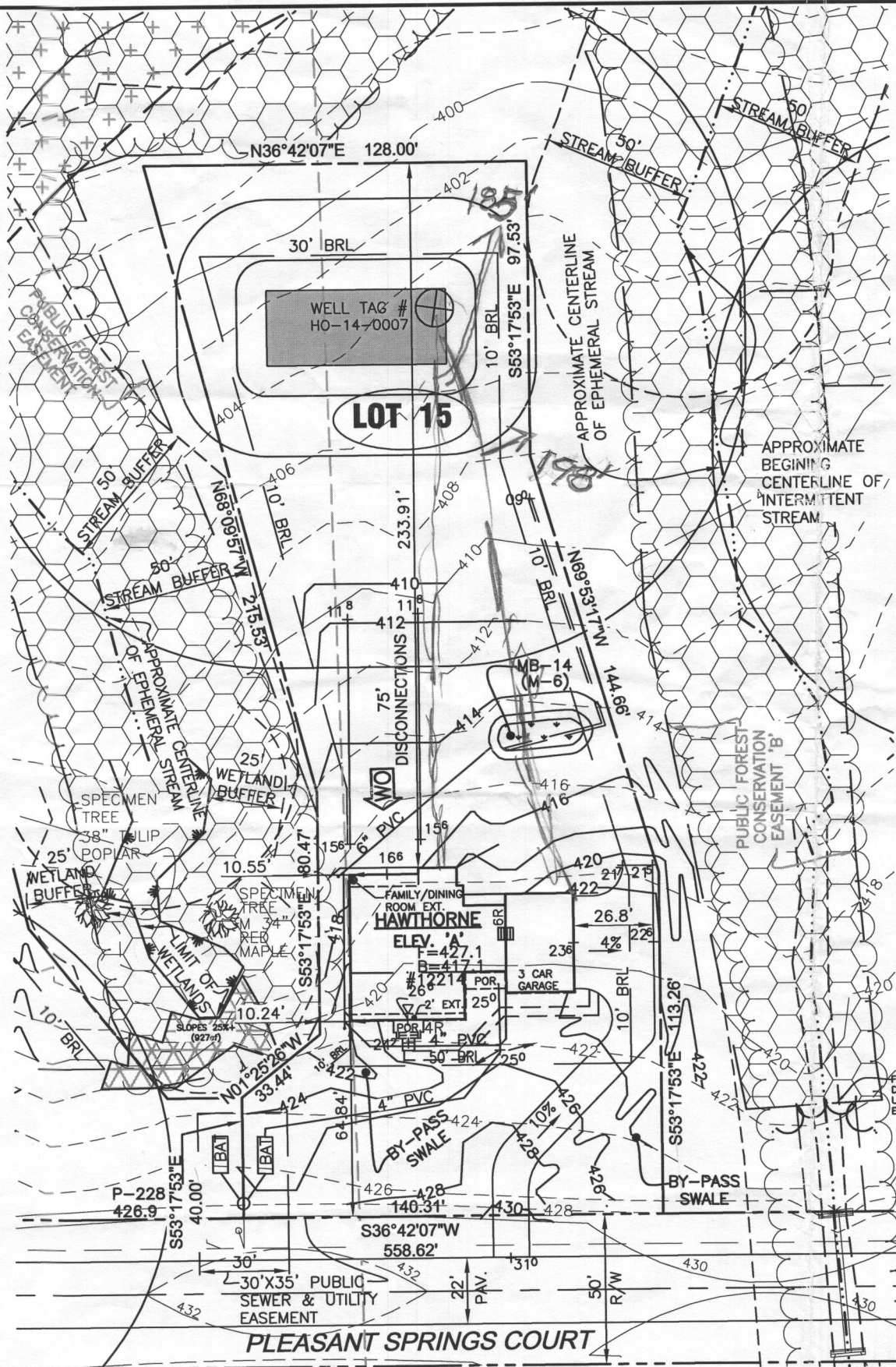
PROPOSED WOODS LINE

PROPOSED STRUCTURE

FOREST CONSERVATION EASEMENT

PRIVATE WELL AREA

STORMWATER MANAGEMENT AREA



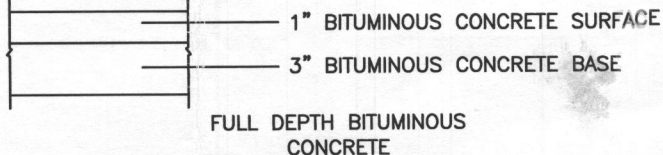
PLAN VIEW

1" = 50'

PAVING SECTION

NOT TO SCALE

MAP SYMBOL	SOIL GROUP	SOIL TYPE
Gbc	B	GLADSTONE LOAM, 8 TO 15 PERCENT SLOPES
Ma	B	MANOR LOAM, 15 TO 25 PERCENT SLOPES
FROM NRCS WEB SOIL SURVEY 2.0, PAGE 16, CLARKSVILLE NW		



Approved Septic System Plan
 Howard County Health Department
Bernard 11-12-15
 Signature Date
 B15004497

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 ▲ FAX: 410-465-6644
 BEI@BEI-CIVILENGINEERING.COM

OWNER/BUILDER:	PROJECT:	
MB HIGHLAND RESERVE, LLC 1686 EAST GUDE DRIVE ROCKVILLE, MD 20850 301-762-9511	REGAN PROPERTY LOT 15	
	LOCATION:	12214 PLEASANT SPRINGS COURT HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
	TITLE:	BAT SITE PLAN
	HOUSE TYPE:	HAWTHORNE-ELEVATION 'A'
DESIGN: JMC	DATE: OCTOBER, 2015	PROJECT NO. 2171
DRAFT: JMC	SCALE: 1" = 50'	DRAWING 1 OF 2



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B160000660

Building Address: 12214 Pleasant Springs Ct
 City: Beltsville State: MD Zip Code: 20857
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: 25
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
 Proposed Use: Home
 Estimated Construction Cost: \$ 5000
 Description of Work: Setting 1000 sq ft up tank for new home heat propane
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Ken Smith
 Address: 2601 FSC Hwy
 City: Beltsville State: MD Zip Code: 20857
 Phone: 410-217-4511 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Ken Smith
 Address: 2601 FSC Hwy
 City: Beltsville State: MD Zip Code: 20857
 Phone: 410-217-4511 Fax: _____
 Email: _____

Contractor Company: Ferrall Gas
 Contact Person: Ken Smith
 Address: 2601 FSC Hwy
 City: Beltsville State: MD Zip Code: 20857
 License No.: 61543
 Phone: 410-217-4511 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input checked="" type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities

Water Supply

Public
 Private

Sewage Disposal

Public
 Private

Electric: Yes No
 Gas: Yes No

Heating System

Electric Oil
 Natural Gas Propane Gas
 Other:

Sprinkler System:

Yes No

Grading Permit Number: _____

Building Shell Permit Number: 23 2016

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Applicant's Signature: Ken Smith Print Name: Ken Smith
 Email Address: KenSmith@ferrallgas.com Date: 2/23/16
 Title/Company: Operations Manager / Ferrall Gas

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

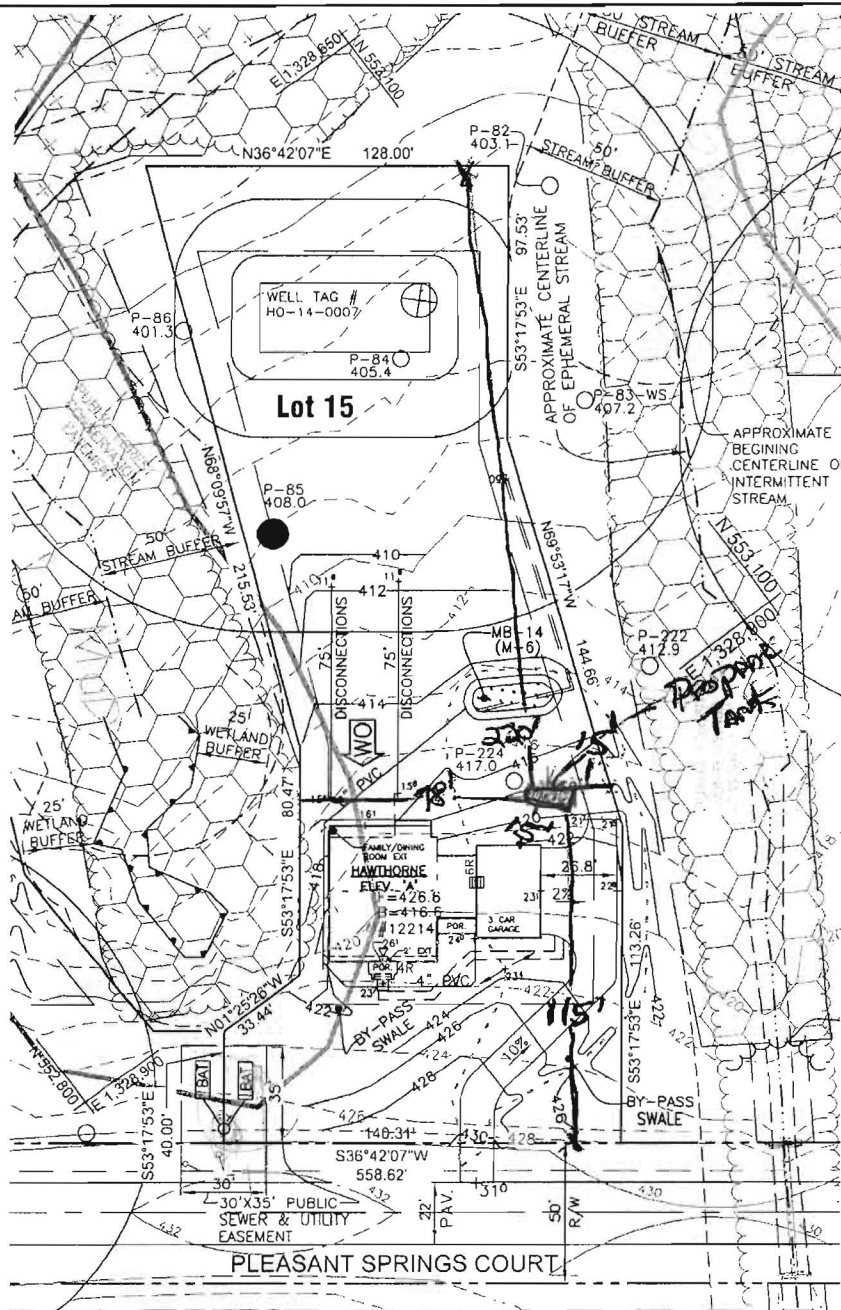
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State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/2/16</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
 Rear: _____
 Side: _____
 Side St.: _____
 All minimum setbacks met? Yes No
 Is Entrance Permit Required? Yes No
 Historic District? Yes No
 Lot Coverage for New Town Zone: _____
 SDP/Red-line approval date: _____

Filing Fee	\$ <u>110.00</u>
Permit Fee	\$ _____
Tech Fee	\$ _____
Excise Tax	\$ _____
PSFS	\$ _____
Guaranty Fund	\$ _____
Add'l per Fee	\$ _____
Total Fees	\$ _____
Sub-Total Paid	\$ _____
Balance Due	\$ _____
Check	# <u>110</u>



BENCHMARK
 ENGINEERS • LAND SURVEYORS • PLANNERS
 ENGINEERING, INC.

REGAN PROPERTY
 PRELIMINARY SITING LOT 15

FIFTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: 0930-15

I:\2171 Regan Property\dwg\8072.dwg, 10/17/2015 3:34:11 PM, P:\C\creator.plt

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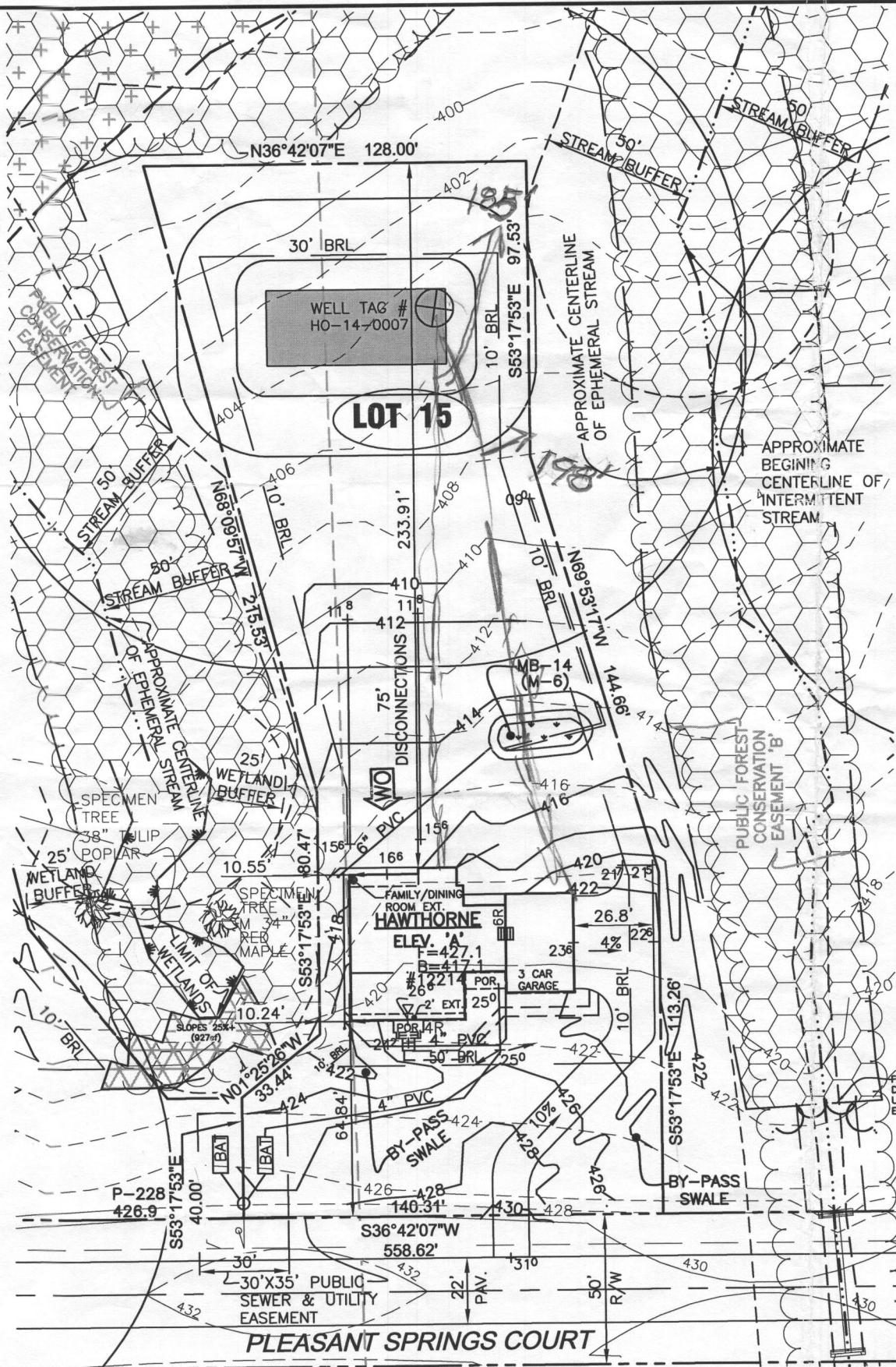
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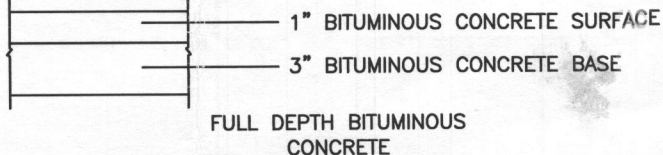
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FROM NRCS WEB SOIL SURVEY 2.0, PAGE 16, CLARKSVILLE NW		



Approved Septic System Plan
 Howard County Health Department
Benchmark 11-12-15
 Signature Date
 B15004497

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 ▲ FAX: 410-465-6644
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Resam Lot 715

I. General Requirements

- The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions approved by the Architect.
- Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing of any discrepancies before proceeding with the work or shall be responsible for same.
- Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- AIA General Conditions of the Contract for Construction are a part of this project.
- All construction is to be in compliance with the following code: International Residential Code For One & Two Family Dwellings, 2012 Edition (As Amended by Montgomery and Howard County, MD)
- This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- Use of these documents without written permission of the Architect is forbidden.
- Copyright 2013 Sutton Yantis Associates Architects, P.C.
- Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "set of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others shall be indicated in writing to Architect immediately.
- Contractor shall be responsible for all noise attenuation requirements.

II. Structural Specifications

A. General Requirements

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
- These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.
- Soil conditions shall conform to the following conditions:
Bearing capacity: Min. 2000psf, field verify, under all footings and slab.
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings. Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 psf. If backfill pressures exceed 30 psf then foundation walls must be designed for actual equivalent fluid pressure.
- All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

B. Concrete

- All concrete shall attain the following 28 day compressive strengths:
-Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi
-All other slabs on grade (including garage slabs) . . . 3500 psi.
- Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.
- Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
- Maximum slump 5".
- All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
- All concrete work shall be in accordance with ACI 318.

C. Steel

- All structural steel specified in these documents shall conform to ASTM A-36.
- Steel pipe shall conform to ASTM A-53.
- All welds shall comply with AWS standards.
- All bolts in bolted steel connections shall conform to ASTM A-325.
- All required steel anchor bolts, anchors straps, nails, caps, joint hangers shall be constructed of code approved galvanized or stainless steel. All metal nails, hangers, straps & bolts that are in direct contact with pressure treated lumber shall be fabricated from stainless steel or other non-corrosive metal approved by the Building Official.
- All connections shall conform to AISC standards.
- Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 5". There shall be a bolt top and bottom 8" from each end.

III. STRUCTURAL SPECIFICATIONS (continued)

D. Wood

- All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by MFCMA, unless noted. All wood shall comply to the following minimum specifications:

#2 Hem Fir, 19% M.C.	
F _b min:	980 psi repetitive use 850 psi single member use
E min:	1,300,000 psi
F _v min:	75 psi
F _c min:	1,250 psi
F _{c1} min:	405 psi

#2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)	
F _b min:	1,005 psi repetitive use 875 psi single member use
E min:	1,400,000 psi
F _v min:	70 psi
F _c min:	1,100 psi
F _{c1} min:	425 psi

#2 Southern Pine, 19% M.C. (#2 S.Y.P.)	
F _b min:	1,120 psi repetitive use 975 psi single use
E min:	1,600,000 psi
F _v min:	90 psi
F _c min:	1,450 psi
F _{c1} min:	565 psi

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to .40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

MICRO-1AM

F _b min:	2,600 psi
E min:	1,900,000 psi
F _v min:	285 psi
F _c min:	2,310 psi
F _{c1} min:	750 psi

All studs & wall plates in bearing walls shall conform to the following minimum specifications:

Stud Grade Spruce Pine Fir 19% M.C.	
F _b min:	775 psi repetitive use 675 psi single use
E min:	1,200,000 psi
F _v min:	70 psi
F _c min:	675 psi
F _{c1} min:	425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TPI) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI "Building Component Safety Information (BCSI) Guide to Good Practices for Handling, Installing, Restraint, and Bracing of Metal Plate Connected Wood Trusses." Roof trusses and all bridging and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.
- All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter anchor bolts min. 7" into poured in place concrete and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6'-0" on center for one and two story buildings and 4'-0" on center for buildings more than two stories in height or as required per local code. Anchor straps may be used as a substitute and shall be installed per manufacturer's specifications.
- All exterior wood framework supported on approved foundation walls shall be minimum 8" above finish grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other code approved structural method.
- Provide continuous double top plate at all bearing stud walls.
- Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed 8'-0".
- All structural wood posts under beams and headers over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing partitions shall be 2x4 studs at 16" o.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist.
- All framing shall be detailed and installed in accordance with AF&PA Details for Conventional Wood Frame Construction
- All ceramic tile shall be installed per Tile Council of North America as specified in the Handbook for Ceramic Tile Installation. Contractor is responsible for providing sufficient movement joints, as per Tile Council of North America specifications, for all floor tile. Movement joint locations and details are not a part of these documents.
- Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
- All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel bearing.

IV. STRUCTURAL SPECIFICATIONS (continued)

- Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be installed in accordance with NDS by MFCMA, unless noted.
- All plywood roof, floor and wall sheathing shall be APA approved.

E. Masonry

- Materials**
Mortar: Type "S" ASTM C270
Hollow CMU: ASTM C-90
Face Brick: ASTM C-216
Grout Aggregate: ASTM C-404
- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
- Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistant corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
- Provide horizontal joint reinforcement (Durowall) in all masonry walls @ 8" o.c. unless otherwise specified.
- The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- All masonry work shall conform to the applicable requirements of BIA and NCMA.

V. Doors and Windows

- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating scale in feet and inches (i.e., 2856 DH denotes a 2'-8" wide by 5'-6" tall soah opening double hung window). Contractor shall verify that windows and doors (including overhead doors) to be installed comply with local code standards for egress, light, and ventilation, as defined by local code, shall be safety glazing and shall be provided with a visible manufacturer's label, designating the safety standard with which it complies.

VI. Thermal and Moisture Protection

- Blank
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Damproof all exterior foundation walls enclosing basements and crawl spaces with dampproofing as specified by code at exterior face of wall.
- Flashing: Code approved corrosion resistive flashing shall be provided at all locations required by code in such a manner as to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Similar flashing shall be installed at hazardous locations, such as chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings; under and at the ends of masonry wall or metal copings and sills; continuously above all projecting wood trim of wall and roof intersections under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings. All windows and doors shall be flashed in accordance with the manufacturers written instructions.
- Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer. Approved water resistant sheathing may be substituted for building paper.

VII. Other

- In locations required by local code, window opening limiting devices are to be installed by window manufacturer in compliance with code section R312.2.2.
- Residential Energy Efficiency compliance is per the Total UA Alternative Method per REScheck Compliance Certificate and to "N" sheets (Energy Plans) for additional information.
- NOTE: Structural Design is for Gravity Loads ONLY. Structural Engineering for Lateral Load Design requirements specified per Building Code is NOT included in these documents and shall be provided by others.
- Whole house ventilation system to be installed (by others).

Symbols

	Duplex Outlet		One Way Switch		Cont. Running Mech Fan
	Duplex Outlet, Weather Proof on GF circuit		Three Way Switch		Four Way Switch
	Duplex Outlet, Floor Mounted		Switch w/ Rheostat		Smoke Detector
	Range Outlet		Chime		Bathroom Exhaust Fan
	Gas Outlet		Television Outlet		Telephone Outlet
	Ceiling Mounted Incandescent		Medicine Cabinet		Frost Proof Hose Bib
	Junction Box		Recessed Waterproof Light		Dedicated Circuit Outlet
	Eyeball Light		Steel Angle (Lintel)		Structural Post
	Wall Washer Light (Recessed)		Smoke/Carbon Monoxide Detector		Fan/Light
	Recessed Light				
	2x Fluorescent Light				
	4x Fluorescent Light				
	Exterior Flood Lights				
	Wall Mounted Incandescent				
	Pull Switch Light				

List of Abbreviations

ADJ. Adjustable	MC Medicine Cabinet
A.S.F. Above Subfloor	MANUFACT. Manufacturing
BF. Below	O.A. Overall
BL. Beam	O.C. On Center
B.O.J. Bottom of Joist	OPT. Optional
B.W.L. Braced Wall Line	PART. Partial
CLG. Ceiling	PLYWD. Plywood
CMU. Concrete Masonry Unit	P.T. Pressure Treated
C.O. Cased Opening	R/A. Return Air
COL. Column	R/C. Rough Cut
CONC. Concrete	REF. Refrigerator
CONT. Continuous	R/O. Range Oven
CS. Coarment	SF. Square Feet
CVAC. Central Vacuum	SHWR. Shower
DBL. Double	SM. Similar
DES. Design	S.L. Sliding Door/Window
DH. Double Hung	STD. Standard
DTL. Detail	STL. Steel
DW. Dishwasher	S&P. Shelf & Pole
FD. Floor Drain/French Door	S.V.B. Solid Valley Blocking
F.P. Fireplace	T&G. Tongue & Groove
F.G. Footing	T.B.D. To Be Determined
GFI. Ground Fault Circuit Interrupter	T.O.S. Top of Slab
GPWD. Gypsum Dryw	T.O.W. Top of Wall
HD/HOHT. Window Head Height	TR. Trim
HR. Header	TY. Typical
H/W. Head/Wall/Light	V.I.F. Verify in Field
HWH. Hot Water Heater	WD. Wood
INSUL. Insulation	W/O. Wall Oven
L.F. Locate in Field	W.W.M. Welded Wire Mesh
L.T. Laundry Tub	

Area Calculations

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces

	LOWER	UPPER	BASEMENT
BASE HOUSE	1844 SF	1842 SF	102 SF
OPT. FINISH BASEMENT			+1525 SF
OPT. 2' FRONT EXTENSION	+76 SF	+76 SF	+77 SF
OPT. 8' SIDE EXTENSION	+97 SF	+97 SF	+104 SF
OPT. 3-CAR SIDELOAD GARAGE	+140 SF		
OPT. HOME OFFICE/IN-LAW SUITE W/3-CAR SIDELOAD GARAGE		+372 SF	
ALT. ELEV. C			
BONUS ROOM OVER GARAGE	+76 SF	+60 SF	+77 SF
OPT. 4'-0" FAMILY ROOM EXTENSION	+77 SF	+77 SF	+77 SF
OPT. 4'-0" FAMILY ROOM EXTENSION	+82 SF	+82 SF	+82 SF
OPT. ATTIC			+697 SF
OPT. BAY WINDOW	+16 SF		
MAX. SQ. FOOTAGE FOR BASE HOUSE W/ ALL AVAILABLE OPTIONS: 7,747 SF			

List of Drawings

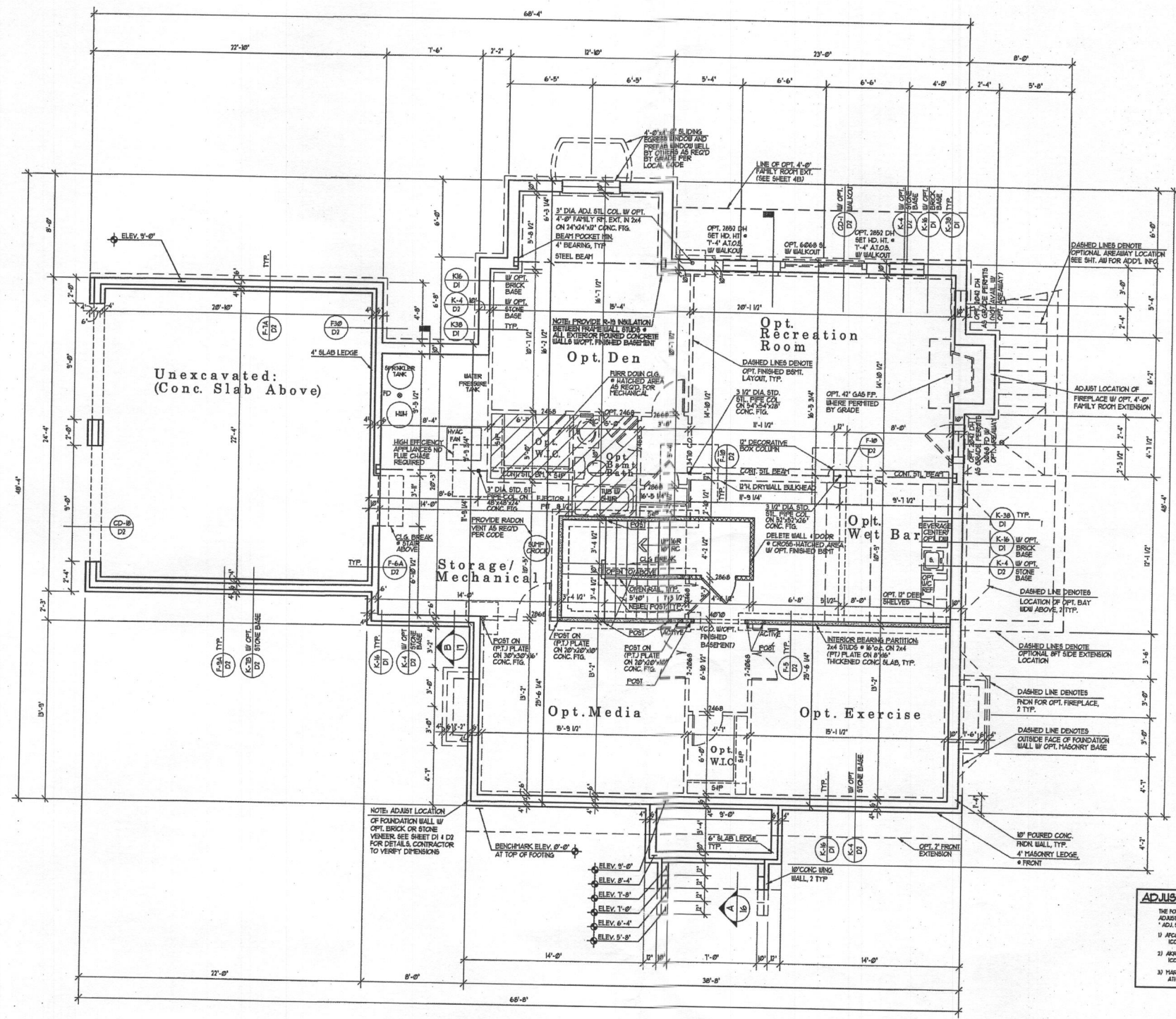
1 General Notes & Specifications	10 Prt1 Upper Floor Plan W/Alt. Elev. "A"	29 Prt1 Left & Right Side Elevations w/ Opt. Alt. Elevation "C"	E3 Upper Floor Electrical Plan
D1 Foundation/Framing Details	11 Prt1 Fndn/Bsmt Fir Pin W/Alt Elev. "A"	30 Alternate Front Elevation "B"	E3A Prt1 Upper Floor Electrical Plan
D2 Foundation/Framing Details	11A Prt1 Fndn/Bsmt Fir Pin W/Alt Elev. "A" w/ Opt. Blt Extension	31 Prt1 Left & Right Side Elevations w/ Opt. Alt. Elevation "D"	E3B Prt1 Bsmnt. Lower & Upper Floor Electrical Plans
AW Accessory Details	12 Prt1 Lower Floor Plan W/Alt. Elev. "A"	32 Prt1 Lower Floor Framing Plan	E3C Prt1 Bsmnt. Lower & Upper Floor Electrical Plans W/ Opt. 6 Ft. Extension
TR1 Trim Details	12A Prt1 Lower Floor Plan W/Alt. Elev. "C" w/ Opt. Blt Extension	33 Upper Floor Framing Plan	E4 Prt1 Bsmnt. Lower & Upper Floor Electrical Plans W/ Opt. 6 Ft. Side Extension
TR2 Trim Details	13 Prt1 Upper Floor Plan W/Alt. Elev. "A"	34 Roof Framing Plan	E5 Prt1 Bsmnt. Lower Floor Electrical Plans W/ Opt. 3 Car Side Load Garage
TR3 Trim Details	13A Prt1 Upper Floor Plan W/Alt. Elev. "C" w/ Opt. Blt Extension	34A Roof & FR Framing Pin W/ Opt. Attic	E6 Prt1 Bsmnt. Lower Floor Electrical Plans W/ Opt. 3 Car Side Load Garage
TR4 Trim Details	14 Prt1 Fndn/Bsmt & Lower Floor Plan W/Alt. Elev. "A"	35 Prt1 Lower, Upper & Roof Framing Plans W/ Opt. Blt. Side Extension	E6A Prt1 Home Office/In-Law Suite W/ Opt. Bonus Room Over Garage
TR5 Trim Details	15 Prt1 Upper Floor Plan W/Alt. Elev. "D"	36 Prt1 Lower & Roof Framing Plans w/ Opt. 3 Car Side Load Garage	E7 Prt1 Lower Floor Electrical Plans
TR6 Trim Details	16 Building Section "A"	37 Prt1 Lower, Upper & Roof Framing Plans w/ Opt. 3 Car Side Load Garage & w/ Home Office/In-Law Suite	E8 Prt1 Bsmnt & Lower Floor Electrical Plans W/Alt. Elevation "B"
TR7 Trim Details	17 Building Section "B"	38 Prt1 Roof Framing Plan W/ Opt. Rear Covered Porch & Deck Framing Plan	E9 Prt1 Upper Floor Electrical Plan W/Alt. Elevation "B"
TR8 Trim Details	18 Building Section "C" & "D"	39 Prt1 Lower Floor Framing Plan	E10 Prt1 Bsmnt Electrical Plan W/Alt. Elevation "C"
UK Deck Details	19A Truss Diagram	40 Prt1 Roof Framing Plan	E11 Prt1 Lower Floor Electrical Plan W/ Opt. Rear Covered Porch
2 Fndn/Bsmt Plan W/Elev. "A"	19B Front Elevation "A"	41 Prt1 Lower Floor Framing W/Alt. Elevation "C"	E12 Prt1 Upper Floor Electrical Plan W/Alt. Elevation "C"
3 Lower Floor Plan W/Elev. "A"	20 Rear Elevation	42 Prt1 Upper Floor Framing W/Alt. Elevation "C"	E13 Prt1 Bsmnt & Lower Floor Electrical Plan W/Alt. Elevation "B"
4 Upper Floor Plan W/Elev. "A"	21 Left Side Elevation	43 Prt1 Roof Framing Plan W/Alt. Elevation "C"	E14 Prt1 Upper Floor Electrical Plan W/Alt. Elevation "D"
4A Alt. Upper Floor w/ Opt. Attic & Opt. Blt.	22 Right Side Elevation	44 Prt1 Lower & Upper Floor Framing W/Alt. Elevation "C"	N1 Energy Plans
4B Prt1 Fndn/Bsmt, Lower & Upper Fir Pin w/ Opt. Blt Extension & Opt. 4'-0" Family Room Extension	22A Prt1 Left & Right Side Elevations w/ Opt. 4'-0" Family Room Extension	45 Prt1 Roof Framing Plan W/Alt. Elev. "D"	N2 Energy Plans
5 Prt1 Fndn/Bsmt Plan, Lower & Upper Floor Plans W/ Opt. Blt. Side Extension	23 Prt1 Front & Right Side Elevations w/ Opt. Blt. Side Extension	46 Prt1 Truss Joist Details	N3 Energy Section "A" & "B"
6 Prt1 Fndn/Bsmt & Lower Floor Plan W/ Opt. Attached 3 Car Garage	24 Prt1 Front, Rear & Left Side Elev. w/ Opt. 3 Car Side Load Garage	47 Prt1 Left & Right Side Elevations w/ Opt. Alt. Elevation "B"	
7 Prt1 Fndn/Bsmt & Lower Floor Plan W/ Opt. Attached 3 Car Garage and W/ Opt. Home Office/In-Law Suite	24A Prt1 Rear & Left Side Elevations w/ Opt. 3 Car Side Load Garage & W/ Opt. Bonus Room	48 Prt1 Left & Right Side Elevations w/ Opt. Blt. Side Extension	
7A Prt1 Fndn/Bsmt & Lower Floor Plan W/ Opt. Attached 3 Car Garage and W/ Opt. Bonus Room over Garage	25 Prt1 Rear & Right Side Elevations w/ Opt. Rear Covered Porch	49 Prt1 Left & Right Side Elevations w/ Opt. Blt. Side Extension	
8 Prt1 Fndn & Lower Floor Plan W/ Opt. Rear Covered Porch	26 Alternate Front Elevation "B"	50 Prt1 Left & Right Side Elevations w/ Opt. Blt. Side Extension	
9 Prt1 Fndn/Bsmt & Lower Floor Plan W/Alt. Elev. "B"	27 Prt1 Left & Right Side Elevations w/ Opt. Blt. Side Extension	51 Prt1 Left & Right Side Elevations w/ Opt. Blt. Side Extension	
	28 Alternate Front Elevation "C"		

Date	REV. 08/18/15
Drawn	REV. 08/18/15
Checked	REV. 08/18/15
Reviewed	REV. 08/18/15
Approved	REV. 08/18/15
Project Number	0106-01

Project Number: 0106-01
HAWTHORNE
MITCHELL BEST HOMES

Architect
SUTTON YANTIS ASSOCIATES ARCHITECTS
 8040 BROADWAY, SUITE 200
 WASHINGTON, VA 22182
 WWW.SYAS.COM
 PHONE: 703.244.9171
 FAX: 703.244.9171

Sheet Number
1



FOUNDATION/BASEMENT PLAN

W/ELEVATION "A"

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4" UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE 8'-0" AT O.S.

1/4" = 1'-0"

Date	REV.	BY	CHK.
06/20/14	01	AC	AC
06/20/14	02	AC	AC
06/20/14	03	AC	AC
06/20/14	04	AC	AC
06/20/14	05	AC	AC
06/20/14	06	AC	AC
06/20/14	07	AC	AC
06/20/14	08	AC	AC
06/20/14	09	AC	AC
06/20/14	10	AC	AC

Project Number: 0706-07

HAWTHORNE

MITCHELL BEST HOMES

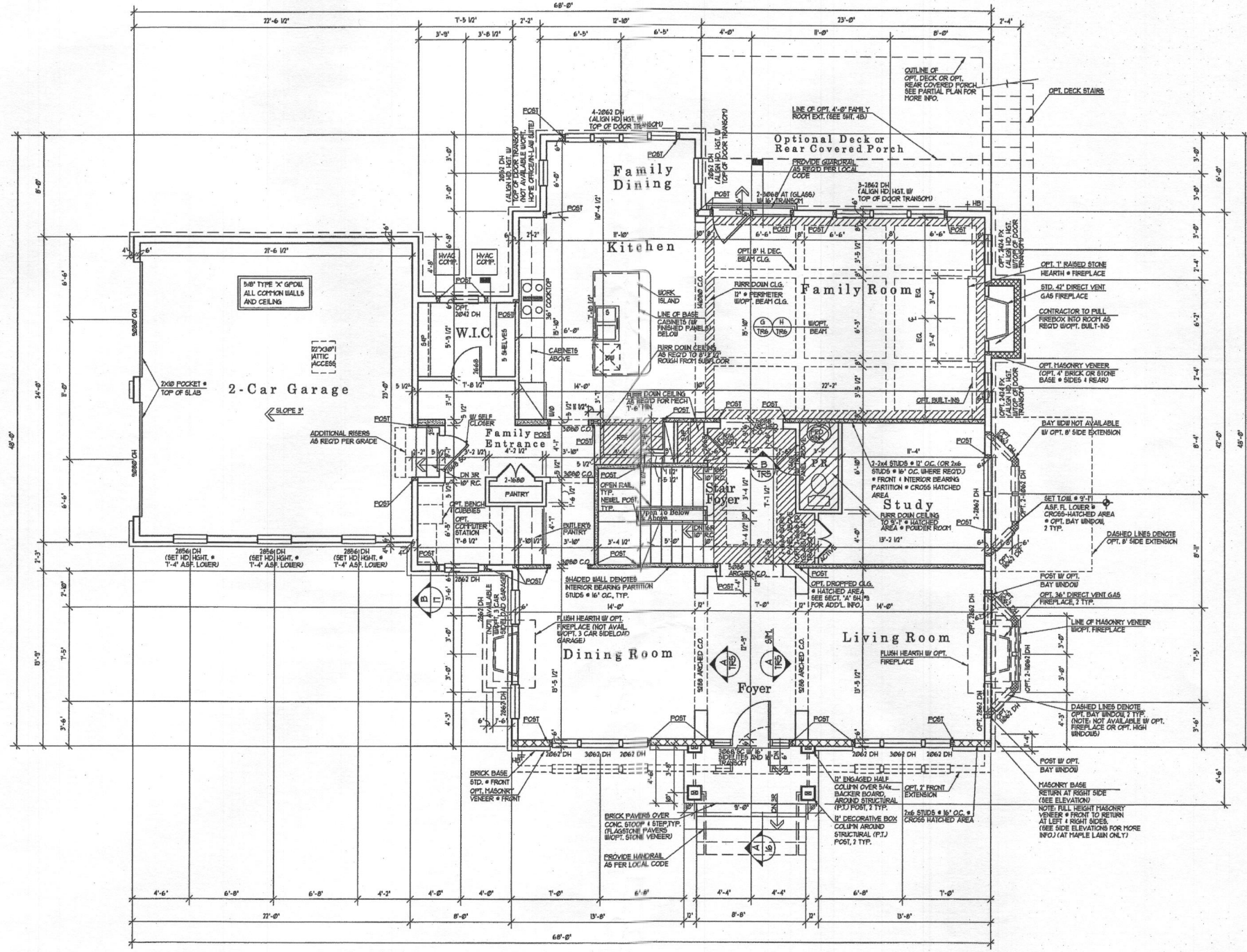
Architect

SUTTON YANTIS ASSOCIATES ARCHITECTS

6000 Boone Blvd. Tel: 703.774.8770
 Vienna, VA 22181 Fax: 703.447.9171
 www.syaia.com

Sheet Number

2



LOWER FLOOR PLAN
 W/ELEVATION "A"
 1/4" = 1'-0"

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"
 UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE 8'-0" ASIF
 UNLESS OTHERWISE NOTED PROVIDE 3/4" POSTS BETWEEN ALL 1/2" TRIPLE WINDOWS.

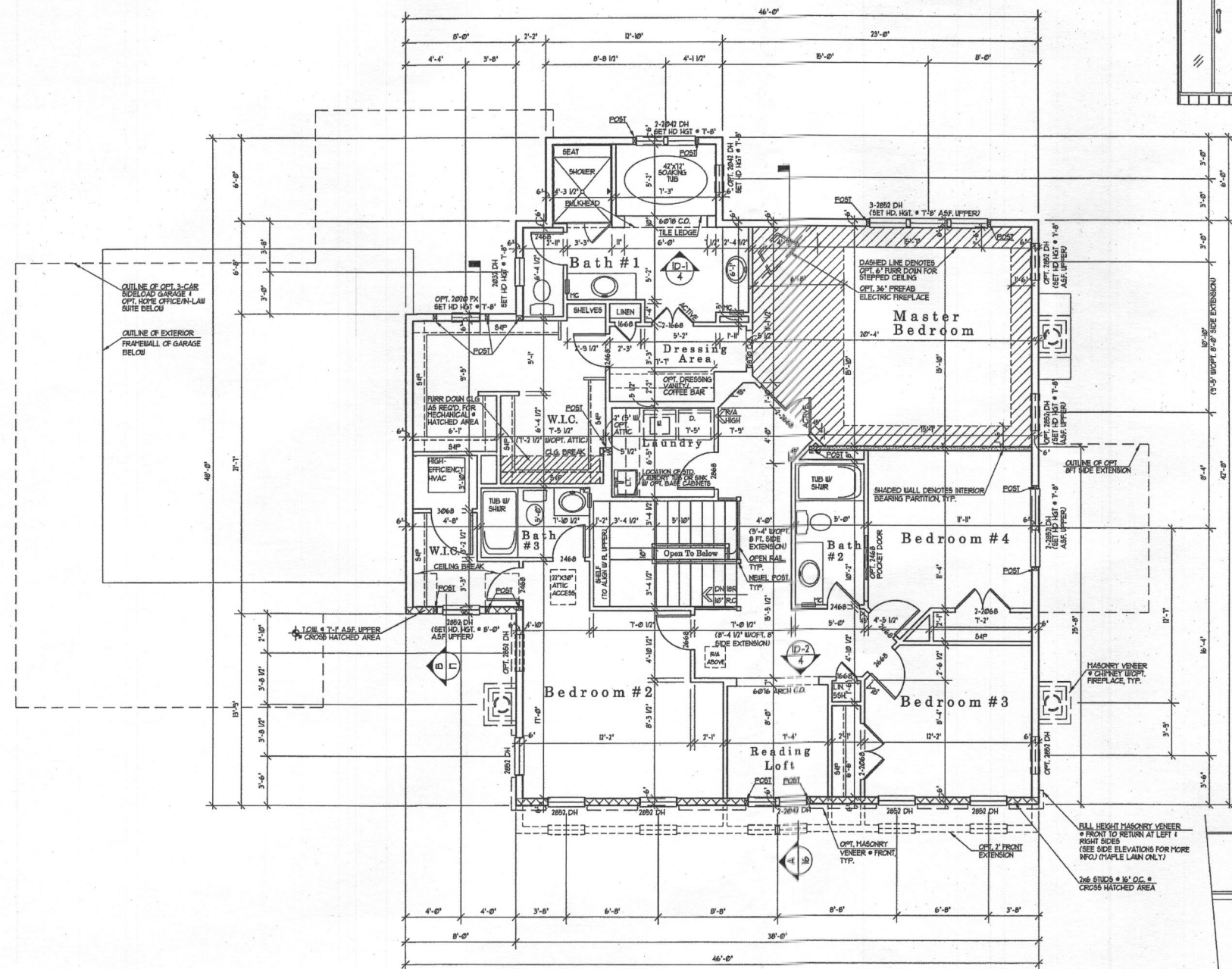
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REV. 01/20/12 AS			
REV. 01/20/12 AS			

Project Number: 0106-25
HAWTHORNE
MITCHELL BEST HOMES

Architect:

SUTTON
YANTIS
ASSOCIATES
ARCHITECTS
 www.syba.com
 1000 W. 231st St.
 Waukegan, IL 60087
 TEL: 847.497.8171

Sheet Number
3



UPPER FLOOR PLAN

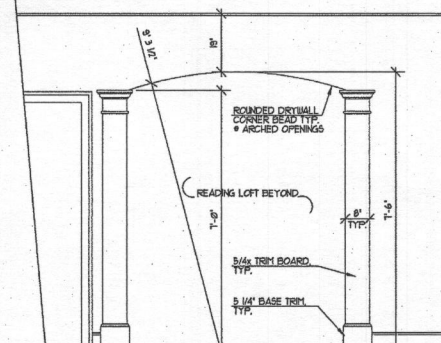
W/ELEVATION "A"

1/4" = 1'-0"

UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/2"
 UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE T-6" ASB.
 UNLESS OTHERWISE NOTED PROVIDE 2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS.



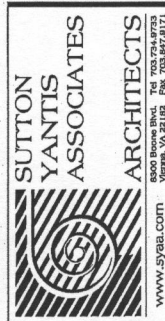
ID-1 Interior Elevation
 Master Bath 1/2" = 1'-0"



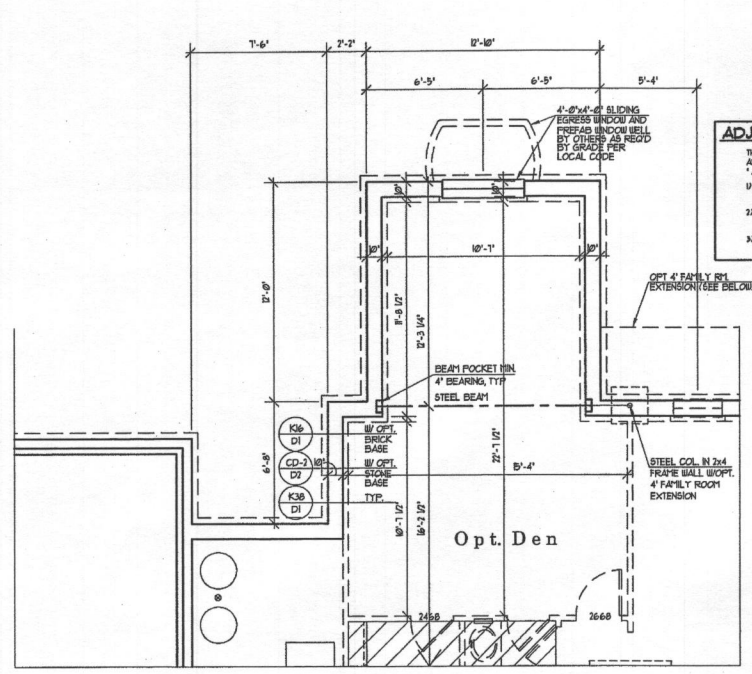
ID-2 Interior Elevation
 Reading Loft Cased Opening 1/2" = 1'-0"

Date	REV.	BY	CHK.
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	REV. 06/20/10	JG	
	REV. 06/20/10	JG	
	REV. 06/20/10	JG	
	REV. 06/20/10	JG	
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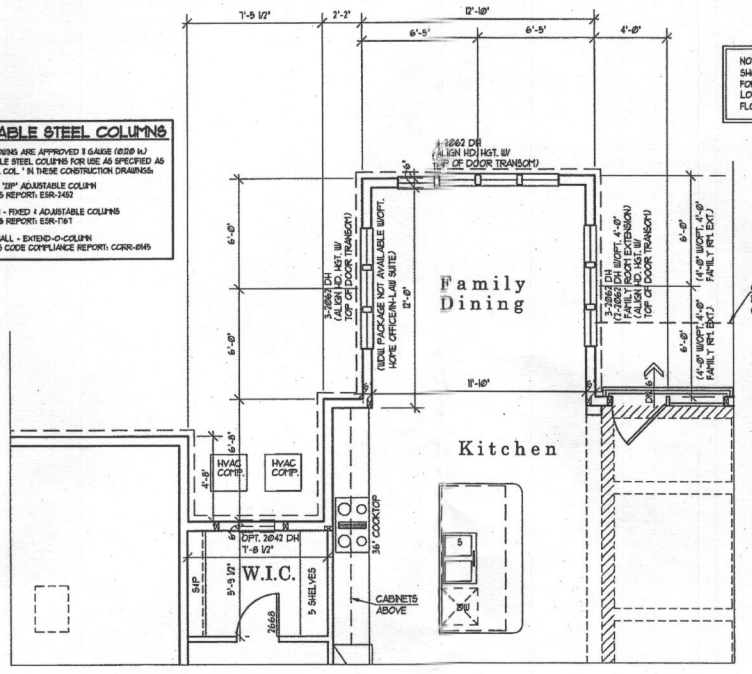
Project Number: 0706-04
HAWTHORNE
MITCHELL BEST HOMES



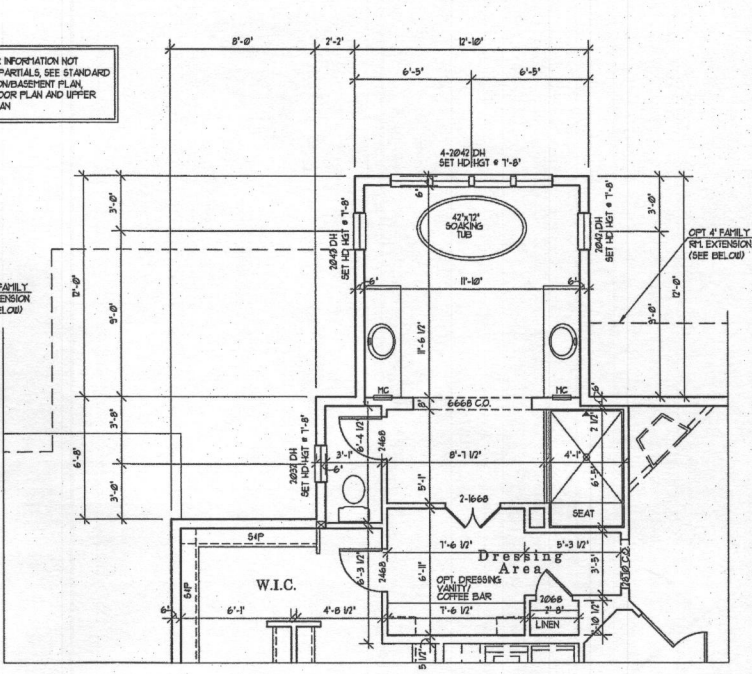
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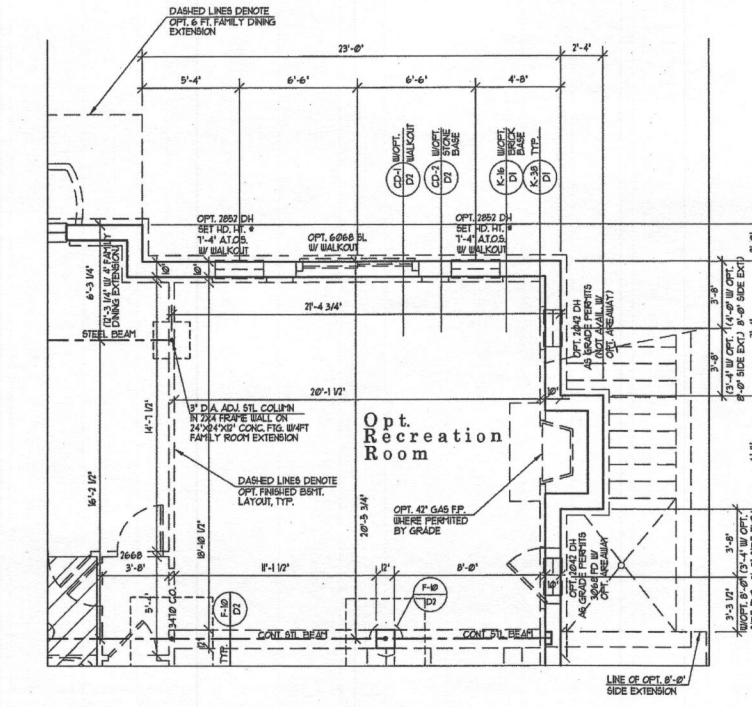
PART'L FNDN/BSMT FLOOR PLAN
W/OPT. 6FT. FAMILY DINING EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"



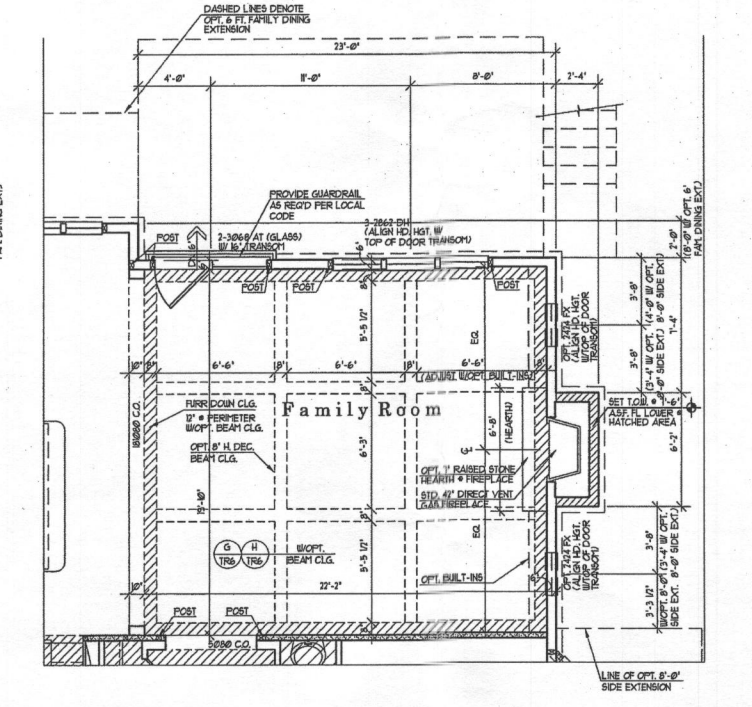
PART'L LOWER FLOOR PLAN
W/OPT. 6FT. FAMILY DINING EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"
 UNLESS OTHERWISE NOTED PROVIDE 2-2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS



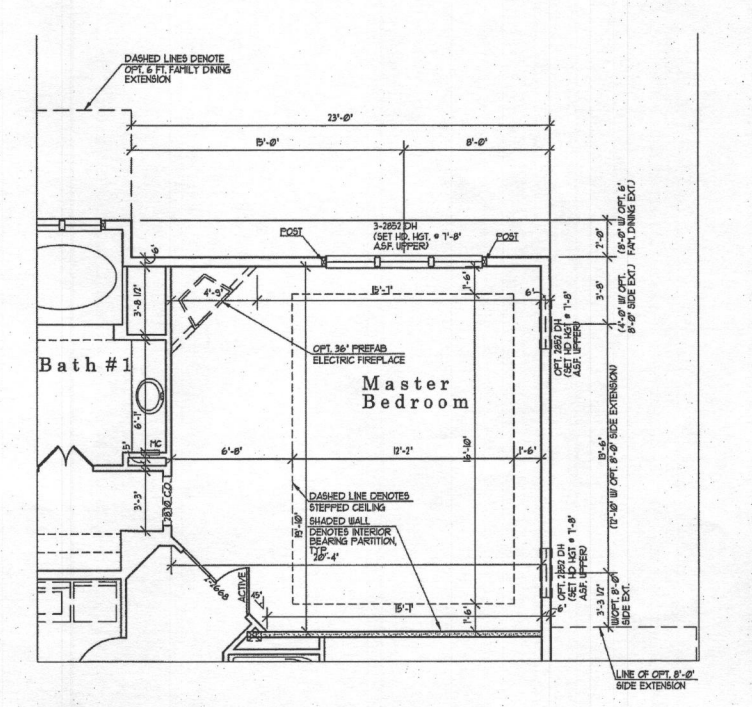
PART'L UPPER FLOOR PLAN
W/OPT. 6FT. FAMILY DINING EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"
 UNLESS OTHERWISE NOTED PROVIDE 2-2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS



PARTIAL FNDN/BASEMENT FLOOR PLAN
W/OPT. 4FT. FAMILY ROOM EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"



PARTIAL LOWER FLOOR PLAN
W/OPT. 4FT. FAMILY ROOM EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"
 UNLESS OTHERWISE NOTED PROVIDE 2-2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS



PARTIAL UPPER FLOOR PLAN
W/OPT. 4FT. FAMILY ROOM EXTENSION 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/4"
 UNLESS OTHERWISE NOTED PROVIDE 2-2x4 POSTS BETWEEN ALL MULTIPLE WINDOWS

NOTE: FOR INFORMATION NOT SHOWN IN PARTIALS, SEE STANDARD FOUNDATION/BASEMENT PLAN, LOWER FLOOR PLAN AND UPPER FLOOR PLAN

ADJUSTABLE STEEL COLUMN
 THE FOLLOWING ARE APPROVED 1 GAZE (GSS) NJ ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS 1" DIA. STEEL COLUMN WITH CONSTRUCTION CHAIRS:
 1) ARCO - 2" ADJUSTABLE COLUMN ICC-ES REPORT: ESR-1482
 2) ARCO - FIXED 1" ADJUSTABLE COLUMNS ICC-ES REPORT: ESR-1481
 3) MARSHALL - EXTEND-O-COLUMN AT-ES CODE COMPLIANCE REPORT: CORR-046

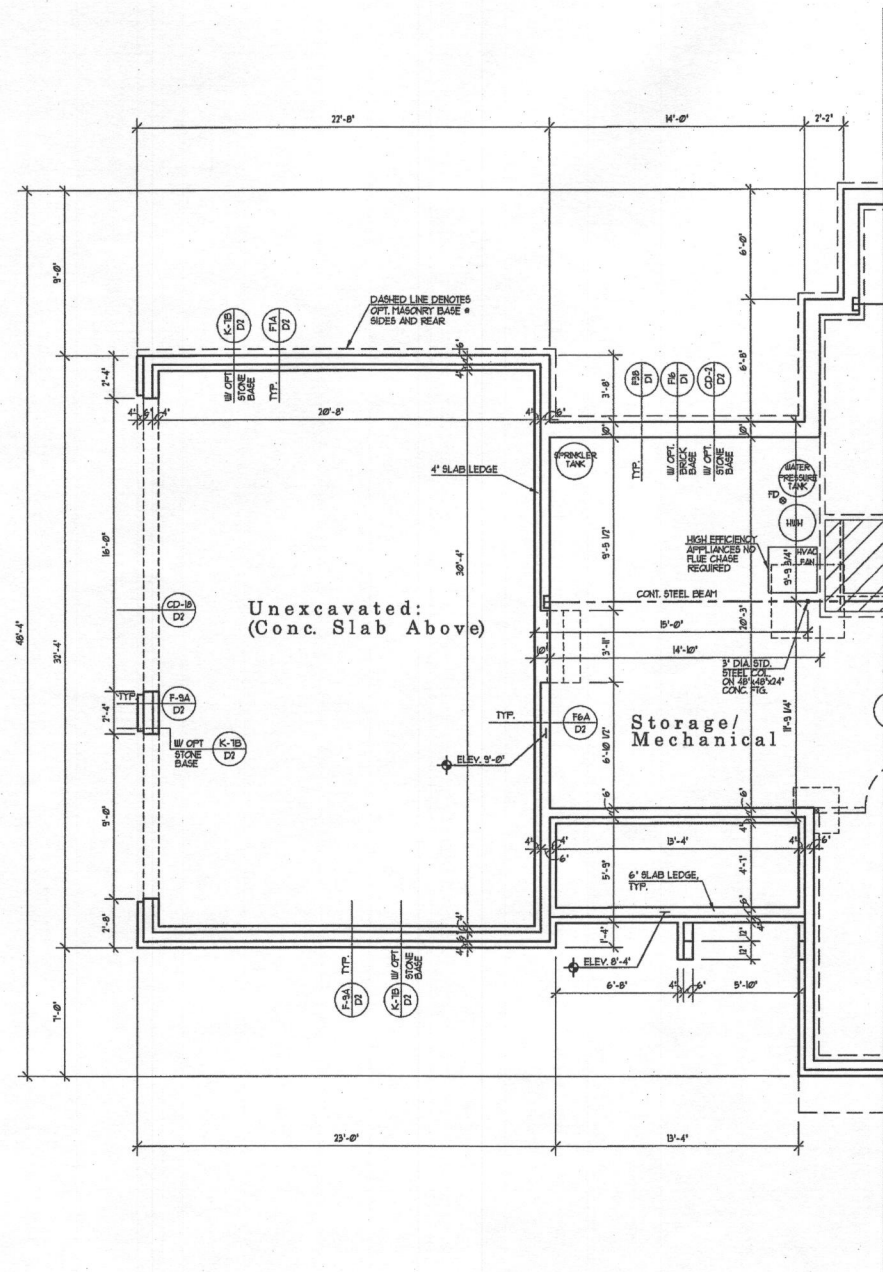
Date	
REV. 05/20/10 JAS	
REV. 06/03/10 JAS	
REV. 07/05/10 JAS	
REV. 08/09/10 JAS	

Project Number: **0506-08**
HAWTHORNE
MITCHELL BEST HOMES

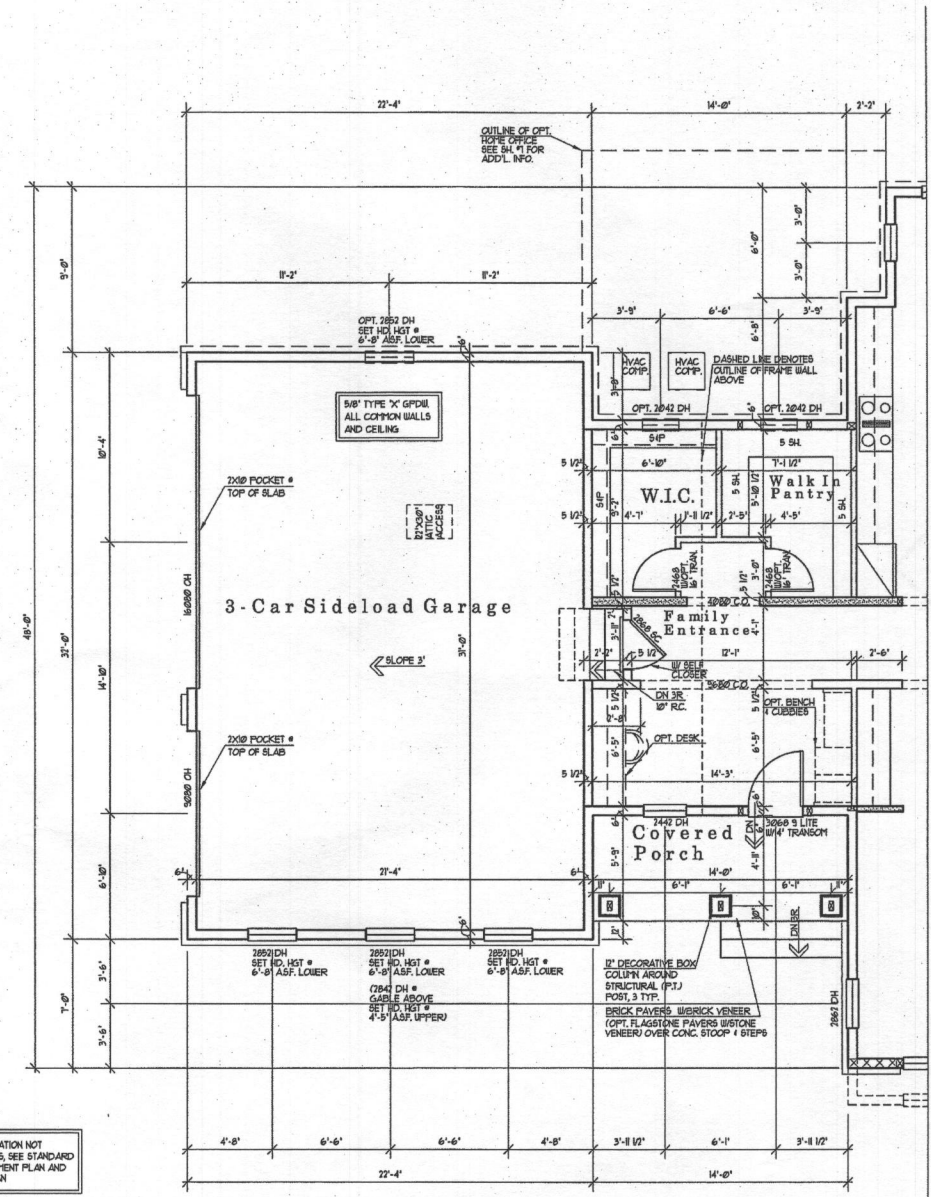
Architect



Sheet Number
4B



PART'L FOUNDATION/BASEMENT PLAN
 W/OPT. 3 CAR SIDELOAD GARAGE
 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/2"



PART'L LOWER FLOOR PLAN
 W/OPT. 3 CAR SIDELOAD GARAGE
 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS TO BE 3/2"
 UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT TO BE 8'-0" ASB.

Date	REV.	BY	CHK.
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS
	01/01/01	AS	AS

Project Number: 07066

HAWTHORNE
MITCHELL BEST HOMES

Architect

SUTTON
YANTIS
ASSOCIATES
ARCHITECTS
 www.syaas.com
 1000 N. 10th St. #100
 Virginia, VA 23185
 PH: 703.847.8171
 FX: 703.847.8171

Sweet Number
6