

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

TEST DATE(S) _____ TEST TIME _____

AP 545018

AGENCY REVIEW: _____

DATE 4-29-13

DO NOT WRITE ABOVE THIS LINE

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S) TO:

CHECK AS NEEDED:

- ☒ CONSTRUCT NEW SEPTIC SYSTEM(S)
☐ REPAIR/ADD TO AN EXISTING SEPTIC SYSTEM
☐ REPLACE AN EXISTING SEPTIC SYSTEM

CHECK AS NEEDED:

- ☒ NEW STRUCTURE(S)
☐ ADDITION TO AN EXISTING STRUCTURE
☐ REPLACE AN EXISTING STRUCTURE

CHECK ONE:

- ☐ CREATE NEW LOT(S)
☐ BUILD ON AN EXISTING LOT IN A SUBDIVISION
☒ BUILD ON AN EXISTING PARCEL OF RECORD

IS THE PROPERTY WITHIN 2500' OF ANY RESERVOIR?

- ☐ YES
☒ NO

THE TYPE OF STRUCTURE IS:

- ☒ RESIDENTIAL WITH UNK PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE (NOTE **UNKNOWN** IF APPROPRIATE)
☐ COMMERCIAL (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/ CUSTOMERS ON ACCOMPANYING PLAN)
☐ INSTITUTIONAL/GOVERNMENT (PROVIDE DETAIL OF NUMBERS AND TYPES OF EMPLOYEES/USERS ON ACCOMPANYING PLAN)

PROPERTY OWNER(S) Torrey + Brad Wasserman & Martin + Barbara Wasserman

DAYTIME PHONE 410-404-8827 CELL 301-854-0033 FAX _____

MAILING ADDRESS 13200 Triadelphia Rd Ellicott City MD 21042
STREET CITY/TOWN STATE ZIP

APPLICANT Martin Wasserman

DAYTIME PHONE 301-854-0033 CELL 410-404-8827 FAX _____

MAILING ADDRESS 13200 Triadelphia Rd Ellicott City MD 21042
STREET CITY/TOWN STATE ZIP

APPLICANT'S ROLE: DEVELOPER BUILDER BUYER RELATIVE/FRIEND REALTOR CONSULTANT

PROPERTY LOCATION
SUBDIVISION/PROPERTY NAME P/O Lot 44 5 3 Parcel 05-371104 LOT NO. 44 5 3

PROPERTY ADDRESS (7604) Browns Bridge Rd / Greenwood Farms Highland MD 20777
STREET TOWN/POST OFFICE

TAX MAP PAGE(S) 0040 GRID 0157 PARCEL(S) 05-371104 PROPOSED LOT SIZE 1 Acre

AS APPLICANT, I UNDERSTAND THE FOLLOWING: THE SYSTEM INSTALLED SUBSEQUENT TO THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS APPLICATION IS COMPLETE WHEN ALL APPLICABLE FEES AND A SUITABLE SITE PLAN HAVE BEEN RECEIVED. I ACCEPT THE RESPONSIBILITY FOR COMPLIANCE WITH ALL M.O.S.H.A. AND "MISS UTILITY" REQUIREMENTS. APPROVAL IS BASED UPON SATISFACTORY REVIEW OF A PERC CERTIFICATION PLAN.

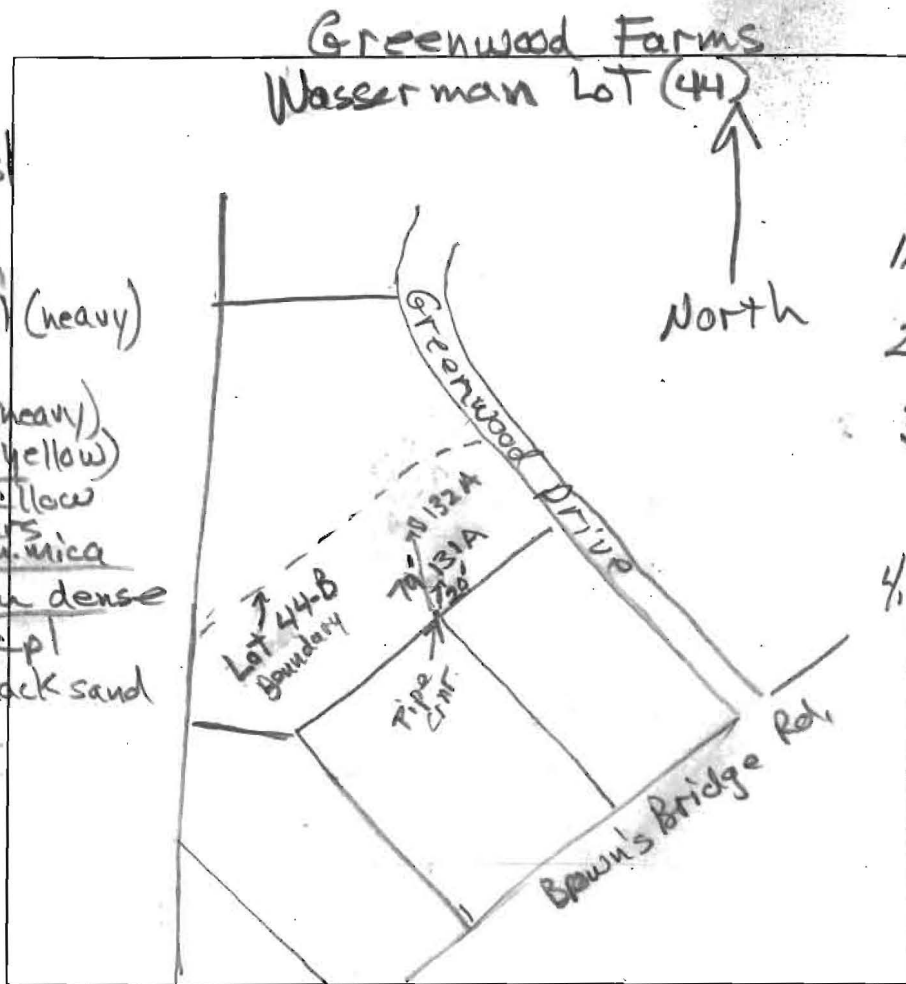
TEST RESULTS WILL BE MAILED TO APPLICANT.

Martin Wasserman
SIGNATURE OF APPLICANT

HOWARD COUNTY HEALTH DEPARTMENT, BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
7178 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 313-2640 FAX (410) 313-2648
TDD (410) 313-2323 TOLL FREE 1-877-4MD-DHMH

A/P

131A
 1' grey-brn sl
 2' yel-brn scl
 2' yel-red scl
 2' yel-brn grs (heavy)
 2' many mica
 2' yel-red sl (heavy)
 4.5' m2d (pale yellow)
 5.2' gray, pale yellow
 5.2' 2 red layers
 6.8' brn sl, dense
 6.8' brn sl, 2 cpl
 10' many fine black sand
 few mica



132A
 0.5' dk brn 2mg
 0.5' few mica
 1.6' pale yel-brn L, 2 blk
 1.6' few mica
 2' yel-brn L, 1 blk
 2' brn scl, few
 3.1' 2msbk mica
 3.1' slightly sticky
 3.1' brn sl, few
 3.1' mica
 4.2' c2d (pale yellow)
 4.2' brn sl
 7.9' dense
 7.9' f2d (pale yel)
 7.9' breaks out as
 7.9' plate like aggregates
 8.5' grey s
 8.5' lt. greys
 8.5' many mica
 8.5' moist.

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/10/13	132A	3.6'	10:37	1:02			F
5/10/13	131A	Did not test soils are fine, slightly sticky & dense					

REMARKS Locations of soil profiles & per data for subsurface trenches
 SANITARIAN Bricker BACKHOE Brian Garbnd OTHERS Martin Wasserman
 TEST HOLES USED IN SDA _____ AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

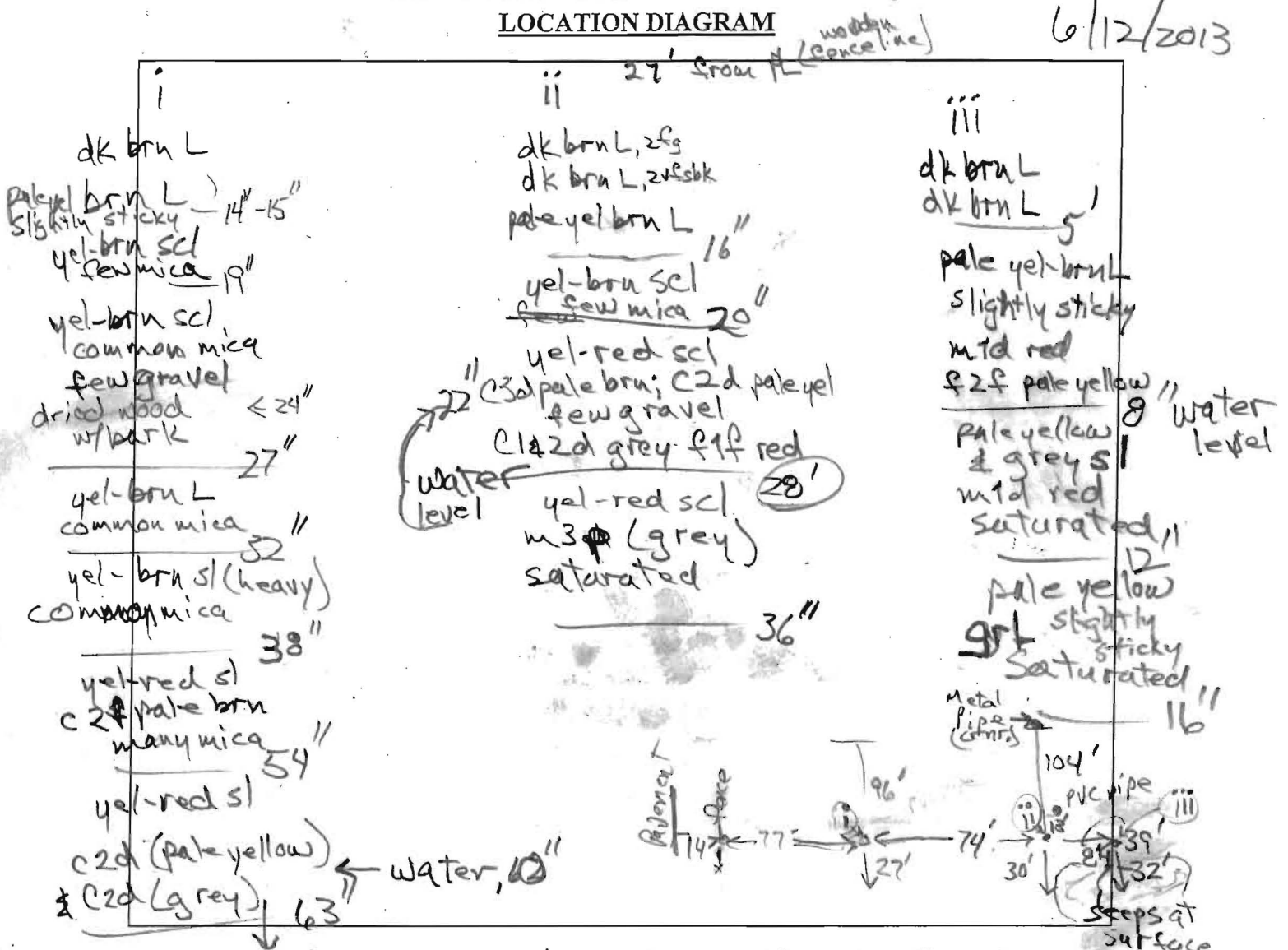
SITE INSPECTION SHEET

OWNER: Martin Wasserman PHONE #: _____
 ADDRESS: _____ CONTRACTOR: _____

WELL TAG #: _____
 SUBDIVISION: Greenwood Farm LOT: P/O 44 COUNTY #: _____

PROPOSAL: Determine water table levels along West boundary, and suitable location(s) for sand mound(s).

LOCATION DIAGRAM



COMMENTS: Location 'ii' fails; mottles at 20" & water seeps at 22"
Location 'iii' fails; water at 8". Seeps emerge onto surface seven feet downslope of 'iii', then north to a location about 12' to 15' downslope of 'ii'. The area upslope is unsuitable for sand mound

DATE: 6/12/2013 INSPECTOR: R. Ruck

MOUND TEST DATA SHEETS

Property I.D. Wasearman Lot # P/O 44 Date 5/10/2013
 Sanitarian R Bricker Landscape Position Side Slope
 % Slope 12 Soil Type _____ Contractor _____

HOLE # 131 DEPTH OF TEST 11" START TIME 1:12

	Hook Gauge Reading	Elapsed Time (min)	Measured Drop	Estimated Rate(ET/MD)	% Change
3" dk gray-brn sl	9 16/16	Begin	—	—	—
8" 2 mg	9 14.5/16	20	1.5/16	213	
8" brn L, 2 fsk	9 13.5/16	20	1/16	320	
15" yel-red grcl					
2 fsk, few mica					
15" yel-red grsl					
2 fsk, common mica					
25" yel-red sl (heavy)					
Øm, mica					
slightly sticky					
few gravel					
41" (Lm 2 d) (pale yellow)					

Begin equilibration 11:47

HOLE # 134 DEPTH OF TEST 7" START TIME 2:00

	Hook Gauge Reading	Elapsed Time (min)	Measured Drop	Estimated Rate(ET/MD)	% Change
3" dk gray-brn L	9 16/16	Begin	—	—	—
7" grey-brn L	9 14/16	10	2/16	80	—
14" yel-brn L	9 12/16	10	2/16	80	0
1 fsk, dense	9 10.5/16	10	1.5/16	106	
14" brn vgrsl	9 9/16	10	1.5/16	126	0
Øm, dense	9 8/16	10	1/16	160	
28" pale yellow vgrsl					
Øm, very dense					
45" +					

Begin equilibration 1:42

MOUND TEST DATA SHEETS

Wasserman

Property I.D. T.M. 40, P. 157

Lot # P/O 44

Date 5/10/2013

Sanitarian R. Bueker

Landscape Position side slope

% Slope 12

Soil Type _____

Contractor _____

HOLE # 132

DEPTH OF TEST 19"

START TIME 11:32

	Hook Gauge Reading	Elapsed Time (min)	Measured Drop	Estimated Rate(ET/MD)	% Change
dk brn L 2mg 6"	9 16/16	Begin	—	—	—
pale yel-brn L, 2ssbk 19"	9 14/16	10	2/16	80	0
	9 12/16	10	2/16	80	0
	9 10/16	10	2/16	80	0
yel-brn L 7fssbk 25"	9 7/16	10	3/16	80	0
	9 5/16	10	2/16	80	0
	9 3/16	10	2/16	80	0
brn scl 2msbk, few mica slightly sticky 37"					
brn sl, fm few mica 50"					
C2d (pale yellow)					

Begin equilibration, 10:59

HOLE # 133

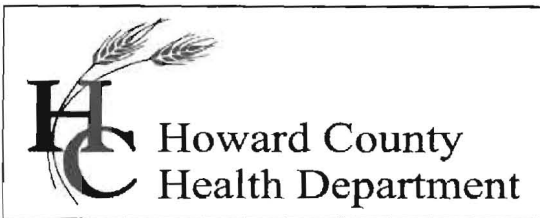
DEPTH OF TEST 15"

START TIME 12:13

	Hook Gauge Reading	Elapsed Time (min)	Measured Drop	Estimated Rate(ET/MD)	% Change
3" dk grey-brn L, 2mg	9 16/16	Begin	—	—	—
brn L, 1fssbk 6"	9 16/16	10	0	—	—
yel-brn L, 2fssbk 11"	9 16/16	10	0	—	—
few mica	9 16/16	30	0	—	—
brn cl, 3fssbk 19"					
brn scl 27"					
brn vgrles dense 41"					
yel-brn scl, fm, m2d (pale yellow) slightly sticky 48"					
C2d (gray)					

Fails

Begin equilibration, 11:50



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

July 19, 2013

Martin and Barbara Wasserman
13200 Triadelphia Road, Ellicott City, MD 21042

RE: Follow-up to Percolation Tests: Greenwood Farms, Tax Map 40, Parcel 157, Part of Lot 44; A545018

Dear Mr. and Mrs. Wasserman,

The Health Department has determined that the soil resource is not adequate to support new construction on your property at Greenwood Farms, Part of Lot 44. Should you disagree with this assessment, you may hire a private consultant such as a Certified Professional Soil Scientist (CPSS) to conduct an evaluation of the property. Such evaluation is subject to review and /or field confirmation by the Howard County Health Department and the Maryland Department of the Environment.

Summary

The referenced property is not presently developed, and no confirmation of testing prior to 2013 could be found in Howard County Health Department files.

Percolation tests were conducted on Parcel 157 on May 10. Four (two pair of) infiltrometer tests for sand mounds were observed and tested, and one standard percolation test was conducted on the subject property. At one other location, the soil profile was observed for potential to locate subsurface trenches in that area. Only one infiltrometer test had an approvable rate while the three other infiltrometer test locations failed. (See percolation test report, June 7, 2013). The standard percolation test location failed for standard subsurface trenches. The observed soil profile at the untested location was determined to be unsuitable for wastewater disposal.

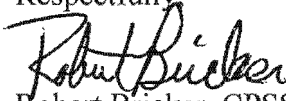
A potential area for wastewater disposal systems in support of potential new construction could not be identified on May 10. The areas in the northwest quadrant and along the lower (west) boundary of the property remained untested.

On June 12, 2013, the untested areas were explored with a hand-auger to determine the water table level. (See attached Site Inspection Sheet and plot.) Holes 'i', 'ii', and 'iii' were bored and the extracted soil materials described. At location 'ii', water seeps were observed at 20 inches depth, and at location 'iii' the soil between 8 inches and 16 inches was saturated. Also, a surface water seep was found downhill of 'iii' and continuing to the proximity of 'ii'. As this surface seep is associated with the saturated soil layers observed at location 'iii', the area above the seep is unsuitable as a potential sand mound site. At location 'i' water table indicators were observed at about 54 inches depth and free water was observed at 60 inches.

Even though the area represented by location 'i' may be suitable for a sand mound site, the area available is not large enough to accommodate more than one sand mound. Code of Maryland Annotated Regulations 26.04.02.02 requires areas for an initial wastewater disposal system and one replacement system. Therefore, further testing for sand mounds and standard trenches would not result in a favorable determination for developing the property.

If you have questions regarding this report, you may contact me by calling (410) 313-2691.

Respectfully

A handwritten signature in black ink, appearing to read "Robert Bricker". The signature is fluid and cursive, with the first name "Robert" and last name "Bricker" clearly distinguishable.

Robert Bricker, CPSS, REHS/RS
Environmental Health Specialist
Well and Septic Program

Enclosures (2 sheets)

Copy: File



Bureau of Environmental Health

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

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TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

June 7, 2013

To: Martin and Barbara Wasserman, owner/applicant
12320 Scaggsville Road, Fulton, MD 20759

RE: Percolation Test Report: Greenwood Farms, Tax Map 40, Parcel 157, Part of Lot 44;
A545018

Percolation tests were conducted on Parcel 157 on May 10. Four (two pair of) infiltrometer test locations for sand mounds were observed and tested, and one standard percolation tests was conducted on the subject property. At one other location, the soil profile was observed for potential to locate subsurface trenches in that area.

The only infiltrometer test that has an approvable rate is at test location 132. The rate at 132 is 80 minutes per inch of water infiltration which is a non-conventional rate, approvable for new construction only on an existing recorded lot. The three other test locations (131, 133, and 134) Fail, having rates per inch of water infiltration of 160 minutes or greater.

The standard percolation test location (132A) has a percolation rate greater than 60 minutes per inch, which Fails for standard subsurface trenches. A pit was dug at location 131A, and the soil profile was observed but no testing was conducted. The soil profile at 131A has indicators of iron depletion in a layer between 2.5 feet and 4.5 feet depth. Layers beneath that are dense and the soil materials are slightly sticky. Location 131A Fails for standard subsurface trenches.

The test locations have been noted on a partial plat provided by you. The locations are referenced to the upper property line, including a marked corner in that line. The field worksheets and location drawing are enclosed with this report.

The northwest quadrant of the lot has not been tested. In particular the area between test locations 132 and 133, and the lower property line would have to be tested, and fail, for the Health Department to declare that the soil resource on the property is inadequate for wastewater treatment. At least two additional pits will be required. Water table data for the northwest portion of the lot will be collected from holes drilled with hand auger during the week of June 10 thru 14. The additional tests may be conducted in hand-dug pits when adequate soil moisture is in the profile.

If you have any questions regarding this evaluation or further testing, please contact me at the above address or by calling (410) 313-2691.

Respectfully,

Robert Bricker, CPSS, REHS/RS
Environmental Health Specialist
Well and Septic Program

Enclosures (4 sheets)
Copy: File

I am writing now to see if there are any new septic systems that might be available for a single acre of property which we still own from the time we used to live in Highland. It has failed perc tests on a number of occasions over the past several decades, but given new system technology, there might be a way for this land to be able to support a home which would be a good thing since the property is currently owned by our children.

The Property Description is:

p/o Lot 44 S 3
Browns Bridge Rd
Greenwood Farms

Other tax information I have regarding the property is Parcel- 05-371104

I hope this information is sufficient. The address was part of a three acre property at 7604 BrownsBridge Rd.in Highland.

Please let me know if you need any additional information. I would really hope that we might be able to create a buildable lot on this property.

Thanks so much. I hope you and your family had an enjoyable Thanksgiving.

Marty Wasserman

--

Martin P. Wasserman MD JD
13200 Triadelphia Rd
Ellicott City, MD 21042

301-854-0033

410-404-8827 (cell)

Davis, Michael J

From: Davis, Michael J
Sent: Friday, February 15, 2013 9:56 AM
To: Davis, Michael J
Subject: RE: Septic System Percolation-Continued with Property Location

Martin,

As discussed with your wife, I had someone visit the property to look at the possibility of performing perc testing for a mound system. Although the field visit could not rule out the possibility of a mound system, it does not look promising. Additionally, due to the locations of on-site sewage disposal systems on the neighboring lots there does not appear to be location for a well. I would suggest that we meet to go over all of the challenges on this site so you can make an informed decision on whether or not you would like to proceed. Feel free to call me if you have any questions.

Michael J. Davis
Assistant Director
Bureau of Environmental Health
Howard County Health Department

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From: Davis, Michael J
Sent: Friday, November 30, 2012 11:41 AM
To: 'Martin Wasserman'
Subject: RE: Septic System Percolation-Continued with Property Location

Thank you for the kind words. I'll look into it and get back to you.

From: Martin Wasserman [<mailto:mpwasserman1@gmail.com>]
Sent: Thursday, November 29, 2012 8:13 PM
To: Davis, Michael J
Subject: Septic System Percolation-Continued with Property Location

Hi Mike

It was nice to see you last week at the community meeting discussing the potential use of the Woodmont Academy property

As I said then, you did an excellent job of keeping cool while presenting the facts and not getting drawn into the conflict that many community participants were prepared for.

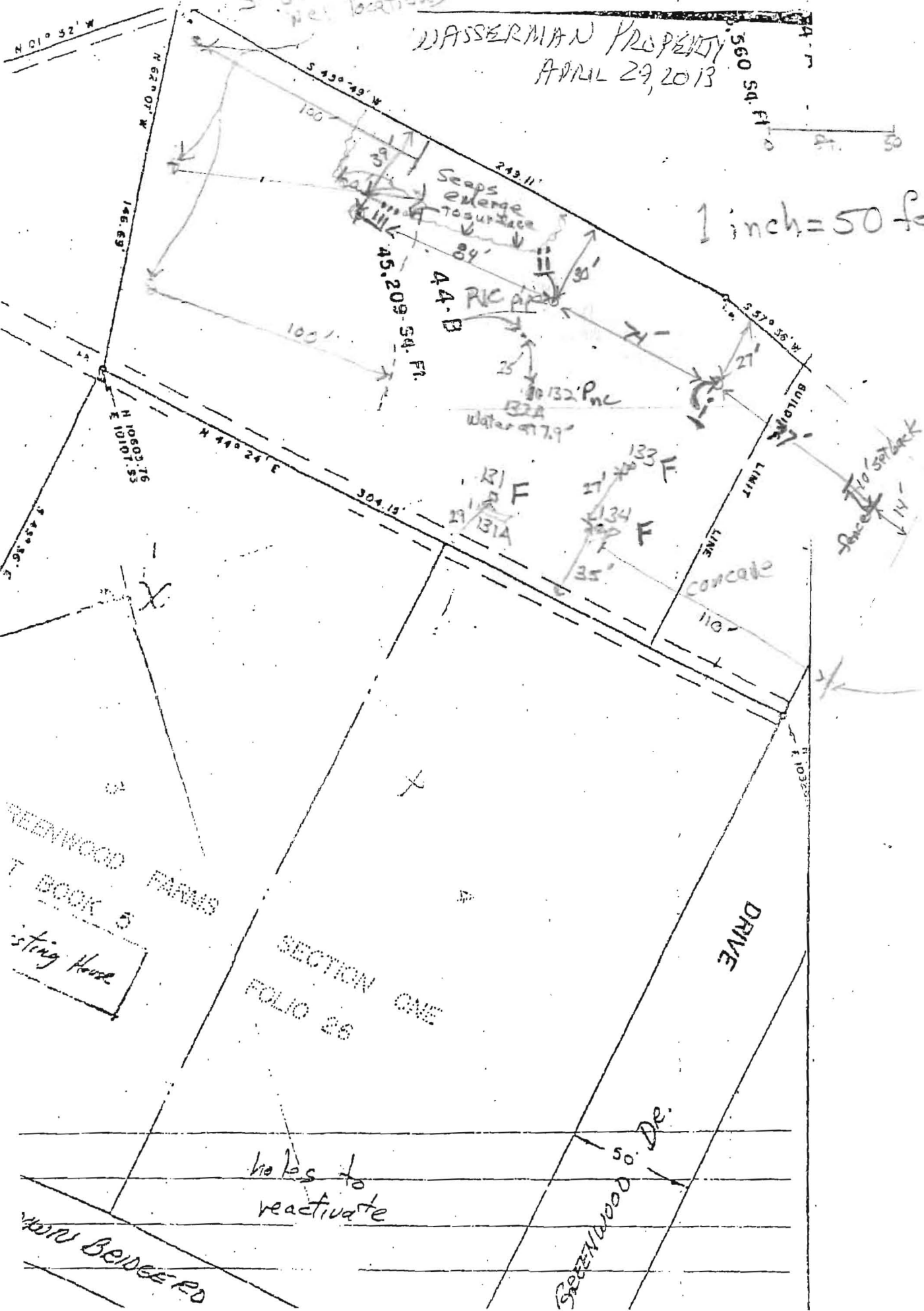
The tone of the meeting reminded me of the fear, concern, and hostility that surrounded so many of the early meetings on HIV/AIDs that I was involved with during the 80's when I was a health officer in Arlington and Montgomery County. Wow!

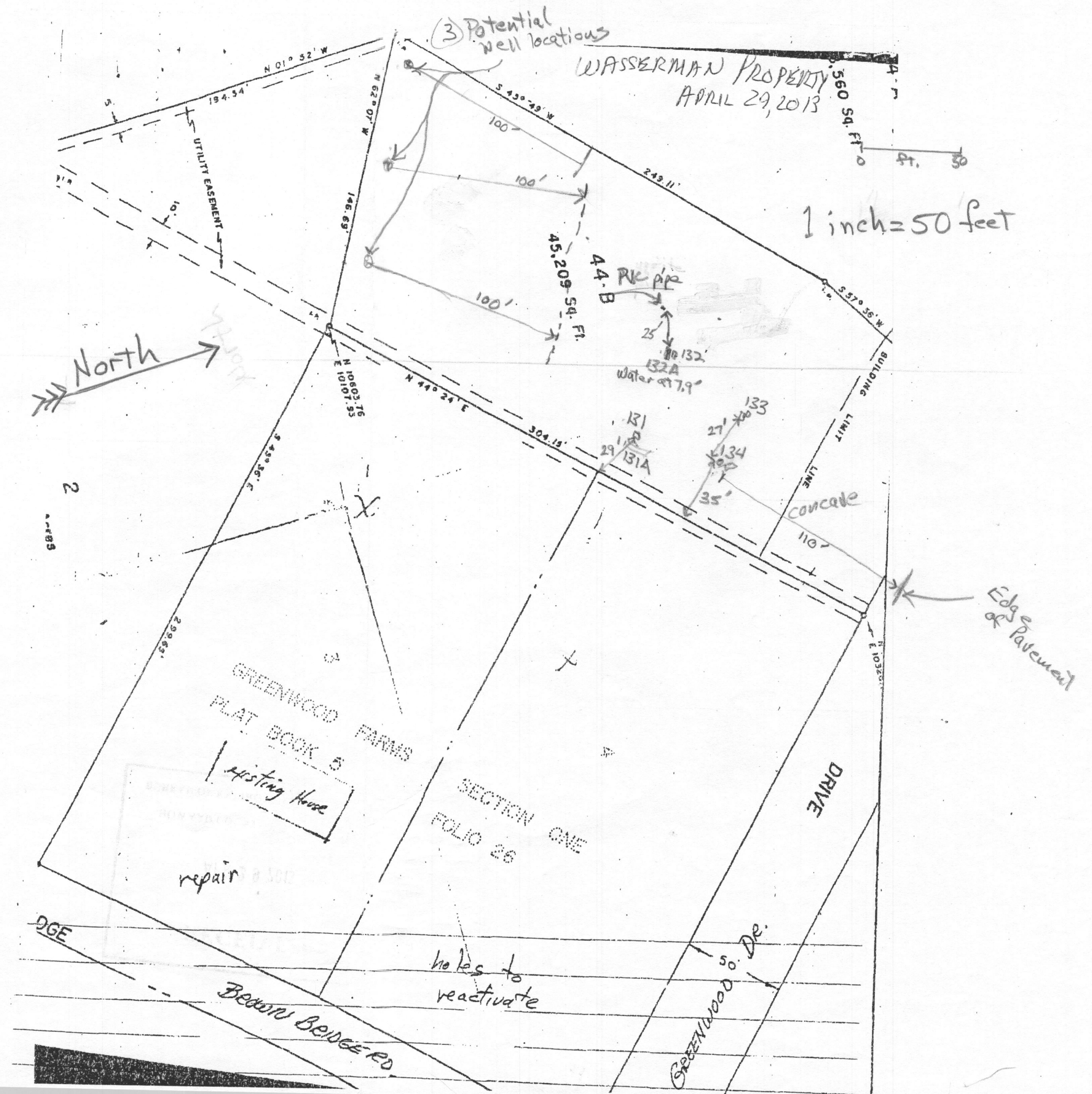
3 Potential
well locations

WASSERMAN PROPERTY
APRIL 29, 2013

560 SQ. FT.

1 inch = 50 feet





SITE INSPECTION SHEET

OWNER: Wasserman PHONE #: _____

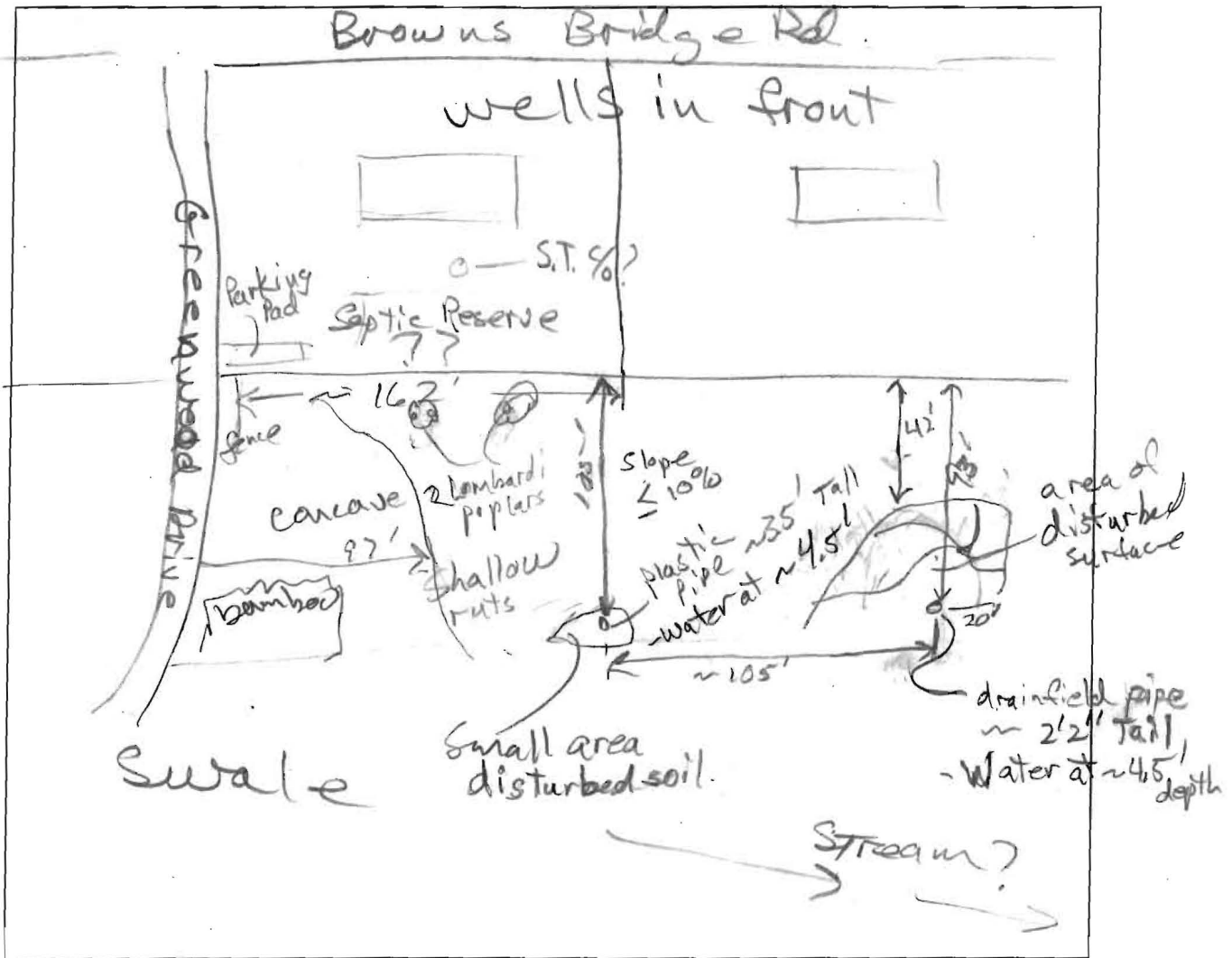
ADDRESS: _____ CONTRACTOR: _____

WELL TAG #: _____

SUBDIVISION: Greenwood Farm LOT: 10 44 COUNTY #: 05-371104

PROPOSAL: Field Review of surface and topographic conditions on vacant lot.

LOCATION DIAGRAM



COMMENTS: shallow ruts on concave area at front of lot & beyond
soil surface soft, saturated

DATE: 2/12/2013

INSPECTOR: R Bricker

Davis, Michael J

From: Bricker, Robert
Sent: Thursday, March 21, 2013 4:57 PM
To: Davis, Michael J
Subject: Greenwood Road vacant lot

Got water level data today, per your request. The pipe toward the back of the lot had a water level 4.2 feet below grade; the pipe toward the front of the lot had water level at 4.9 feet below grade.

Robert

ROBERT BRICKER, CPSS, REHS/RS
ENVIRONMENTAL HEALTH SPECIALIST
DEVELOPMENT COORDINATION SECTION, WELL AND SEPTIC PROGRAM
HOWARD COUNTY BUREAU OF ENVIRONMENTAL HEALTH
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COLUMBIA, MD 21046

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rbricker@howardcountymd.gov

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Davis, Michael J

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Marty Wasserman

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P 47919
P 06758