

HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

B08002514

Building Address 12080 Hall Shop Road

Suite/Apt. #: _____ SDP/WP/Petition #: _____

Census Tract _____ Subdivision _____

Section _____ Area _____ Lot _____

Tax Map _____ Parcel _____ Grid _____

Zoning _____ Map Coordinates _____ Lot size _____

Property Owner's Name Michael Boosalis

Address _____

City _____ State _____ Zip Code _____

Home Phone _____ Work Phone _____

Applicant's Name & Mailing Address, (if other than stated hereon):

Phone (240) 372-9213 Fax _____

Existing Use 300

Proposed Use 9/10 000

Estimated Construction Cost \$ 250,000.00

Description of Work 000 2-2-2009

Contractor Company Home owner

Contact Person _____

Address _____

City _____ State _____ Zip Code _____

License No. _____

Phone _____ Fax _____

Occupant or Tenant _____

Contact Name _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

Engineer or Architect Company _____

Contact Person _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

BUILDING DESCRIPTION - COMMERCIAL

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
Height: _____	Water Supply: _____ Public <input type="checkbox"/> Private <input type="checkbox"/>
No. of stories: _____	Sewage Disposal: _____ Public <input type="checkbox"/> Private <input type="checkbox"/>
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Construction type: _____ Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular <input type="checkbox"/>	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
	Sprinkler system: N/A <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____

Building Characteristics	Utilities
SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> Depth _____ Width _____	Water Supply: _____ Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>
1st floor: _____	Sewage Disposal: _____ Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>
2nd floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
Basement: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/>	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/>	Sprinkler system: N/A <input type="checkbox"/> NFPA #13D <input type="checkbox"/> NFPA #13R <input type="checkbox"/> Other: _____
No. of Bedrooms _____	
Height: _____	
Multi-family dwellings: _____	
No. of efficiency units: _____	
No. of 1 BR units: _____	
No. of 2 BR units: _____	
No. of 3 BR units: _____	
Other Structure: _____	
Dimensions: _____	
Footings: _____	
Roof Height: _____	
State Certified Modular <input type="checkbox"/>	
Manufactured Home <input type="checkbox"/>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
Title/Company _____

Print Name _____
Date _____

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
** PLEASE WRITE NEATLY AND LEGIBLY. **

- FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL
Land Development DPZ		
State Highways		
Building Official		
Dev. Engineering DPZ		
Health	<u>6/25/2009</u>	<u>R. B. ...</u>
Fire Protection		
Is Sediment Control approval required prior to issuance? YES <input type="checkbox"/> NO <input type="checkbox"/>		
CONTINGENCY CONSTRUCTION START: <input type="checkbox"/>		
ONE STOP SHOP: <input type="checkbox"/>		
Distribution of Copies: Write: Building Official Green: LDD, DPZ		

DPZ SETBACK INFORMATION	PROPERTY ID#:
Front: _____	Filing fee \$ _____
Rear: _____	Permit fee \$ _____
Side: _____	Excise tax \$ _____
Side St: _____	Add'l per. fee \$ _____
All minimum setbacks met? YES <input type="checkbox"/> NO <input type="checkbox"/>	TOTAL FEES \$ _____
Is Entrance Permit required? YES <input type="checkbox"/> NO <input type="checkbox"/>	Sub-total paid \$ _____
Historic District? YES <input type="checkbox"/> NO <input type="checkbox"/>	Balance due \$ _____
Lot Coverage for NewTown Zone _____	Check # <u>CP...</u>
SDP/Red-line approval date _____	Validation # _____
Accepted by _____	

Boosalis Renovation

12080 Hall Shop Road
Clarksville, Maryland



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REVISIONS	
08-01-2008	

DRAWING LIST

0.01	SITEPLAN
0.02	GENERAL INFO
0.03	SCHEDULES AND TABLES
0.04	EXISTING ELEVATIONS
0.05	EXISTING BASEMENT PLAN
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5.03	SECTION C-C
5.04	SECTION D-D
5.10	WALL SECTION

AREA INFO

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SECOND FLOOR	1,104 s.f.
FINISHED	3,064 s.f.

PRINT DATE
August 21, 2008

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.

WHERE APPLICABLE, BALLOON FRAME EXTERIOR WALLS TO BE 2x6 SPF #2 OR BETTER STUDS @ 12" O.C. UNLESS OTHERWISE NOTED

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. UNLESS OTHERWISE NOTED.

ALL HEADERS TO BE 2x12'S UNLESS NOTED OTHERWISE

ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A Fb RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 2-2x12 HEADERS W/ 1/2" FILLER & 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

PROVIDE SOLID 2x10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS

FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.

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DESIGN CRITERIA

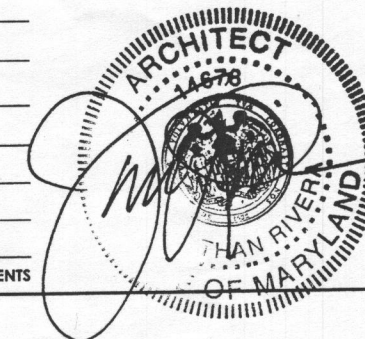
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)	30	
WIND PRESSURE (pounds per square foot)	17 +/- (90 m.p.h.)	
SEISMIC CONDITION BY ZONE	B	
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES	13'	
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		

ALL WORK SHALL COMPLY WITH 2006 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

SEAL
STATE OF MARYLAND

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number #14678, Expiration Date: 6/30/2010.



PROPERTY OF
GEORGE WESLEY WISE
AND
L. CHRISTOPHER WISE
3739, F. 107

PROPERTY OF
L. EDWARD WISE
46,078, F. 464
1,058 S.F. OR
GRANIEL DRIVEWAY

HALL SHOP

Boosalis Renovation

12080 Hall Shop Road
Clarksville, Maryland



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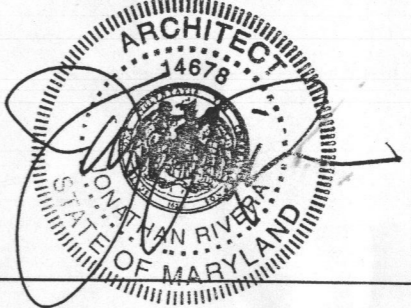
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FLOOD ZONE		

SEAL

STATE OF MARYLAND

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number #14678, Expiration Date: 6/30/2010.



ALL WORK SHALL COMPLY WITH 2006 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

AREA INFO

ADDITION ONLY	SQUARE FOOTAGE
FIRST FLOOR	1,960 s.f.
SECOND FLOOR	1,104 s.f.
FINISHED	3,064 s.f.

PRINT DATE
August 15, 2008

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Renovation

Shop Road
 Maryland

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Mike - John dropped off these new site plans. Kim

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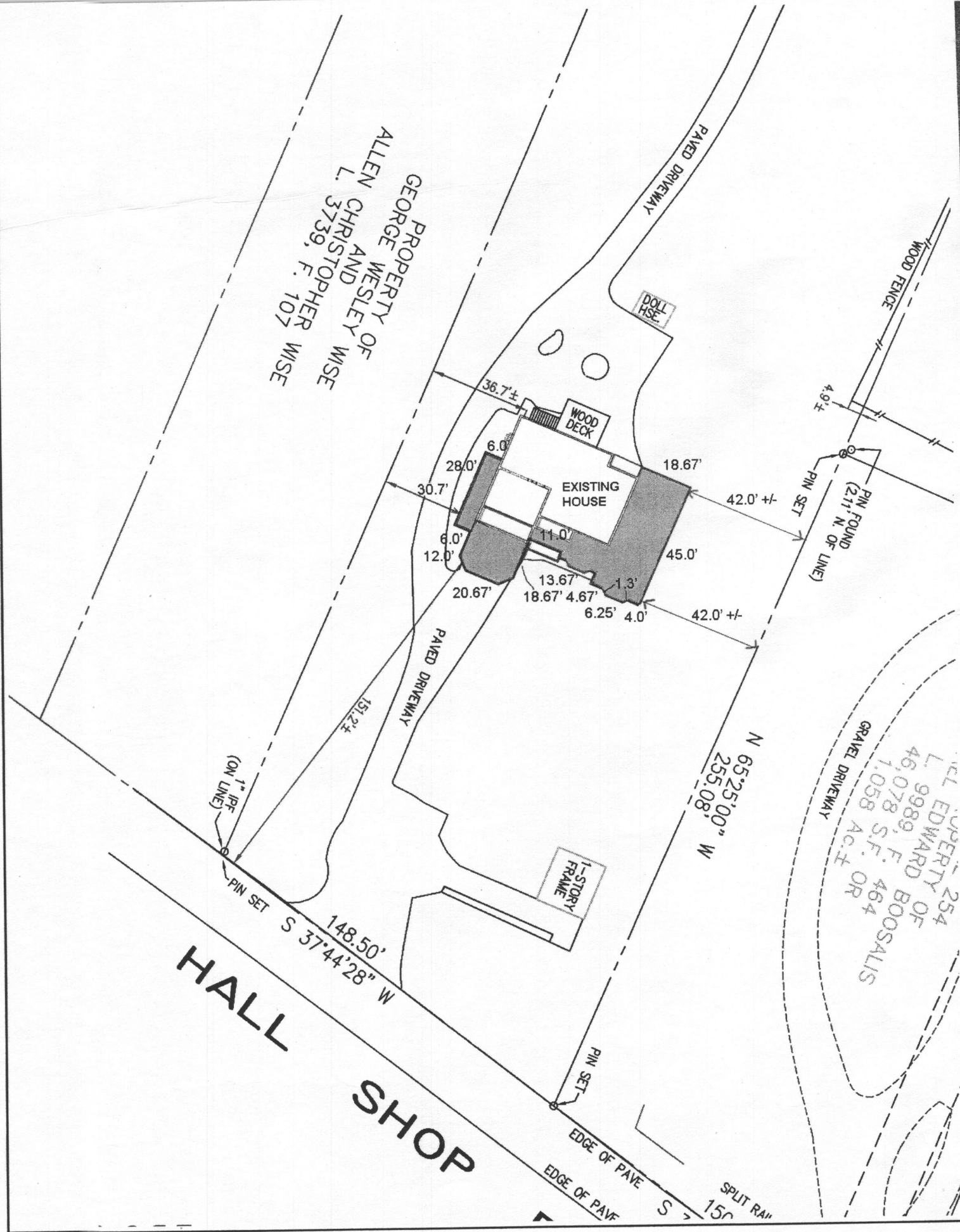
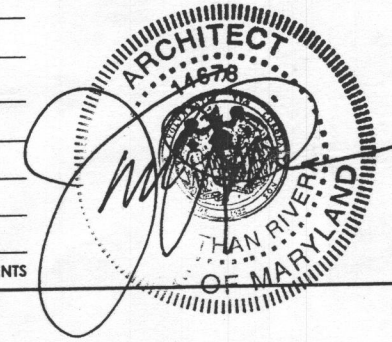
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MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0" of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-13	3 1/2"	2x4 Walls (exterior)
R-19	5 1/2"	2x6 Walls (exterior)
R-19	5 1/2"	Crawl Space
R-19	5 1/2"	Floors exposed to unheated condition
R-30 Batt.	9"	Roof
(with M.E.C. check calculations)		
R-30 Blown		Apply blown insulation as required by manufacturer's specifications
(with M.E.C. check calculations)		
R-38 Batt.	12"	Roof
R-38 Blown		Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

SITework

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 3000 PSF. Additional engineering is required if soil bearing capacity is less than 3000 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and garage slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be engineered by others.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.

- See drawings for type of floor construction.

- Tongue and groove floor decking glued and nailed on (SPF #2) 2x8 or 2x10 or 2x12 floor joists at 16" o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.

- Tongue and groove floor decking glued and nailed on pre-engineered wood joists/trusses at 24" o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- Structural lumber to have minimum bending stress of 1,200 psi

- All exterior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 2x12's unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All work shall comply to local code.

DOORS and WINDOWS

- Provide safety glazing as required by local code.

- Garage door into dwelling shall be fire rated minimum 45 minute or as per local building code. The threshold of the door opening between the garage and the adjacent interior space shall not be less than 4" above the garage door. (or as per local code)

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

CONCRETE

- Bottom of all footings shall be located a minimum of 36" (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs shall have 6"x6"x10" W.W.M. or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade shall be dampproofed or water proofed using materials and methods approved by local building jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction Minimum Specified Compressive Strength

- Footings	3000 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3000 PSI
- Garage and Exterior Slabs	3500 PSI

(or as per local code)

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be attached and anchored in accordance with the local code requirements.

METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick ties shall be installed as per local code.

- All steel shall conform to ASTM Specs for A-36 Steel.

- All steel designed for maximum bending stress of 24,000 psi

- All work shall comply to local code.

MISCELLANEOUS

- Pre-Built fireplace shall be UL approved and installed according to code and manufacturer's specifications and recommendations.

- Chimneys shall extend a minimum of 2'-0" above any roof structure within 10'-0".

- Provide overflow pans and drains for wet appliances when located on bedroom level, or as noted on plans.

- Provide 22"x54" attic access with pull chain light (or as per local code)

- Kitchen and bath plans are approximate. See manufacturer's plans for exact layout and dimensions.

GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

-- Use Group R-4 under the 2006 International Residential Code.

- All work shall comply to the 2000 Model Energy Code

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- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Integral garages in dwelling units shall be separated from all adjacent living space with fire separation as required by local code.

- Field verify ALL existing dimensions

DESIGN - LIVE LOADS

- RECOMMENDED MINIMUMS:

- Ground Snow Load	55 psf
- Roof	30 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	60 psf
- Stairs	100 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf
- Guardrails	200' at any point in any direction.

(or as per local code)

STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.

- Minimum finish width: 36"
- Minimum finished headroom height: 6'-8"
- Maximum riser height: 8 1/4"
- Minimum tread depth: 9"
- Maximum space between ballisters: 4"
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

ARCHITECTURE

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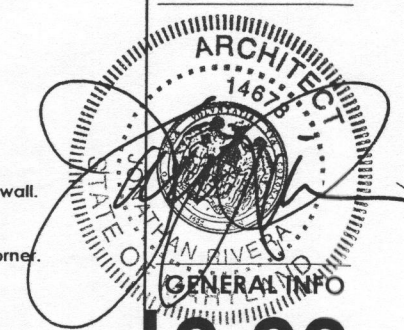
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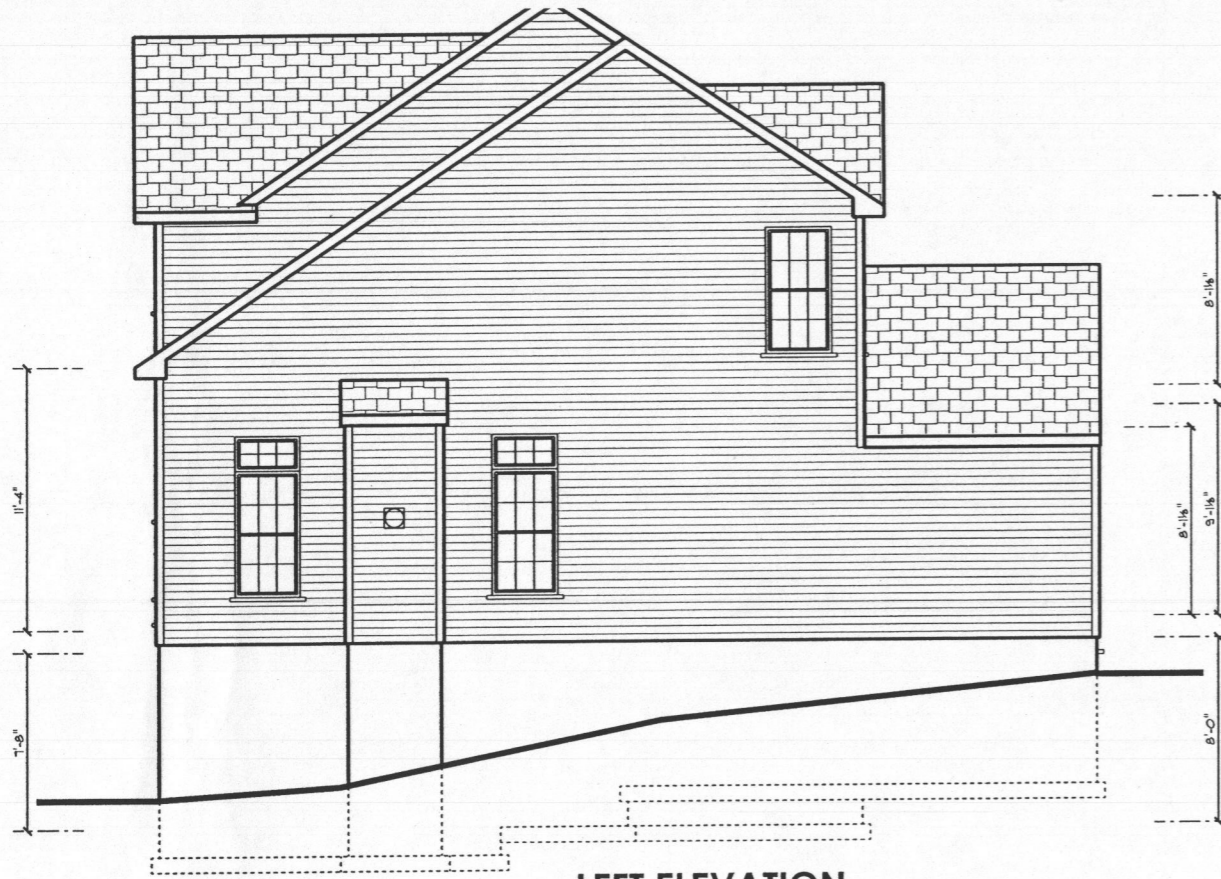
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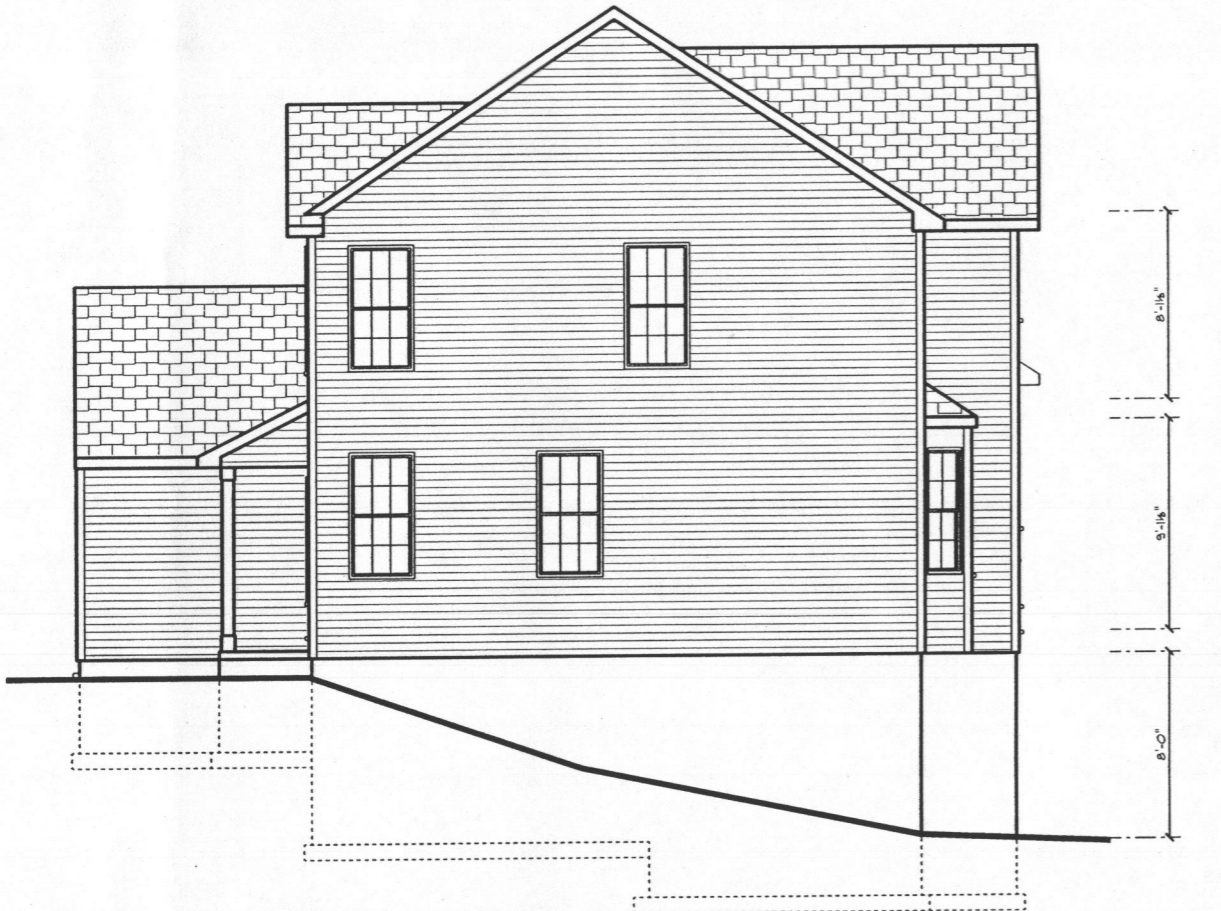
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LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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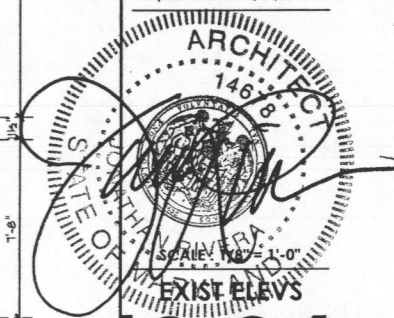
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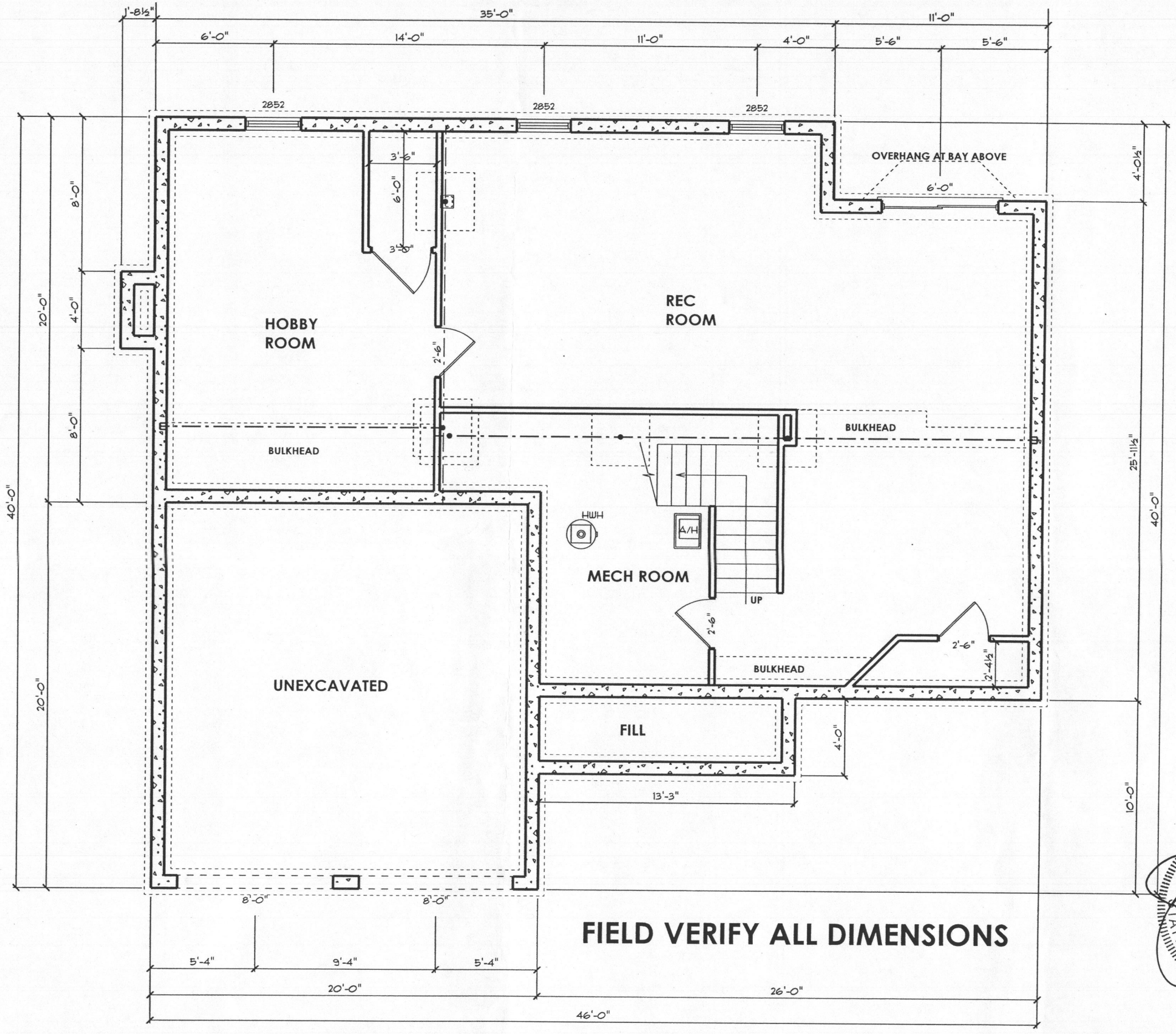
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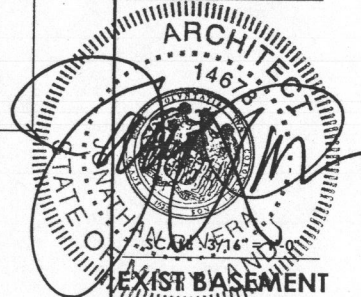
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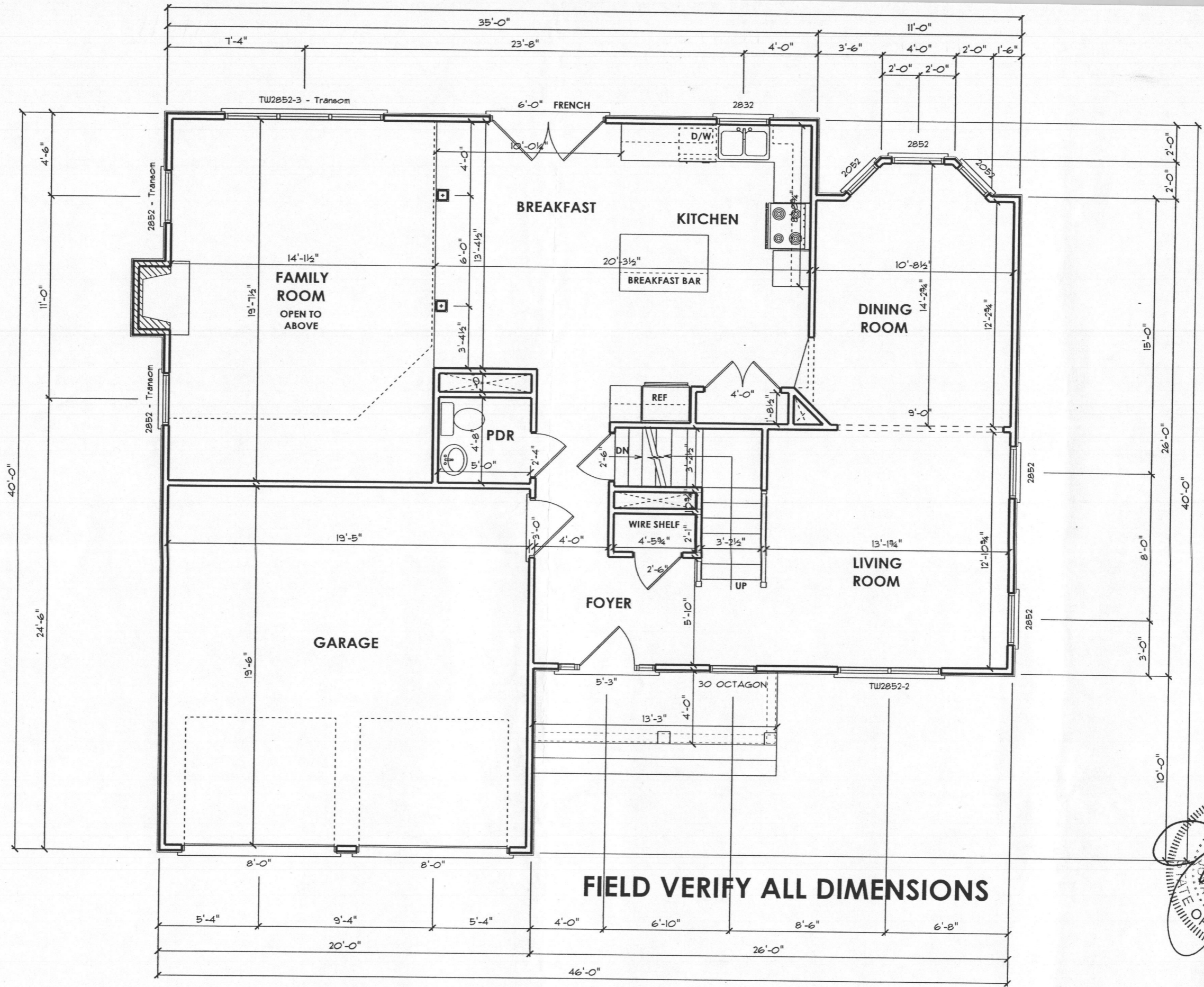
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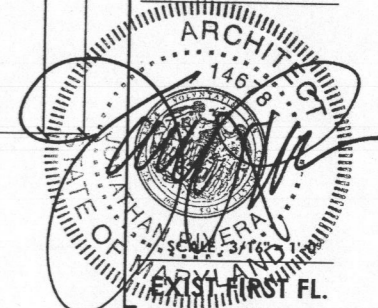
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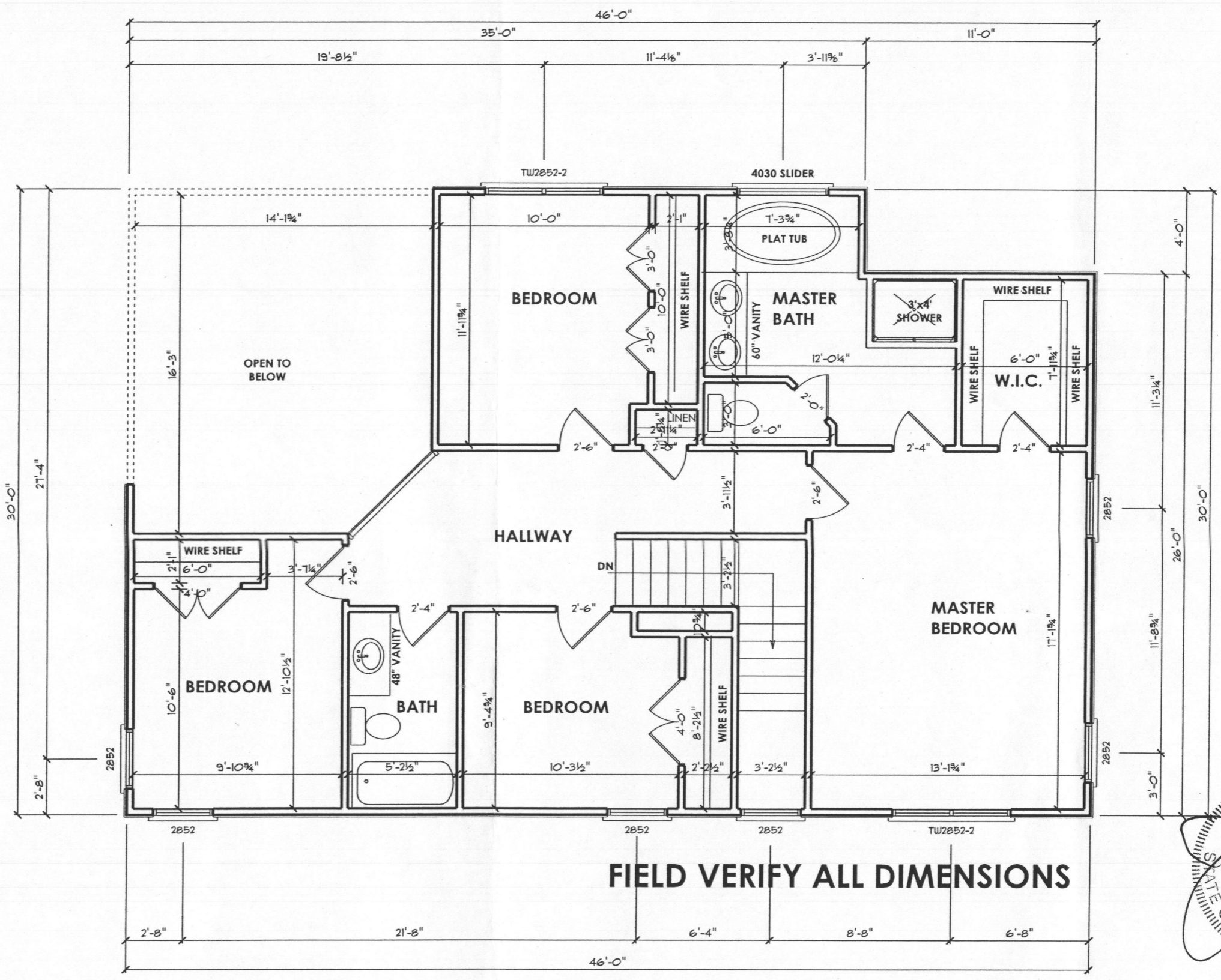
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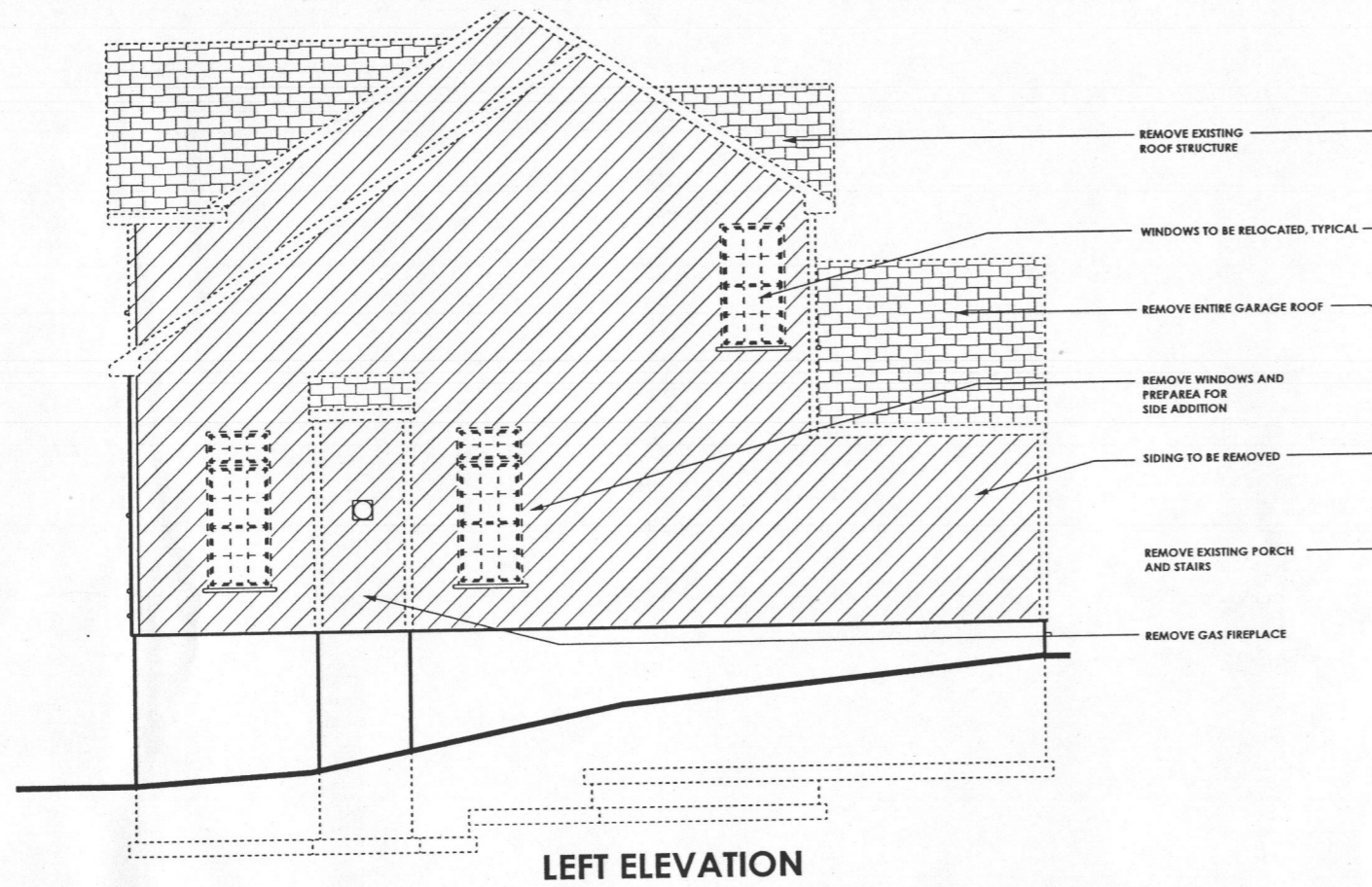
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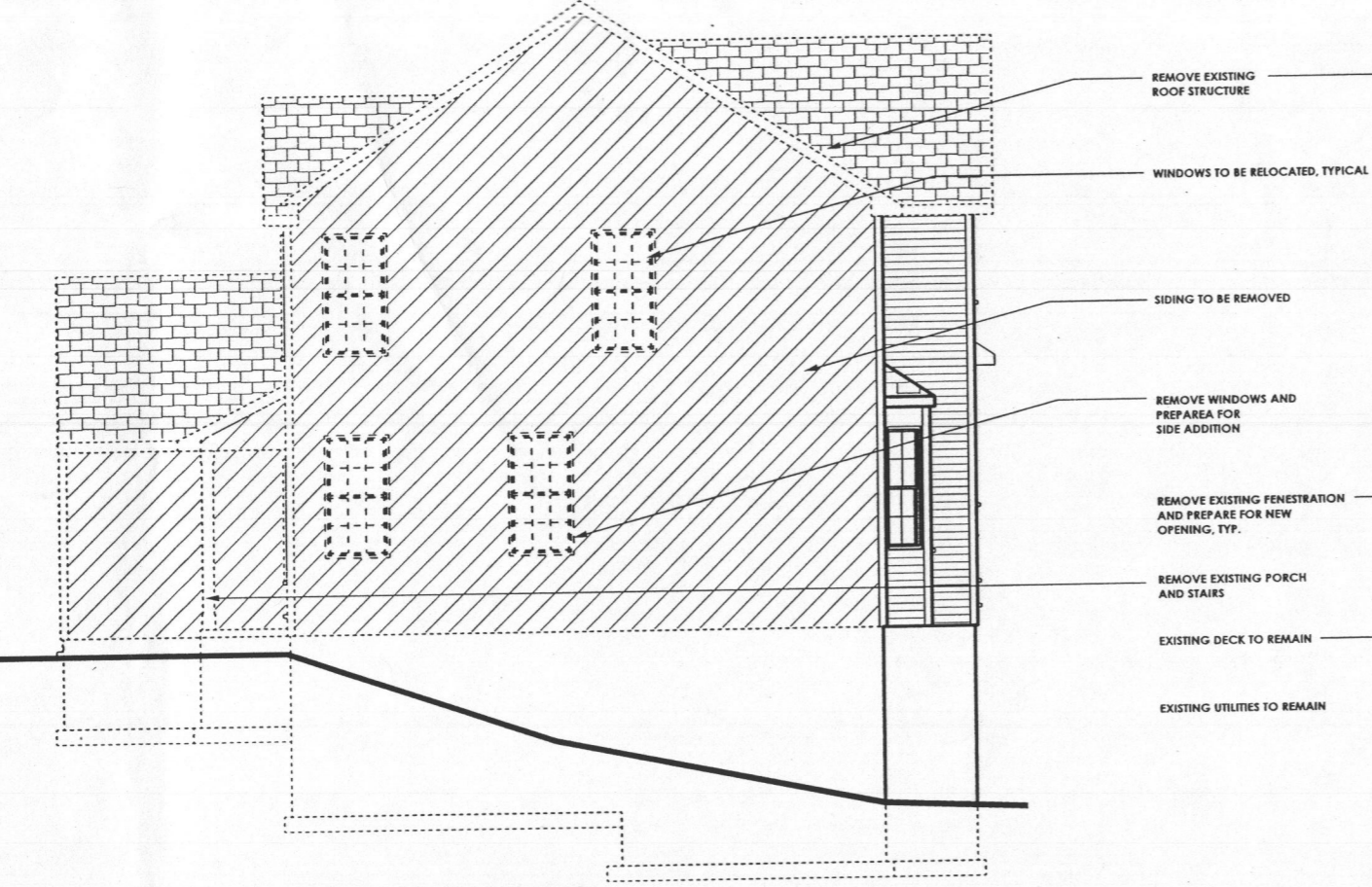
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LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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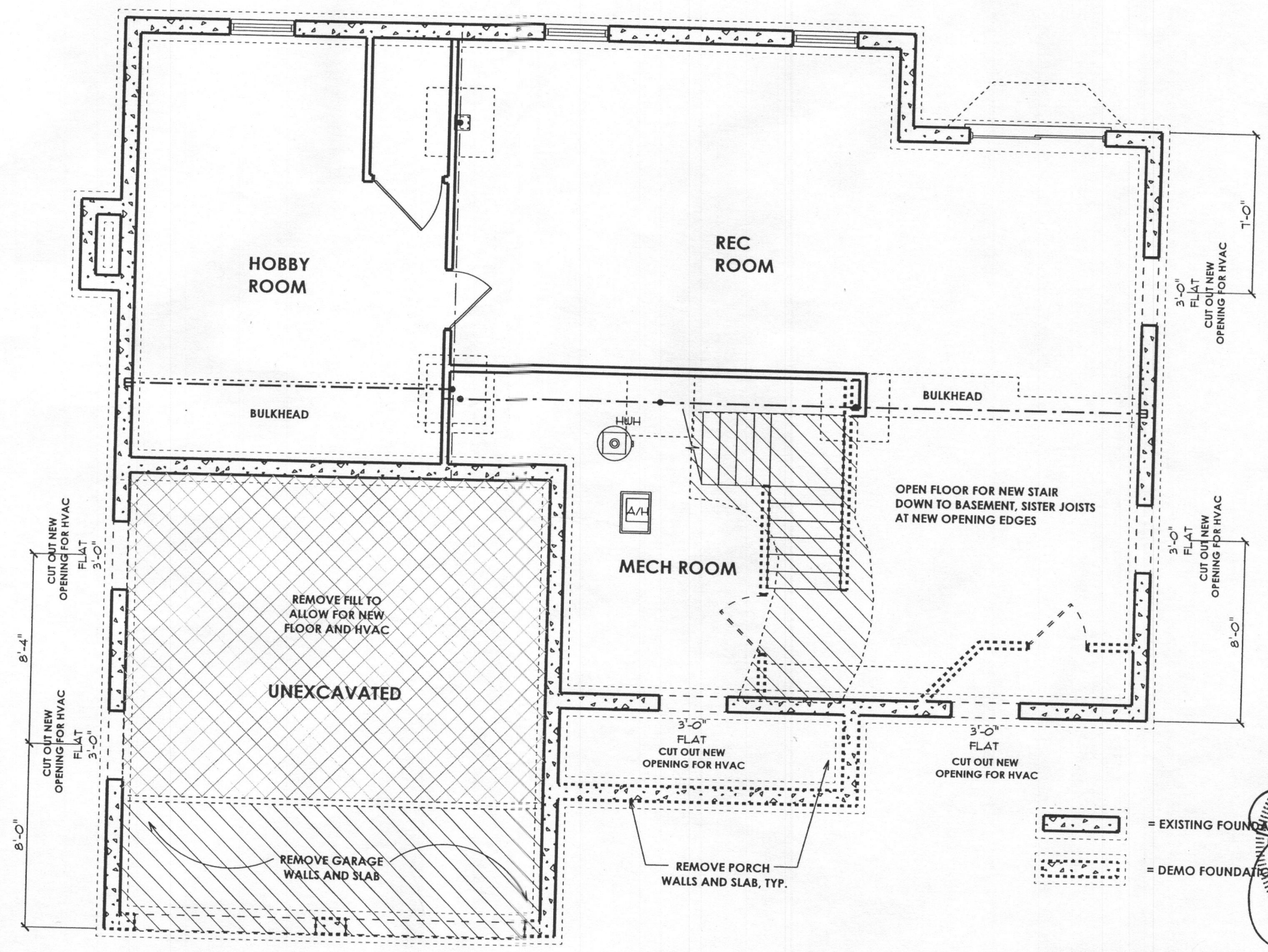
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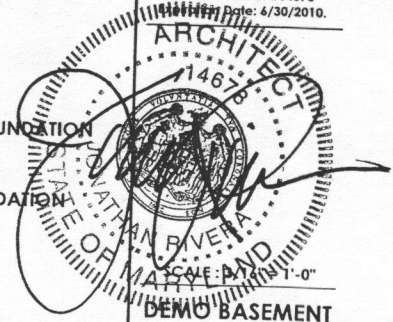


= EXISTING FOUNDATION

 = DEMO FOUNDATION

 = EXISTING WALL

 = DEMO WALL



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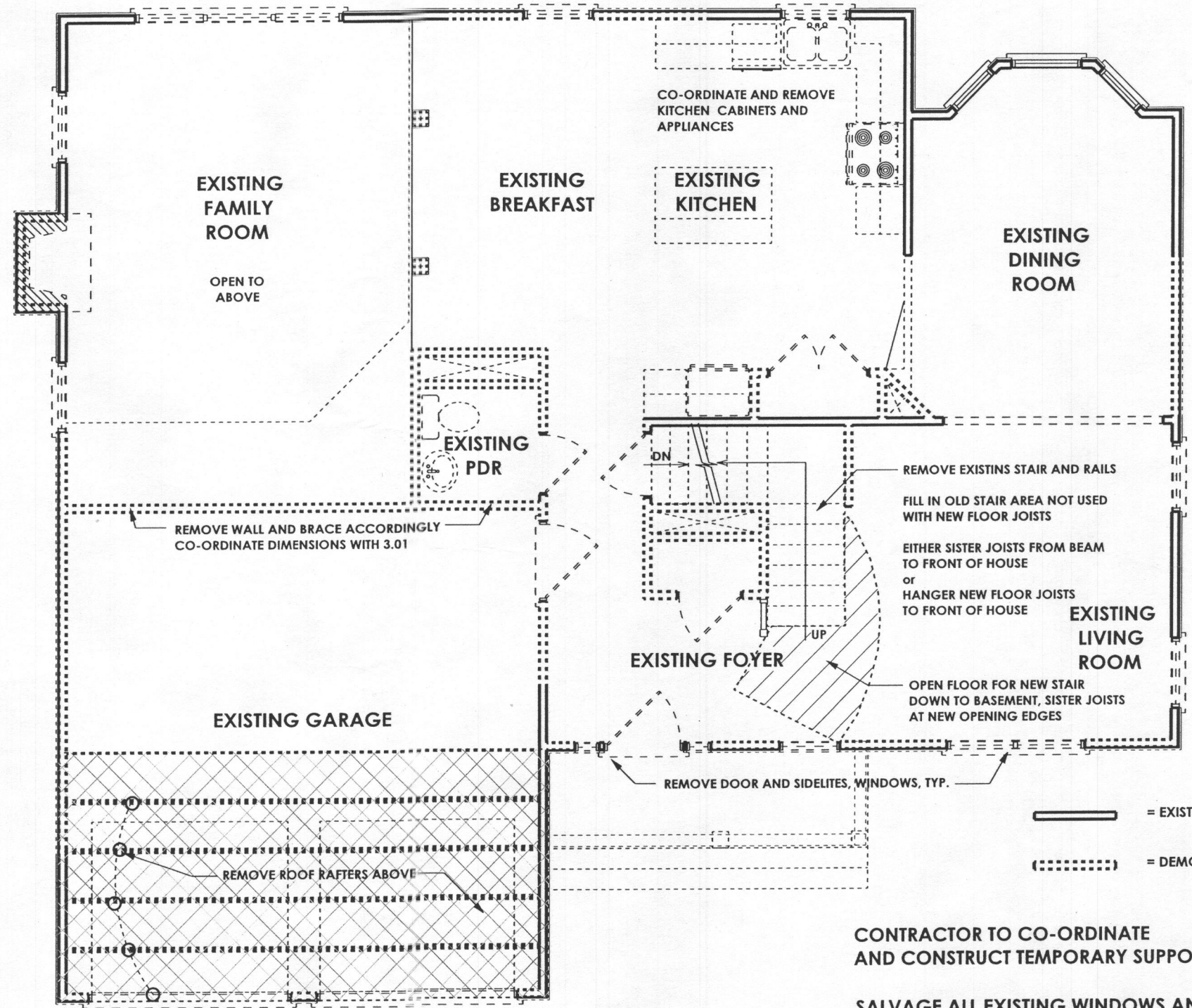
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CONTRACTOR TO CO-ORDINATE AND CONSTRUCT TEMPORARY SUPPORT

SALVAGE ALL EXISTING WINDOWS AND DOORS
 CO-ORDINATE NEW WINDOW LOCATIONS WITH 3.01
 AND PREPARE NEW OPENINGS FOR NEW SASH, TYP.

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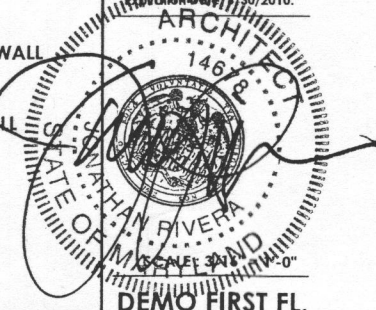
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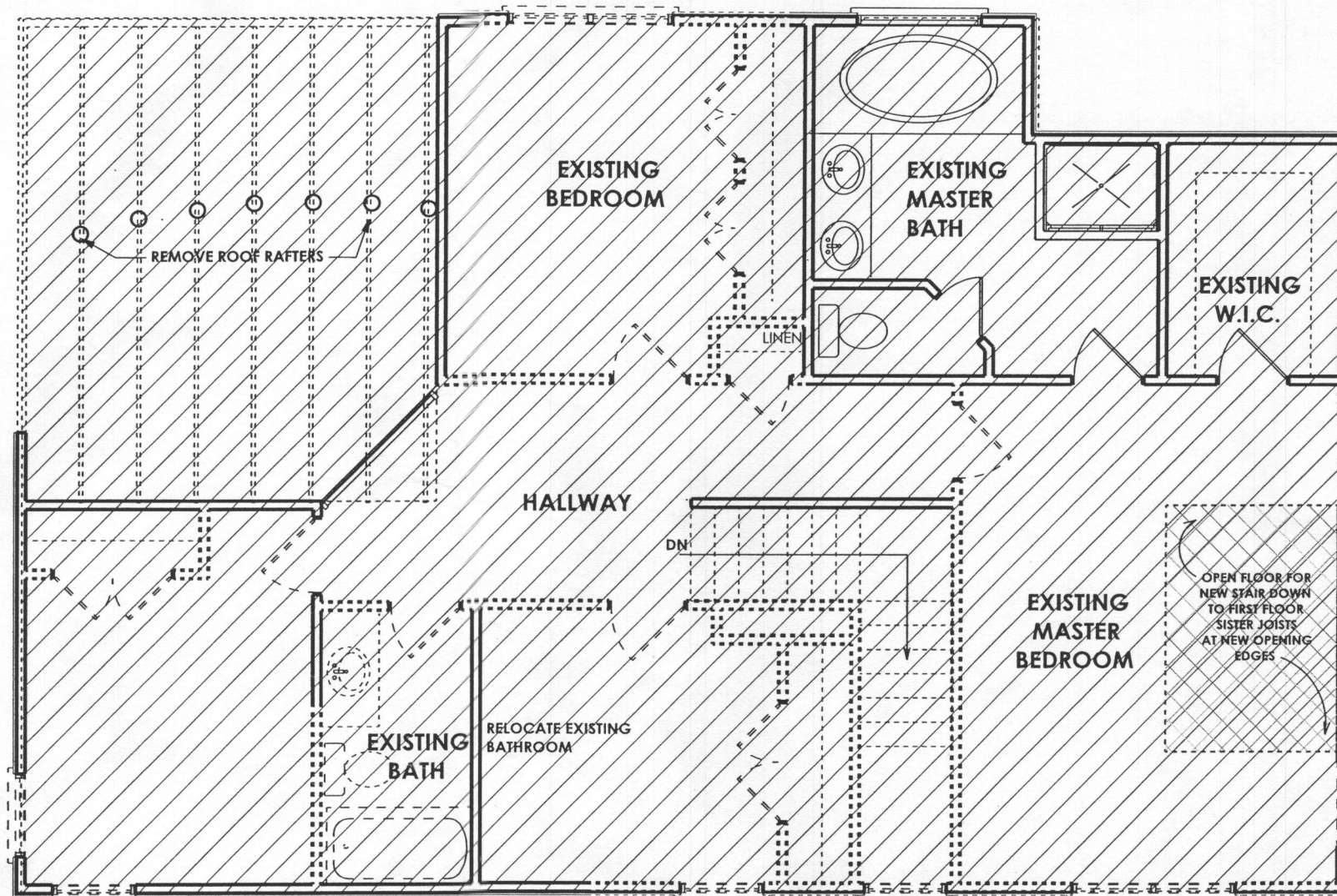
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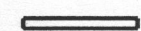
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 = REMOVE ENTIRE EXISTING ROOF TRUSSES

REMOVE WALL AND BRACE ACCORDINGLY
CO-ORDINATE DIMENSIONS WITH 3.01 & 4.01

 = EXISTING WALL

 = DEMO WALL

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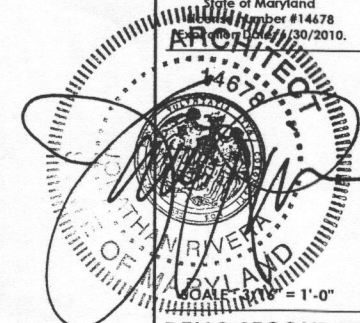
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SCALE = 1'-0"
DEMO SECOND FL.

0.11

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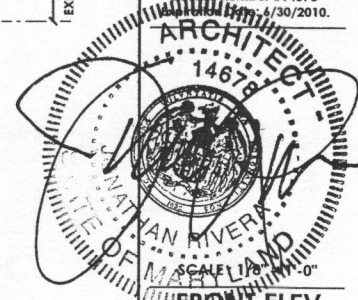
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SCALE 1/8" = 1'-0"
FRONT ELEV

1.01

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ALL TRUSS OVERHANGS/EAVES ARE SHOWN AT 12"



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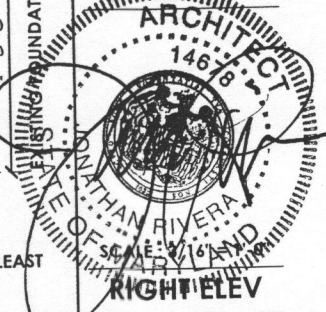
Boosalis Addition

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RIGHT ELEV
1.21
DATE:
August 15, 2008



TYPICAL ROOF
FIBERGLASS SHINGLES OVER
15# ROOFING FELT OVER
7/16" OSB W/CLIPS

CONTINUOUS RIDGE VENT, TYP.
PROVIDE 1 1/2" GAP IN SHEATHING

6" FASCIA BOARD, TYP W/
ALUMINUM WRAP, TYP. W/
VENTED SOFFIT W/
6" RAKE BOARD, TYP.

6" FASCIA BOARD, ALUMINUM
WRAP, TYP W/ VENTED SOFFIT
W/ 8" FRIEZE BOARD, TYP W/
5 1/2" CROWN, TYP.

STANDARD BEADED
VINYL SIDING, TYP.

9'-1 1/2"

CEILING HEIGHT @
WALK-UP CLOSET

EXISTING CEILING HEIGHT
VERIFY IN FIELD

CONCRETE QUOINS, TYP.

CEILING HEIGHT @
MASTER BEDROOM

9'-1 1/2"

BRICK LEDGE WATERTABLE

5/4 x 6 POLY
TRIM BELTLINE, TYP.

EXISTING FOUNDATION HEIGHT
VERIFY IN FIELD

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

EXISTING FOUNDATION HEIGHT

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

CONT. CONC. FOOTING

CONCRETE FOOTER AT LEAST
36" BELOW GRADE

REVISIONS



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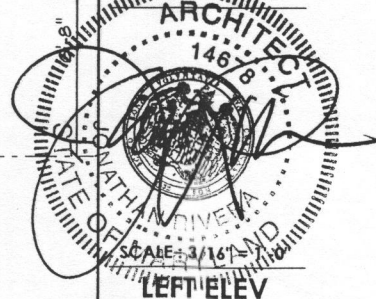
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LEFT ELEV

1.31

DATE:
August 15, 2008



CONTINUOUS RIDGE VENT, TYP.
PROVIDE 1 1/2" GAP IN SHEATHING

6" FASCIA BOARD, TYP W/
ALUMINUM WRAP, TYP. W/
VENTED SOFFIT W/
6" RAKE BOARD, TYP.

STANDARD BEADED
VINYL SIDING, TYP.

EXISTING CEILING HEIGHT
VERIFY IN FIELD

5/4 x 6 POLY
TRIM BELTLINE, TYP.

EXISTING FOUNDATION HEIGHT
VERIFY IN FIELD

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

CONCRETE FOOTER AT LEAST
36" BELOW GRADE

TYPICAL ROOF
FIBERGLASS SHINGLES OVER
15# ROOFING FELT OVER
7/16" OSB W/CLIPS

6" FASCIA BOARD, ALUMINUM WRAP,
TYP W/ VENTED SOFFIT W/ 8" FRIEZE
BOARD, TYP W/ 5 1/2" CROWN, TYP.

CONCRETE QUINS, TYP.

BRICK LEDGE WATERTABLE

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

CONT. CONC. FOOTING

9'-1 1/8"

9'-1 1/8"

8'-0"

9'-1 1/8"

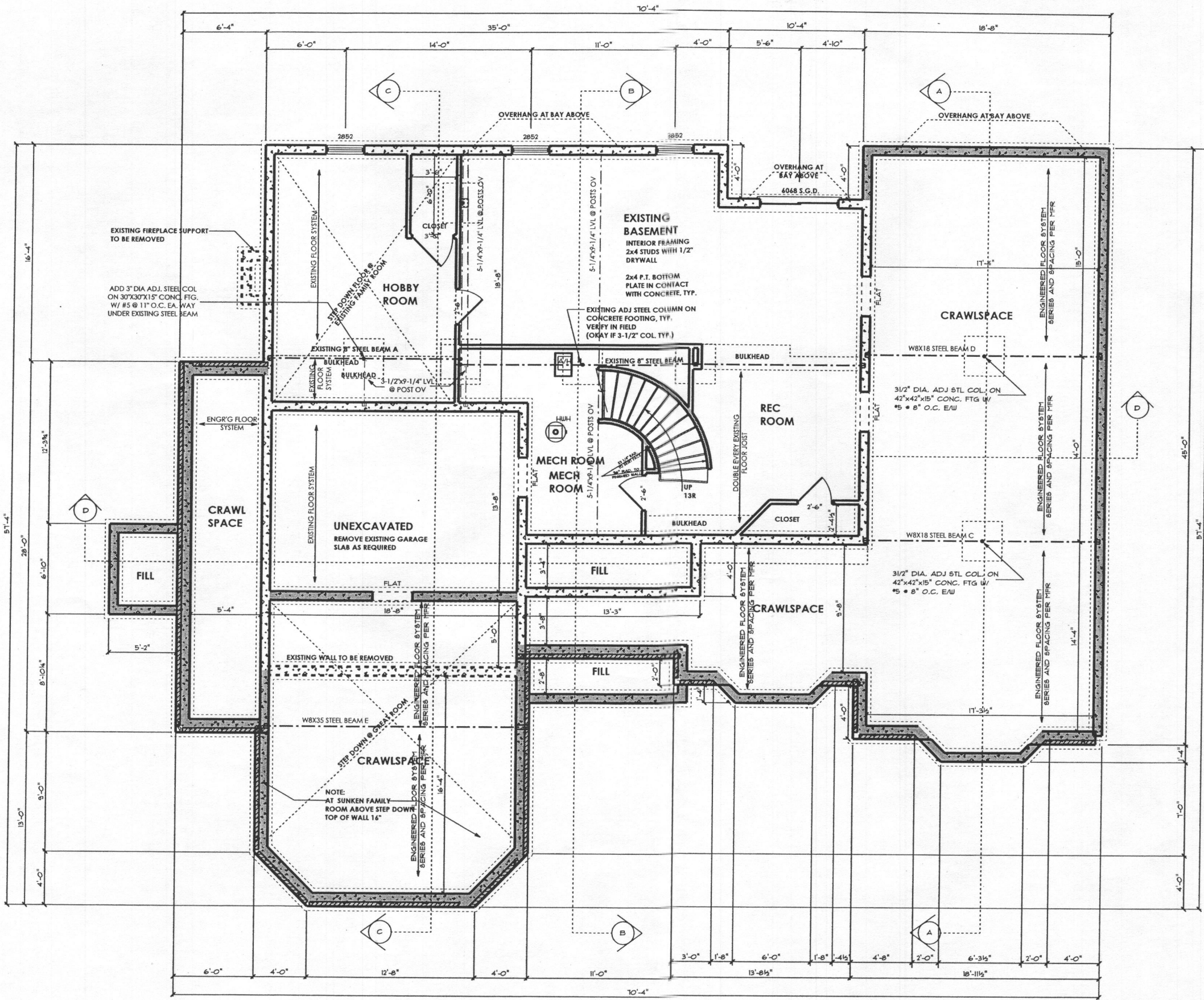
10'-5 1/2"




8'-0"

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-  TYPICAL EXISTING 2x4 PARTITION WALL
-  TYPICAL NEW 2x4 PARTITION WALL
-  TYPICAL EXISTING FOUNDATION WALL 8\"/>

- FOUNDATION NOTES**
- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
 - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THROUGH U.N.O.
 - 3) BASEMENT WINDOW LOCATIONS TO BE VERIFIED IN FIELD.
 - 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, AND ALL OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE.
 - 5) FOUNDATION WALL MIN. THICKNESS 10\"/>

Boosalis Addition

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Exp. 06/30/2010
W. J. ARCHITECT
W. J. ARCHITECT
14678
STATE OF MARYLAND
W. J. ARCHITECT
14678
FOUNDATION

2.01
DATE:
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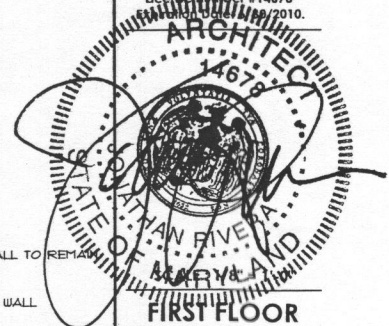
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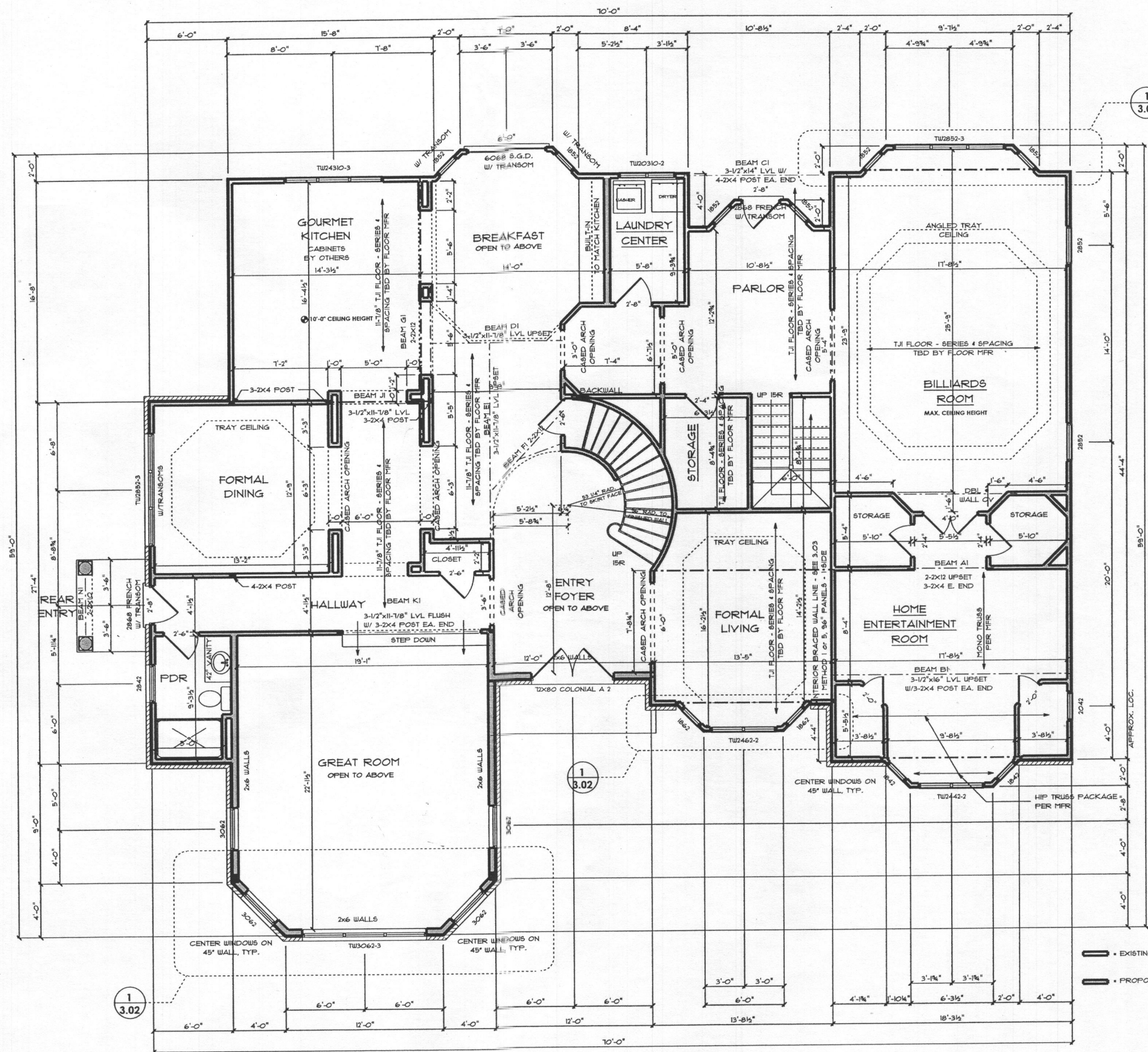
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FIRST FLOOR

3.01

DATE:
August 15, 2008



1
3.02

1
3.02

1
3.02

REVISIONS

△
△

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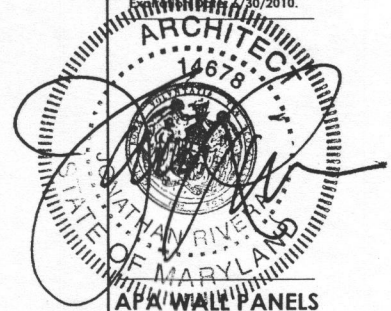
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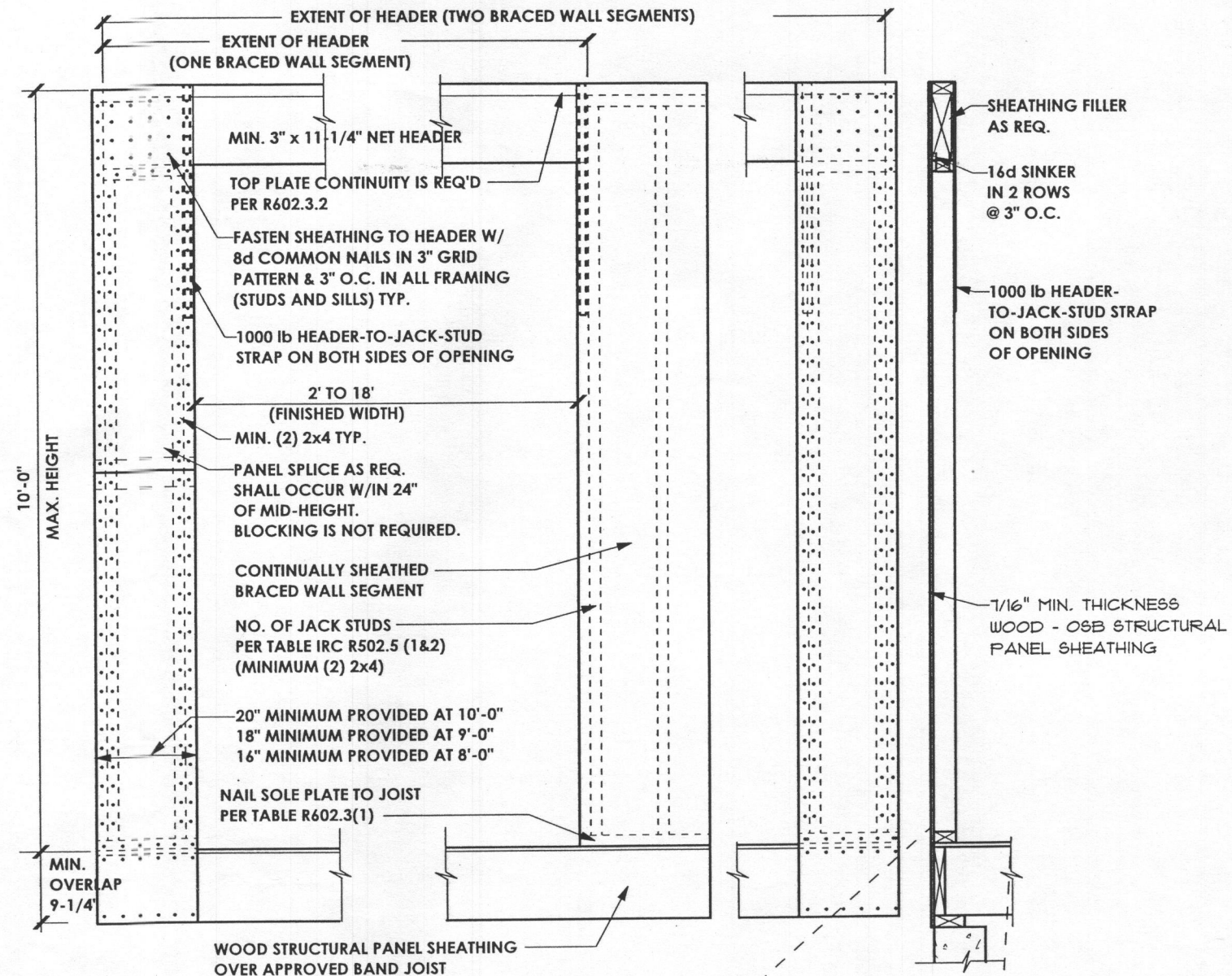
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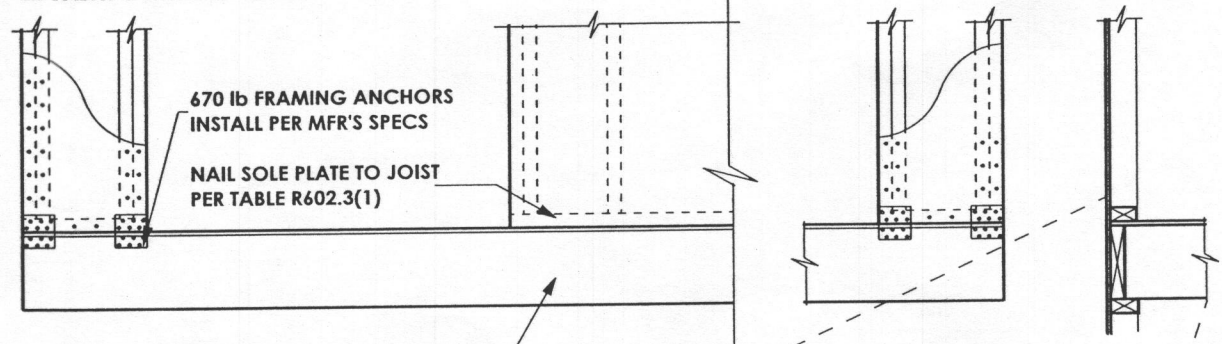
3.02

DATE:
August 15, 2008



RAISED WOOD FLOOR or SECOND FLOOR EXTERIOR ELEVATION

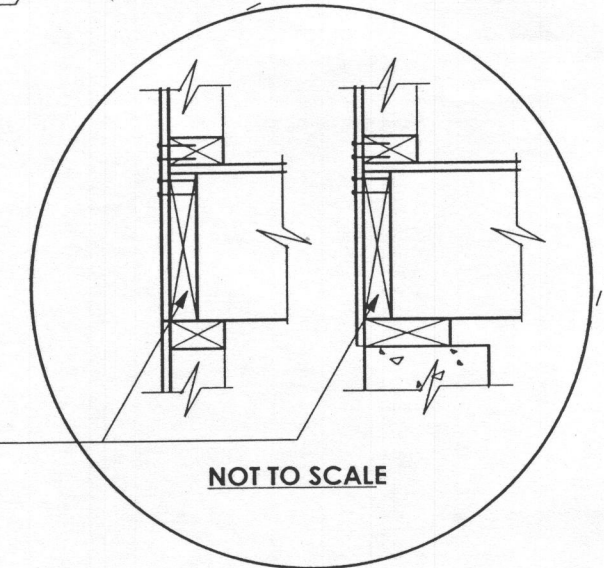
EXTERIOR ELEVATION



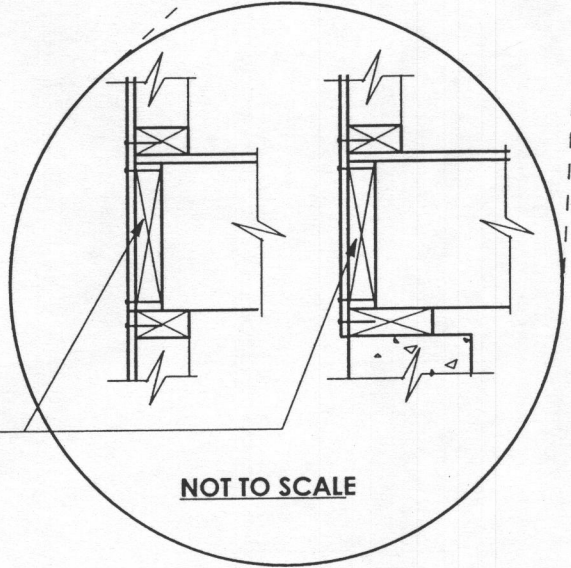
WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND JOIST

RAISED WOOD FLOOR or SECOND FLOOR - OPTION W/ FRAMING ANCHOR

ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST



NOT TO SCALE



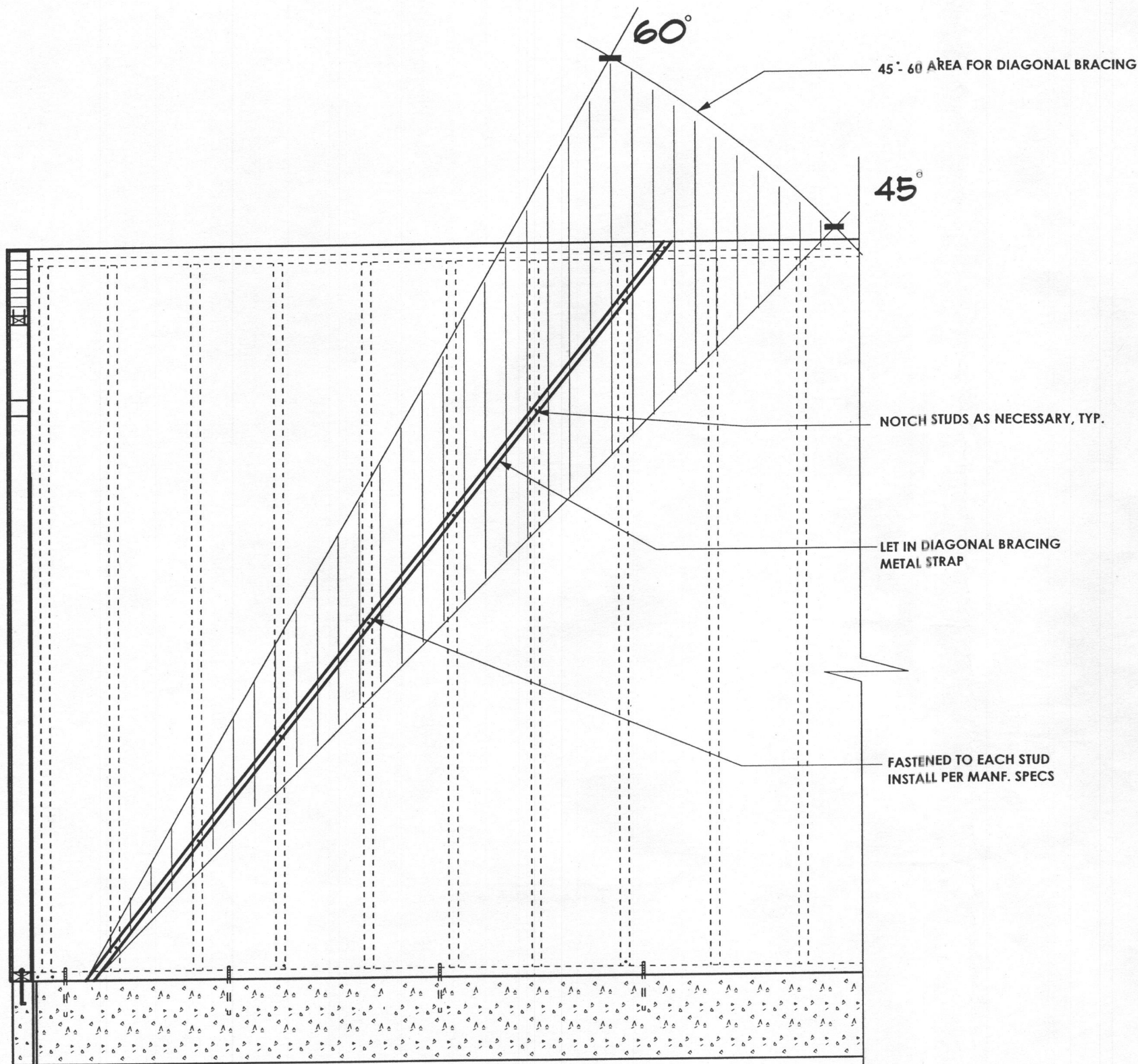
NOT TO SCALE

ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST

REVISIONS



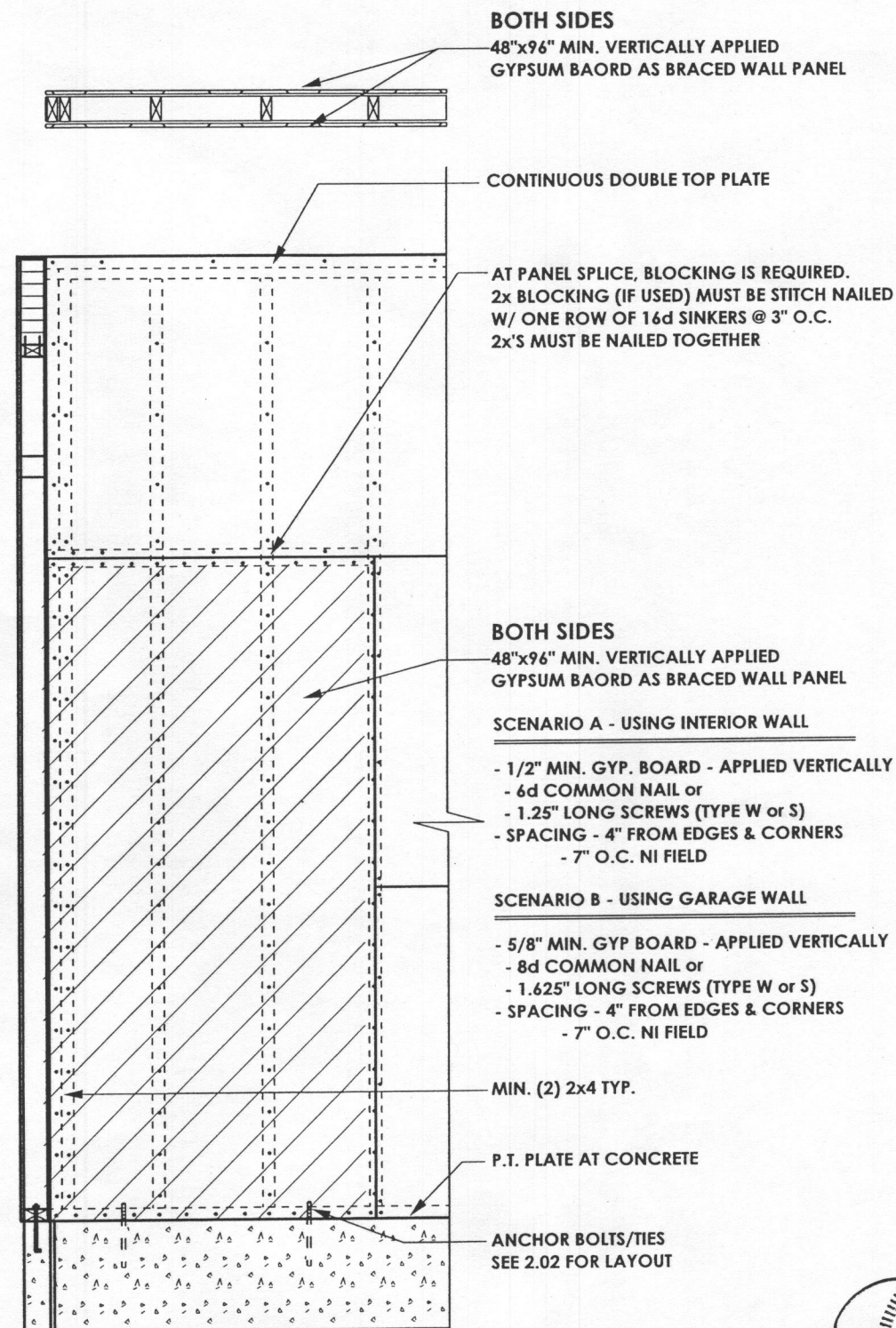
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**INTERIOR ELEVATION
METHOD 1**

R602.10.3(1)
NOMINAL 1"x4" CONTIGUOUS DIAGONAL BRACES LET IN TO THE TOP AND BOTTOM PLATES AND THE INTERVENING STUDS OR APPROVED METAL STRAP DEVICES INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SEPCIFICATIONS. THE LET IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60 DEGREES OR LESS THAN 45 DEGREES FROM THE HORIZONTAL

OR



**INTERIOR ELEVATION
METHOD 5**

R602.10.3(5)
(GYPSUM BOARD WITH MINIMUM 1/2" THICKNESS PLACED ON STUDS SPACED A MAXIMUM 24" O.C. AND FASTENED AT 7" O.C. WITH SIZE OF FASTENER SPECIFIED IN TABLE R602.3(1) FOR SHEATHING AND TABLE R702.3.5 FOR INTERIOR GYP BOARD

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INTERIOR BRACING

3.03

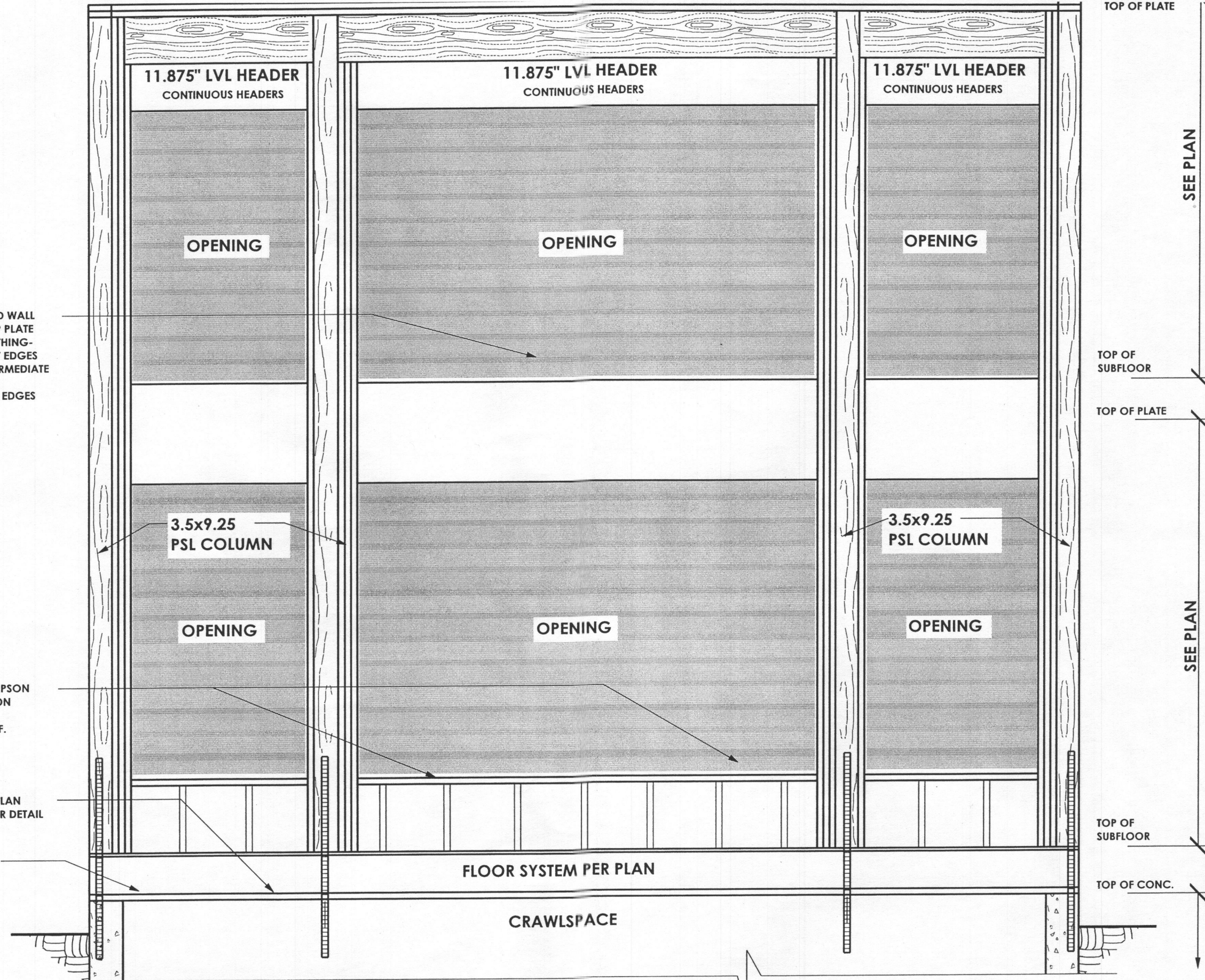
DATE:
August 15, 2008

2x6 BALLOON FRAMED WALL TO UNDERSIDE OF TOP PLATE WITH 7/16" OSB SHEATHING- 8D NAILS @ 3" O.C. AT EDGES WITH 12" O.C. AT INTERMEDIATE SUPPORTS. BLOCK UNSUPPORTED EDGES

USP STAD14RJ OR SIMPSON STD14RJ FOUNDATION STRAP - EACH END INSTALLED PER MANUF. SPECS.

ANCHOR BOLTS PER PLAN SEE 0.02 AND 5.10 FOR DETAIL

(1) ROW 8D NAILS @ 4" O.C. TO SILL



WALL BRACING AT 2-STORY FAMILY ROOM

SEE PLAN

SEE PLAN

TOP OF PLATE

TOP OF SUBFLOOR

TOP OF PLATE

TOP OF SUBFLOOR

TOP OF CONC.

FLOOR SYSTEM PER PLAN

CRAWLSPACE

11.875" LVL HEADER
CONTINUOUS HEADERS

11.875" LVL HEADER
CONTINUOUS HEADERS

11.875" LVL HEADER
CONTINUOUS HEADERS

OPENING

OPENING

OPENING

3.5x9.25
PSL COLUMN

OPENING

OPENING

3.5x9.25
PSL COLUMN

OPENING

JRA ARCHITECTURE

1242 MORGAN STATION ROAD
WOODBINE, MARYLAND 21797
443.226.5745

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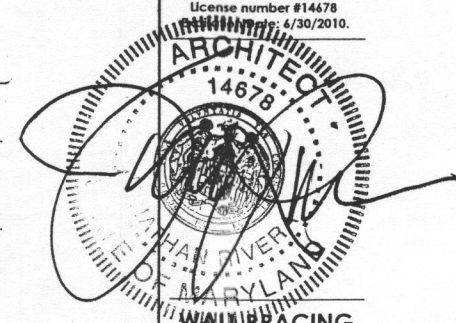
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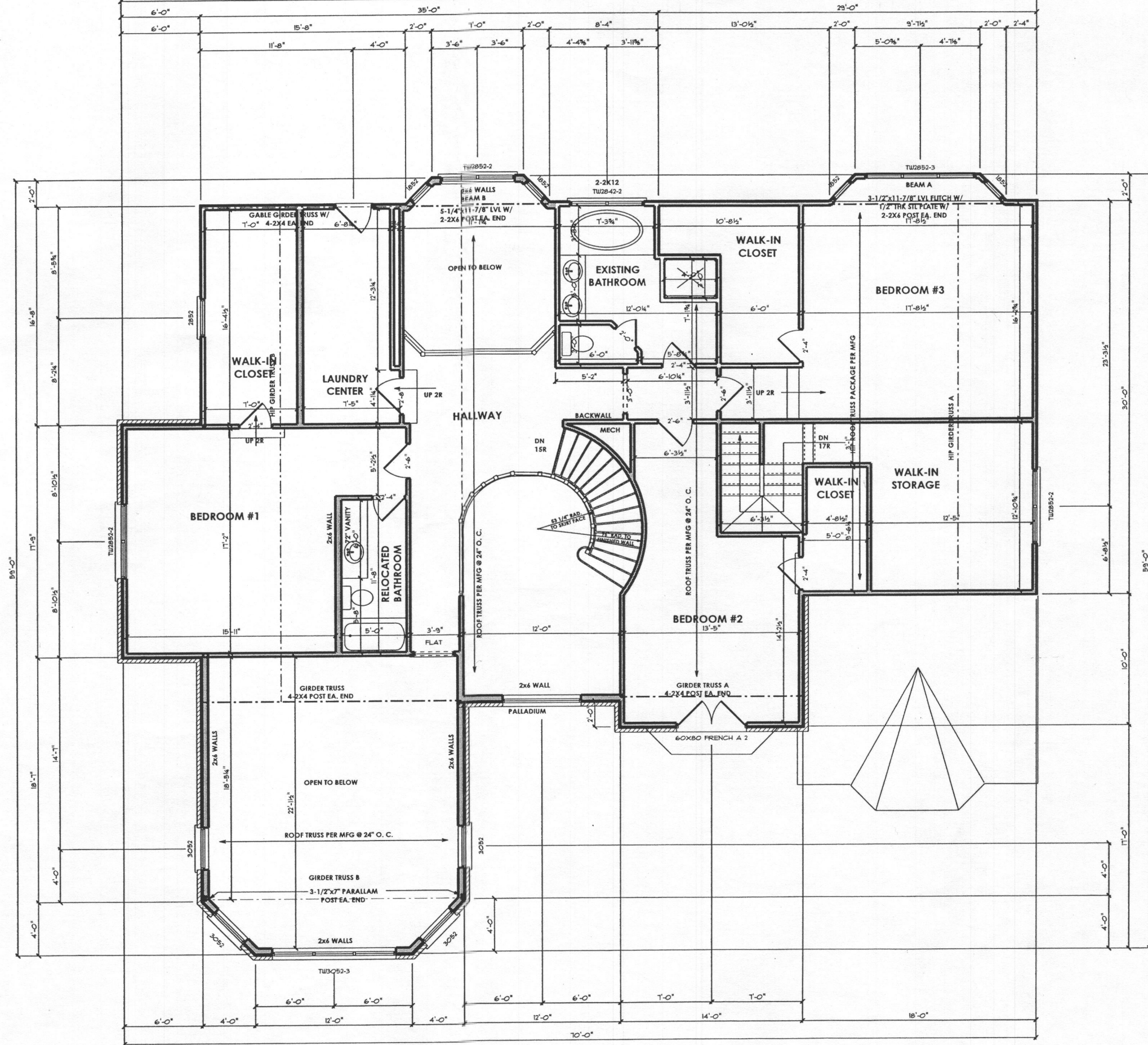
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WALL BRACING

3.04

DATE: August 15, 2008



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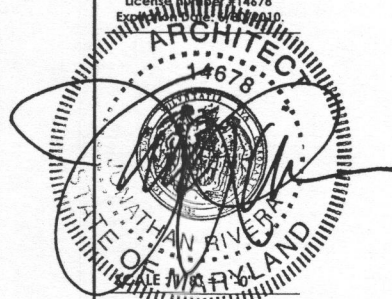
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 E. W. BOOSALIS



SECOND FLOOR

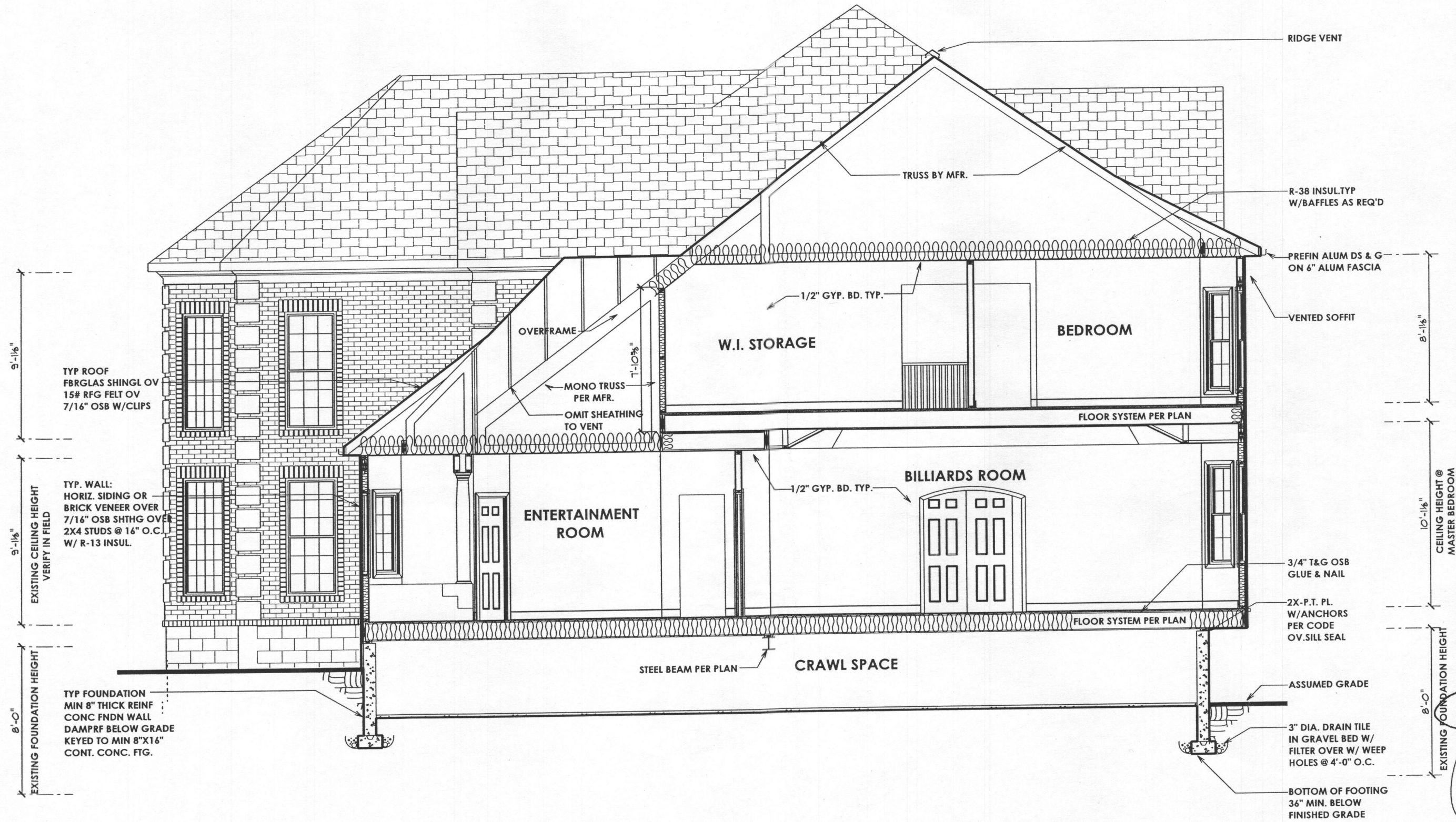
4.01

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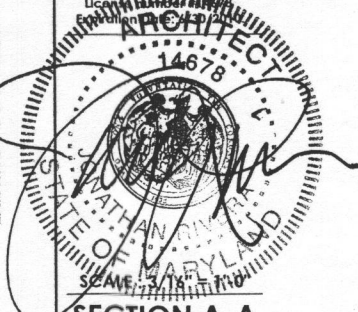
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SECTION A-A

15.01

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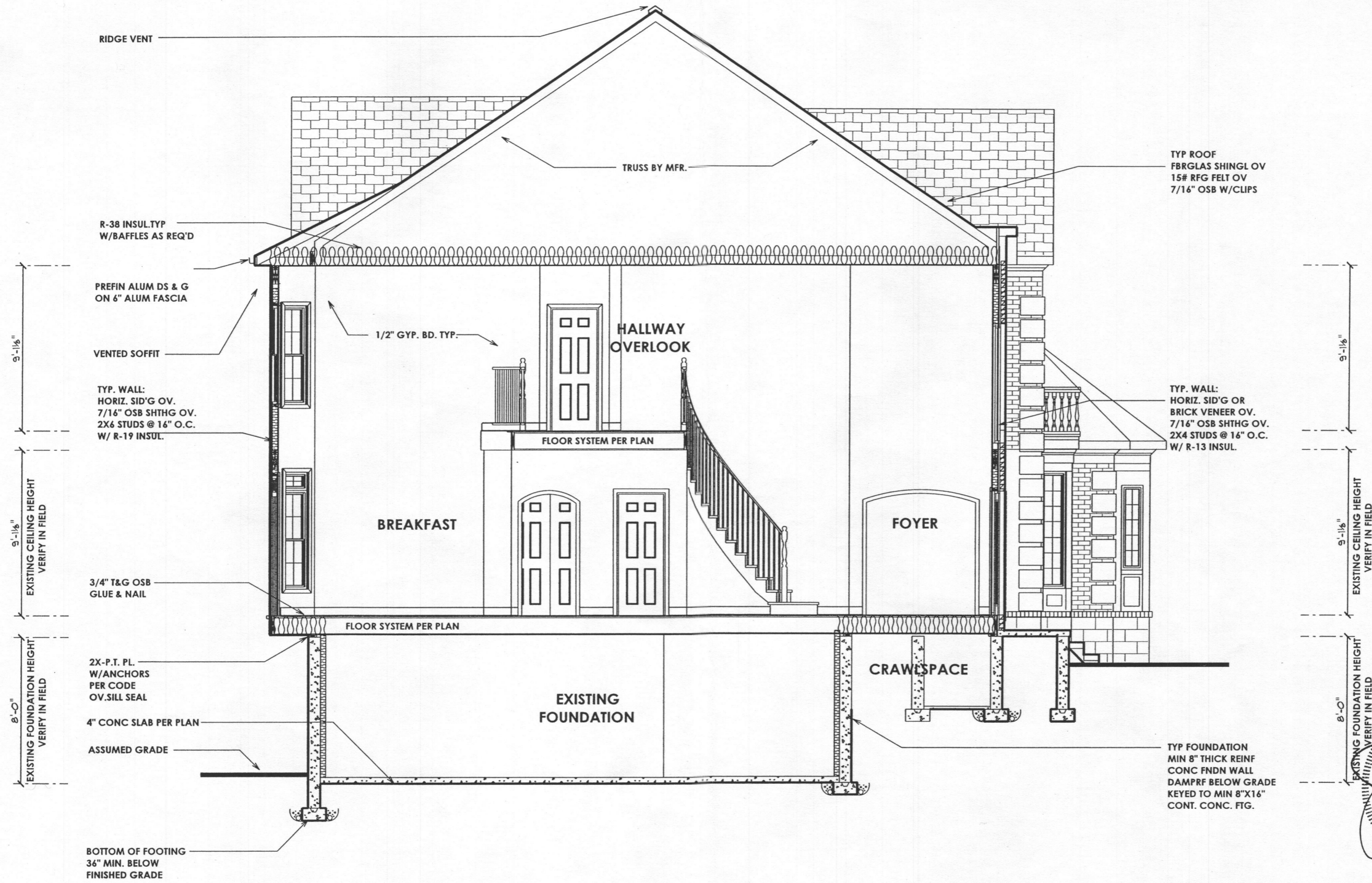
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SECTION B1-B1

5.02

DATE: August 15, 2008



RIDGE VENT

TRUSS BY MFR.

TYP ROOF
FBRGLAS SHINGL OV
15# RFG FELT OV
7/16" OSB W/CLIPS

R-38 INSUL.TYP
W/BAFFLES AS REQ'D

PREFIN ALUM DS & G
ON 6" ALUM FASCIA

1/2" GYP. BD. TYP.

HALLWAY
OVERLOOK

TYP. WALL:
HORIZ. SID'G OR
BRICK VENEER OV.
7/16" OSB SHTHG OV.
2X4 STUDS @ 16" O.C.
W/ R-13 INSUL.

VENTED SOFFIT

TYP. WALL:
HORIZ. SID'G OV.
7/16" OSB SHTHG OV.
2X6 STUDS @ 16" O.C.
W/ R-19 INSUL.

FLOOR SYSTEM PER PLAN

BREAKFAST

FOYER

9'-1 1/8"

EXISTING CEILING HEIGHT
VERIFY IN FIELD

9'-1 1/8"

EXISTING FOUNDATION HEIGHT
VERIFY IN FIELD

8'-0"

9'-1 1/8"

EXISTING CEILING HEIGHT
VERIFY IN FIELD

9'-1 1/8"

EXISTING FOUNDATION HEIGHT
VERIFY IN FIELD

8'-0"

3/4" T&G OSB
GLUE & NAIL

FLOOR SYSTEM PER PLAN

CRAWLSPACE

EXISTING
FOUNDATION

TYP FOUNDATION
MIN 8" THICK REINF
CONC FNDN WALL
DAMPF BELOW GRADE
KEYED TO MIN 8"X16"
CONT. CONC. FIG.

2X-P.T. PL.
W/ANCHORS
PER CODE
OV.SILL SEAL

4" CONC SLAB PER PLAN

ASSUMED GRADE

BOTTOM OF FOOTING
36" MIN. BELOW
FINISHED GRADE

REVISIONS



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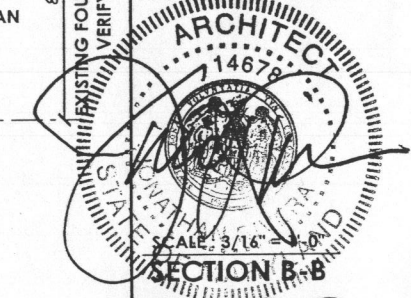
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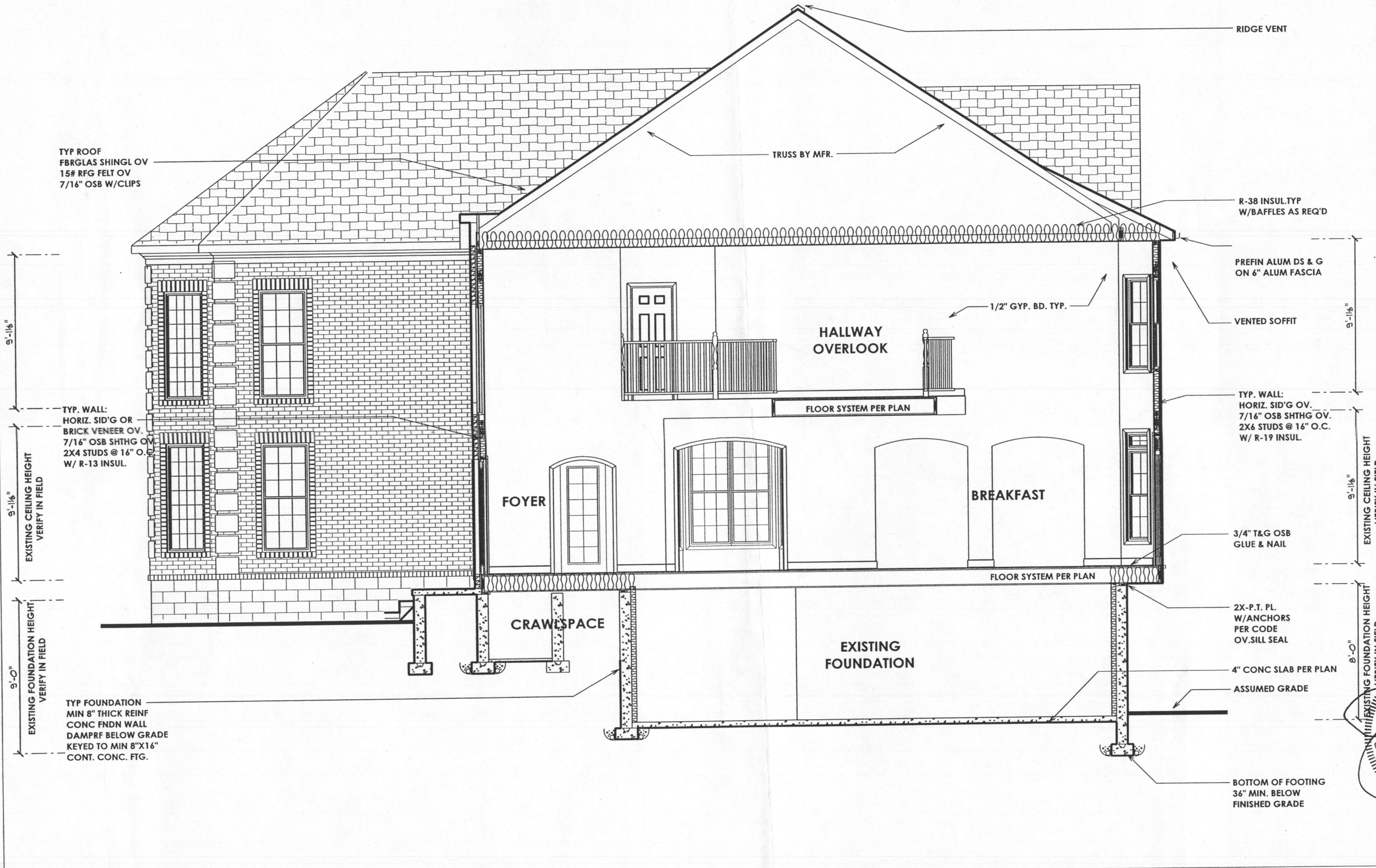
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5.02
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REVISIONS

- △
- △

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 Clarksville, Maryland

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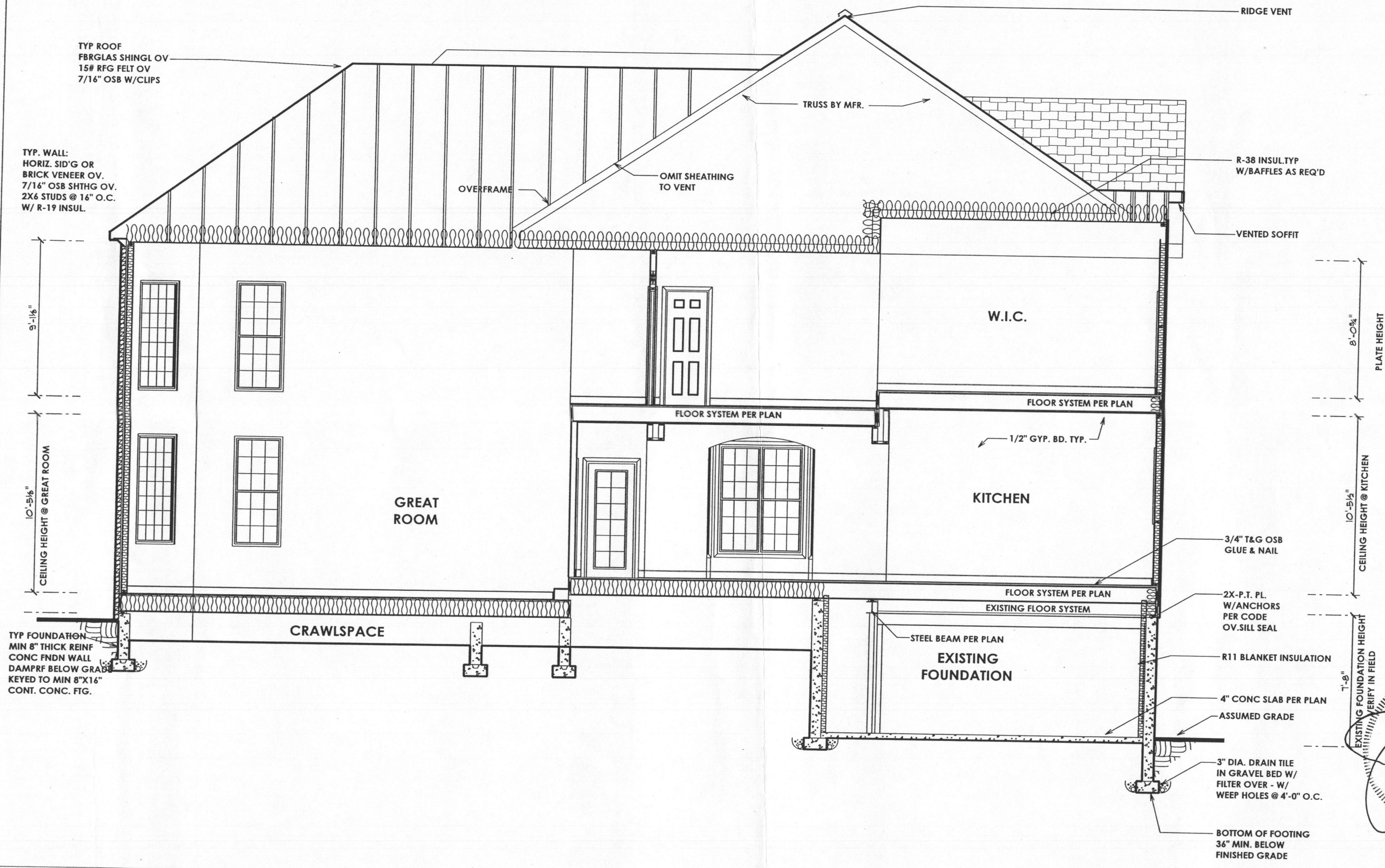
PROJECT NO:
 SANCHEZ-02

ISSUE DATES:
 06-07-2008 PERMIT SET

PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland License number #14678 Expiration Date: 6/30/2010.



5.03
 DATE:
 August 15, 2008



TYP ROOF
 FBRGLAS SHINGL OV
 15# RFG FELT OV
 7/16" OSB W/CLIPS

TYP WALL:
 HORIZ. SID'G OR
 BRICK VENEER OV.
 7/16" OSB SHTHG OV.
 2X6 STUDS @ 16" O.C.
 W/ R-19 INSUL.

9'-11/8"
 10'-5 1/2"
 CEILING HEIGHT @ GREAT ROOM

TYP FOUNDATION
 MIN 8" THICK REINF
 CONC FNDN WALL
 DAMPRF BELOW GRADE
 KEYED TO MIN 8"X16"
 CONT. CONC. FIG.

RIDGE VENT

TRUSS BY MFR.

OVERFRAME

OMIT SHEATHING
 TO VENT

R-38 INSUL TYP
 W/BAFFLES AS REQ'D

VENTED SOFFIT

W.I.C.

FLOOR SYSTEM PER PLAN

FLOOR SYSTEM PER PLAN

1/2" GYP. BD. TYP.

KITCHEN

GREAT ROOM

8'-0 3/4"
 PLATE HEIGHT

10'-5 1/2"
 CEILING HEIGHT @ KITCHEN

1'-8"
 EXISTING FOUNDATION HEIGHT
 VERIFY IN FIELD

3/4" T&G OSB
 GLUE & NAIL

2X-P.T. PL.
 W/ANCHORS
 PER CODE
 OV.SILL SEAL

R11 BLANKET INSULATION

4" CONC SLAB PER PLAN
 ASSUMED GRADE

3" DIA. DRAIN TILE
 IN GRAVEL BED W/
 FILTER OVER - W/
 WEEP HOLES @ 4'-0" O.C.

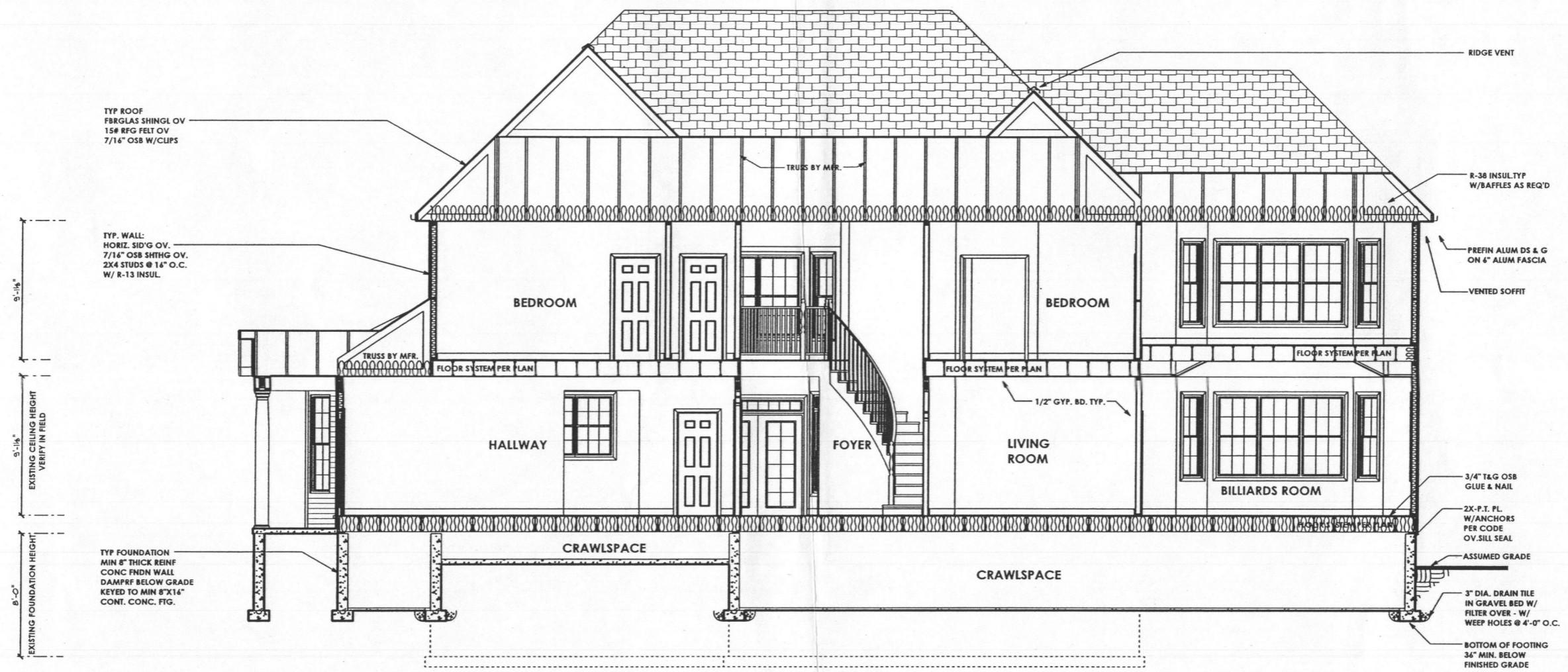
BOTTOM OF FOOTING
 36" MIN. BELOW
 FINISHED GRADE

STEEL BEAM PER PLAN
 EXISTING FOUNDATION

REVISIONS



BY USING THESE PLANS - YOU ARE ACCEPTING THIS AGREEMENT. This is a license Agreement, you accept by using these plans to build a (1) house/addition. Notice: These drawings are protected by federal copyright, as secured by JNA-architecture, LLC, and are not for use in creating copies or derivative drawings. They are also not released for photocopy or any dissemination that is not approved by JNA, LLC. The associated working drawings are for use in building a (one) house/addition.



TYP ROOF
FBRGLAS SHINGL OV
15# RFG FELT OV
7/16" OSB W/CLIPS

TYP. WALL:
HORIZ. SID'G OV.
7/16" OSB SHING OV.
2X4 STUDS @ 16" O.C.
W/ R-13 INSUL.

TYP FOUNDATION
MIN 8" THICK REINF
CONC FNDN WALL
DAMPFR BELOW GRADE
KEYED TO MIN 8"x14"
CONT. CONC. FIG.

9'-1 1/4"
EXISTING CEILING HEIGHT
VERIFY IN FIELD
9'-1 1/4"
EXISTING FOUNDATION HEIGHT
8'-0"

9'-1 1/4"
PROPOSED CEILING HEIGHT
@ MASTER BEDROOM
10'-1 1/4"
EXISTING FOUNDATION HEIGHT
8'-0"

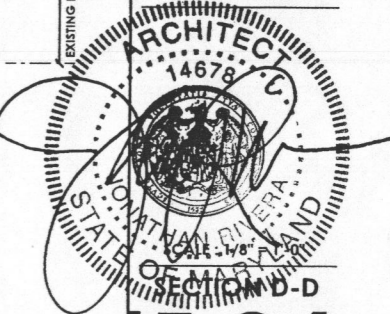
Boosalis Addition
12080 Hall Shop Road
Clarksville, Maryland

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PROJECT NO:
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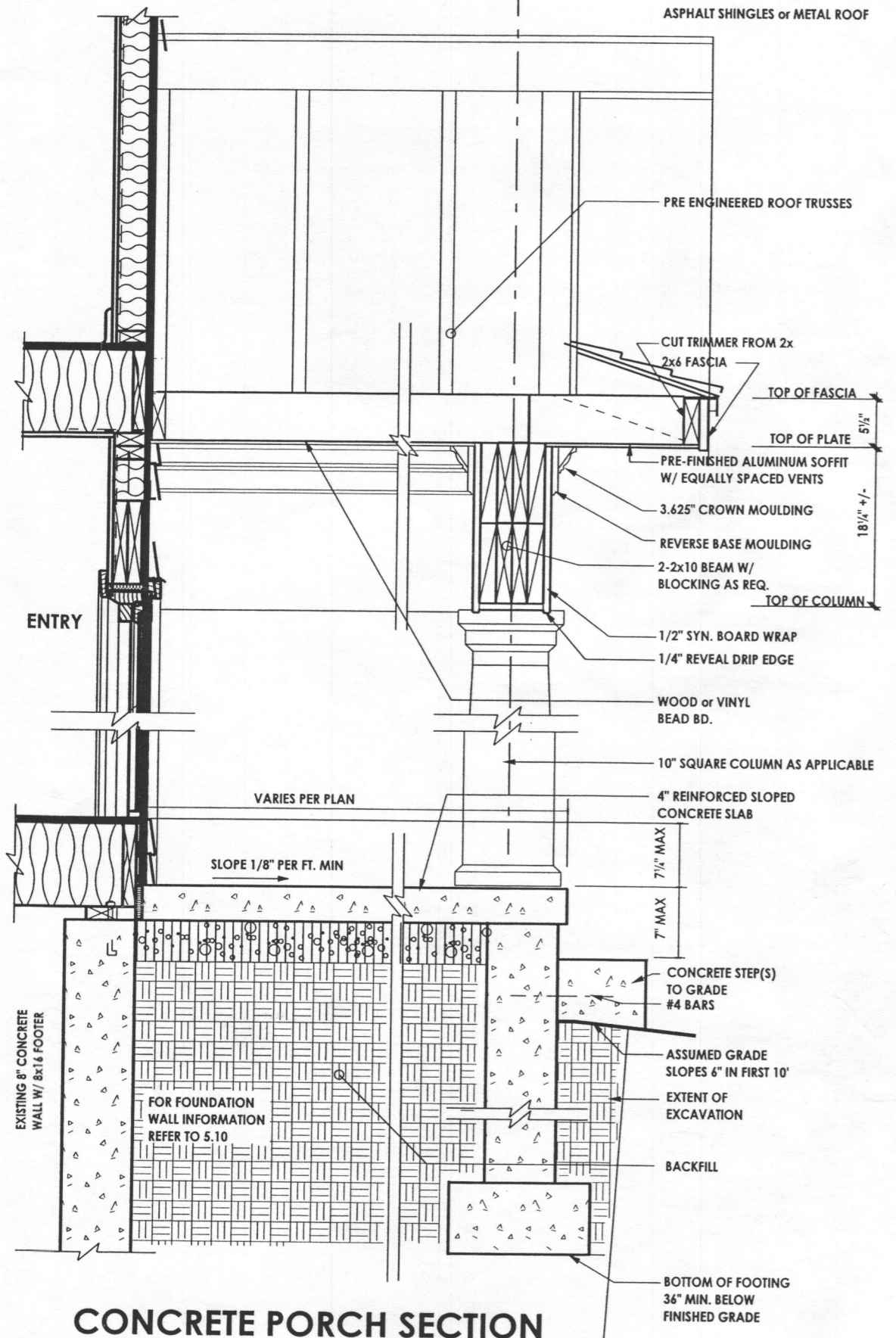
ISSUE DATES:
06-07-2008 PERMIT SET

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License number #14678
Expiration Date: 6/30/2010.

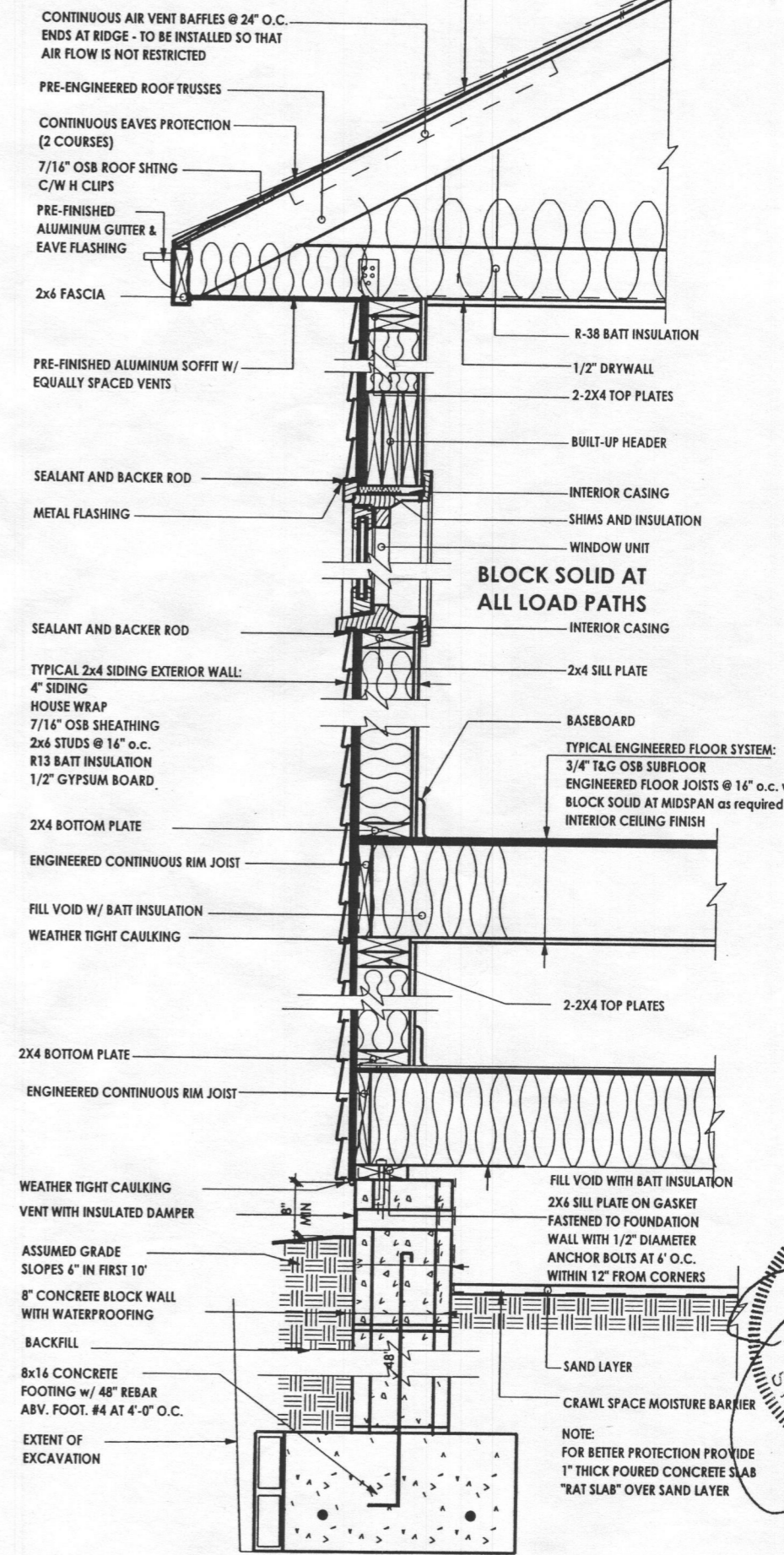


5.04

DATE:
August 15, 2008



CONCRETE PORCH SECTION
COLUMNS AND ROOF PER ELEVATION



NOTE:
FOR BETTER PROTECTION PROVIDE
1" THICK POURED CONCRETE SLAB
"RAT SLAB" OVER SAND LAYER

REVISIONS



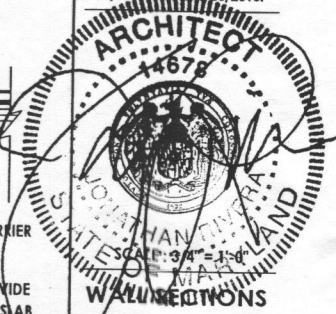
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This is a license agreement you accept by using these
plans to build a () house/addition
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drawings are for use in building a (one) house/addition

Boosalis Addition
12080 Hall Shop Road
Clarksville, Maryland

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PROJECT NO:
SANCHEZ-02
ISSUE DATES:
06-07-2008 PERMIT SET

PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland
License number #14678
Expiration Date: 6/30/2010.



5.10
DATE:
July 30, 2008

MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0' of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-13	3 1/2"	2x4 Walls (exterior)
R-19	5 1/2"	2x6 Walls (exterior)
R-19	5 1/2"	Crawl Space
R-19	5 1/2"	Floors exposed to unheated condition
R-30 Batt. (with M.E.C. check calculations)	9"	Roof
R-30 Blown (with M.E.C. check calculations)		Apply blown insulation as required by manufacturer's specifications
R-38 Batt.	12"	Roof
R-38 Blown		Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

SITework

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 3000 PSF. Additional engineering is required if soil bearing capacity is less than 3000 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and garage slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be engineered by others.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.

- See drawings for type of floor construction.

- Tongue and groove floor decking glued and nailed on (SPF #2) 2x8 or 2x10 or 2x12 floor joists at 16" o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.

- Tongue and groove floor decking glued and nailed on pre-engineered wood joists/trusses at 24" o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- Structural lumber to have minimum bending stress of 1,200 psi

- All exterior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 2x12's unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All work shall comply to local code.

DOORS and WINDOWS

- Provide safety glazing as required by local code.

- Garage door into dwelling shall be fire rated minimum 45 minute or as per local building code. The threshold of the door opening between the garage and the adjacent interior space shall not be less than 4" above the garage door. (or as per local code)

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

CONCRETE

- Bottom of all footings shall be located a minimum of 36", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs shall have 6"x6"x10" W.W.M. or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade shall be dampproofed or water proofed using materials and methods approved by local building jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3000 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3000 PSI
- Garage and Exterior Slabs	3500 PSI

(or as per local code)

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be attached and anchored in accordance with the local code requirements.

METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick ties shall be installed as per local code.

- All steel shall conform to ASTM Specs for A-36 Steel.

- All steel designed for maximum bending stress of 24,000 psi

- All work shall comply to local code.

MISCELLANEOUS

- Pre-Built fireplace shall be UL approved and installed according to code and manufacturer's specifications and recommendations.

- Chimneys shall extend a minimum of 2'-0" above any roof structure within 10'-0".

- Provide overflow pans and drains for wet appliances when located on bedroom level, or as noted on plans.

- Provide 22"x54" attic access with pull chain light (or as per local code)

- Kitchen and bath plans are approximate. See manufacturer's plans for exact layout and dimensions.

GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

-- Use Group R-4 under the 2006 International Residential Code.

- All work shall comply to the 2000 Model Energy Code

- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Integral garages in dwelling units shall be separated from all adjacent living space with fire separation as required by local code.

- Field verify ALL existing dimensions

DESIGN - LIVE LOADS

- RECOMMENDED MINIMUMS:

- Ground Snow Load	55 psf
- Roof	30 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	60 psf
- Stairs	100 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf
- Guardrails	200' at any point in any direction.

(or as per local code)

STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.

- Minimum finish width: 36"

- Minimum finished headroom height: 6'-8"

- Maximum riser height: 8 1/4"

- Minimum tread depth: 9"

- Maximum space between balusters: 4"

- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

REVISIONS



Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:

06-07-2008 PERMIT SET

GENERAL INFO

0.02

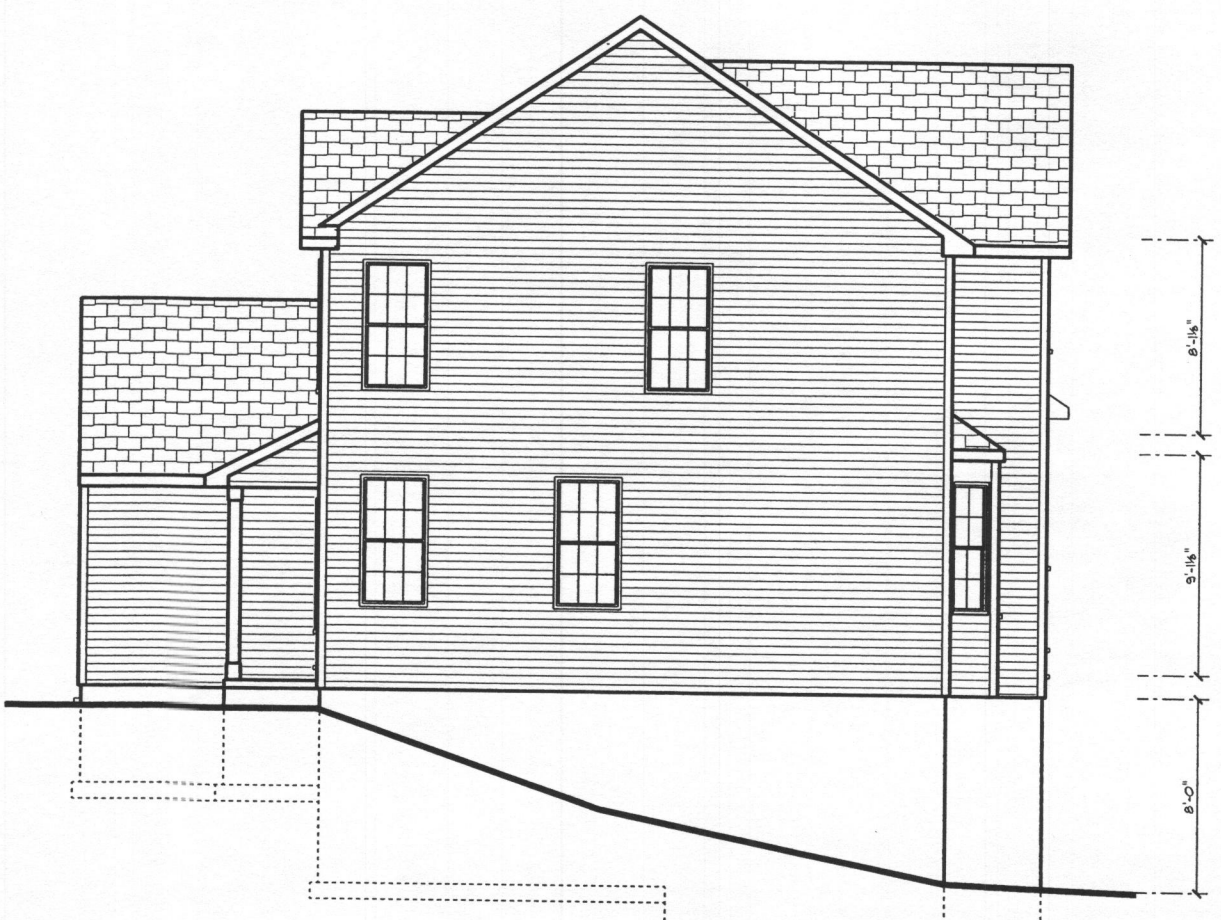
DATE:
April 25, 2009



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

REVISIONS

△	
△	

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

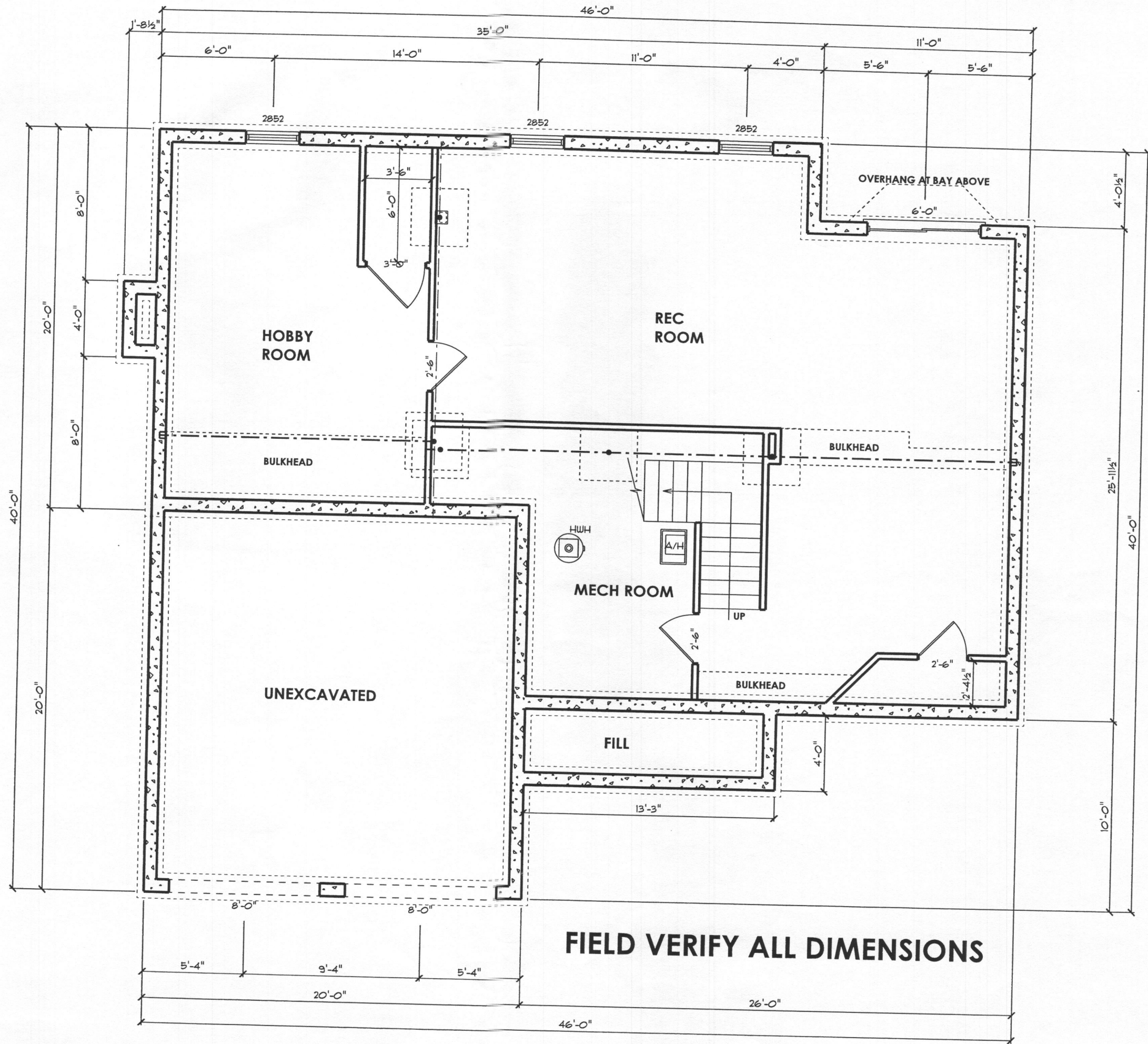
ISSUE DATES:
 06-07-2008 PERMIT SET

SCALE: 1/8" = 1'-0"

EXIST ELEV

0.04

DATE:
 April 16, 2009



REVISIONS

△	
△	

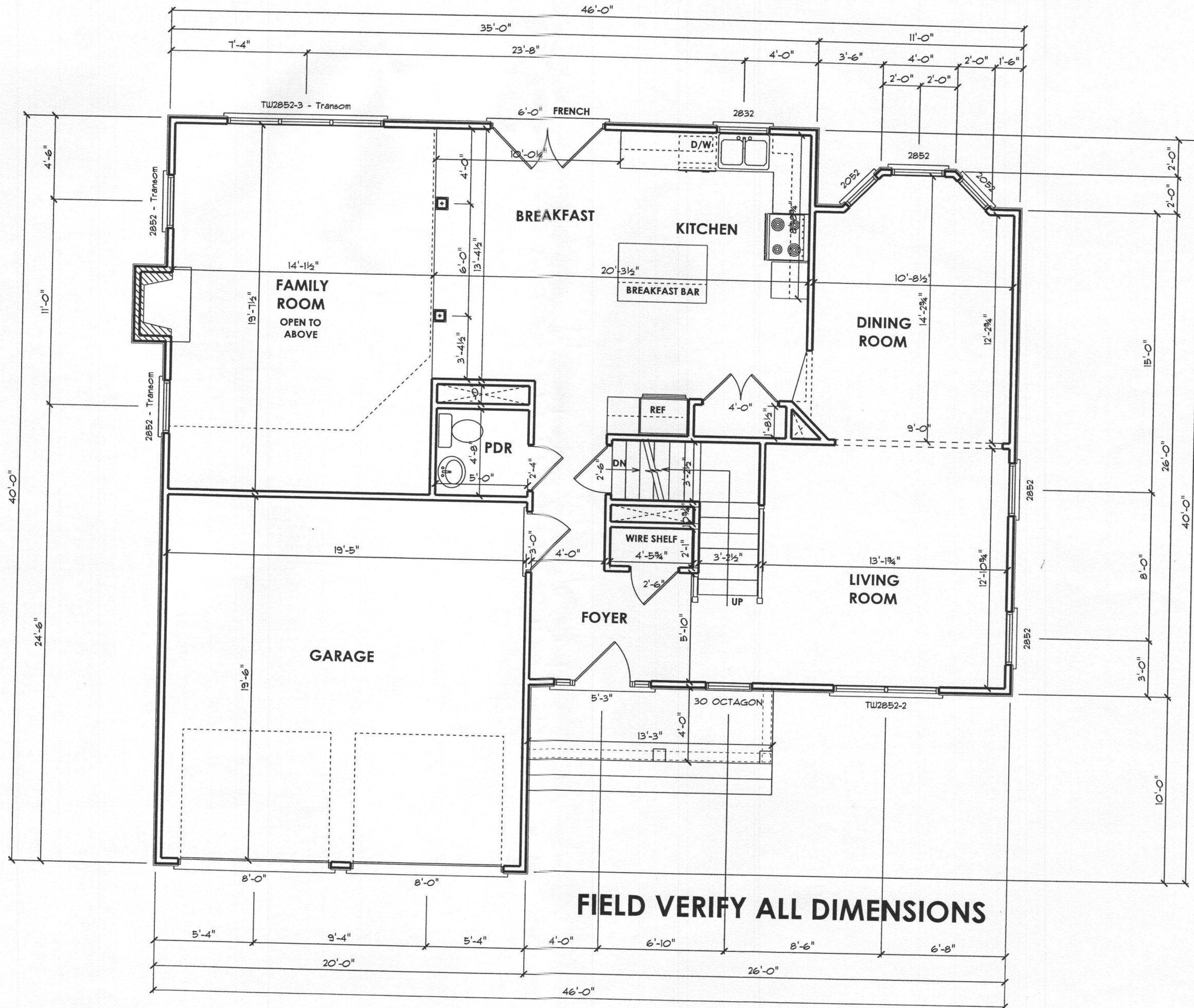
Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:
 06-07-2008 PERMIT SET

FIELD VERIFY ALL DIMENSIONS

SCALE: 3/16" = 1'-0"
EXIST BASEMENT
0.05
 DATE:
 April 16, 2009



FIELD VERIFY ALL DIMENSIONS

REVISIONS

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:
 06-07-2008 PERMIT SET

SCALE: 3/16" = 1'-0"
 EXIST FIRST FL.
0.06
 DATE:
 April 16, 2009

ALL TRUSS OVERHANGS/EAVES ARE SHOWN AT 12"

REVISIONS



Boosalis Addition
12080 Hall Shop Road
Clarksville, Maryland

PROJECT NO:

ISSUE DATES:

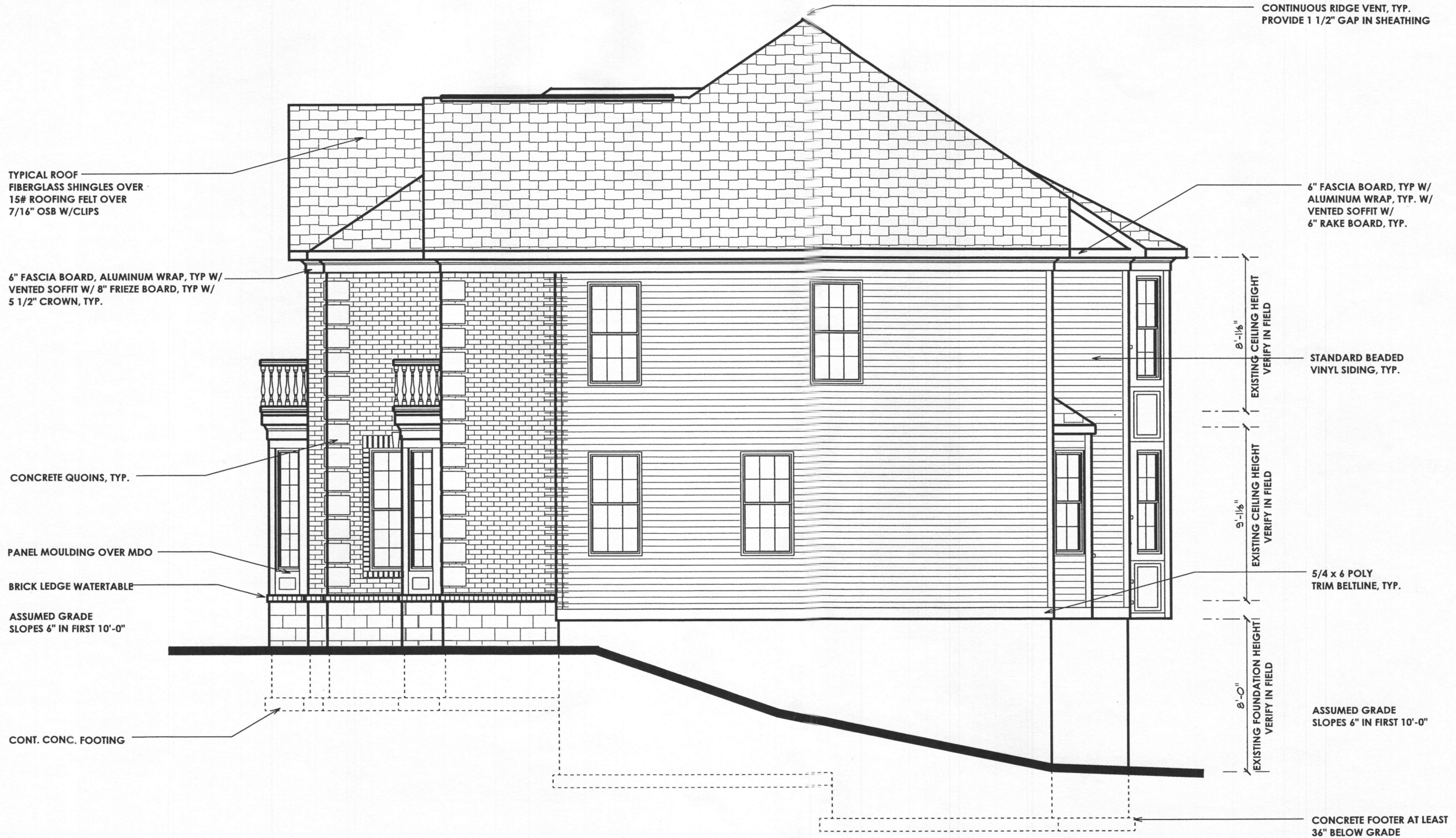
06-07-2008 PERMIT SET

SCALE : 3/16" = 1'-0"

FRONT ELEV

1.01

DATE:
April 16, 2009



REVISIONS

△	
△	

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:

06-07-2008 PERMIT SET

SCALE : 3/16" = 1'-0"

RIGHT ELEV

1.21

DATE :
 April 16, 2009



REVISIONS

- △
- △

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:

06-07-2008 PERMIT SET

SCALE: 3/16" = 1'-0"

LEFT ELEV

1.31

DATE:
 April 16, 2009

REVISIONS



Boosalis Addition
12080 Hall Shop Road
Clarksville, Maryland

PROJECT NO:

ISSUE DATES:

06-07-2008 PERMIT SET

SCALE: 3/16" = 1'-0"

REAR ELEV

1.41

DATE:
April 16, 2009



TYPICAL ROOF
FIBERGLASS SHINGLES OVER
15# ROOFING FELT OVER
7/16" OSB W/CLIPS

STANDARD BEADED
VINYL SIDING, TYP.

5/4 x 6 POLY
TRIM BELTLINE, TYP.

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

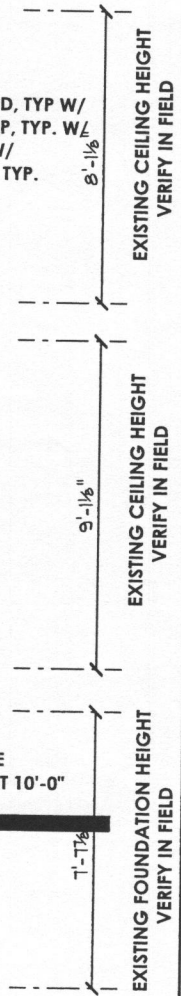
CONT. CONC. FOOTING

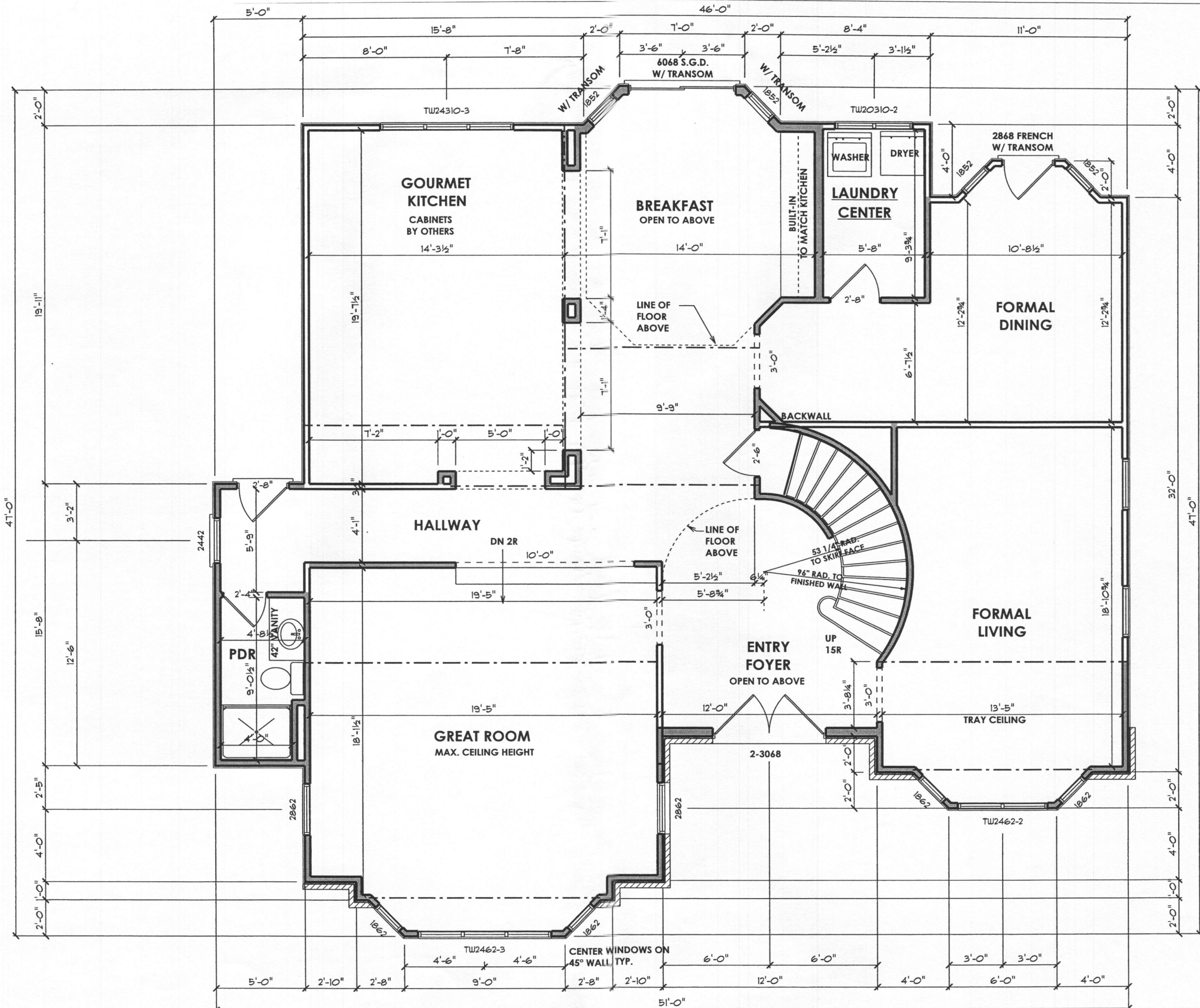
CONTINUOUS RIDGE VENT, TYP.
PROVIDE 1 1/2" GAP IN SHEATHING

6" FASCIA BOARD, TYP W/
ALUMINUM WRAP, TYP. W/
VENTED SOFFIT W/
6" RAKE BOARD, TYP.

ASSUMED GRADE
SLOPES 6" IN FIRST 10'-0"

CONCRETE FOOTER AT LEAST
36" BELOW GRADE





REVISIONS

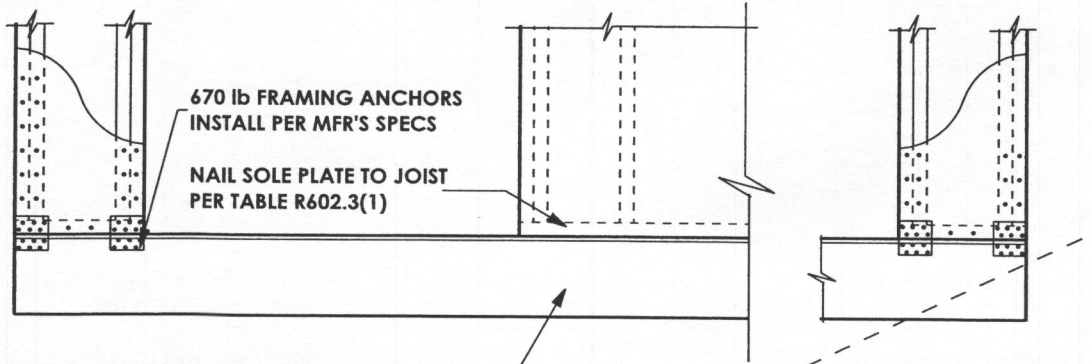
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Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:
 ISSUE DATES:
 06-07-2008 PERMIT SET

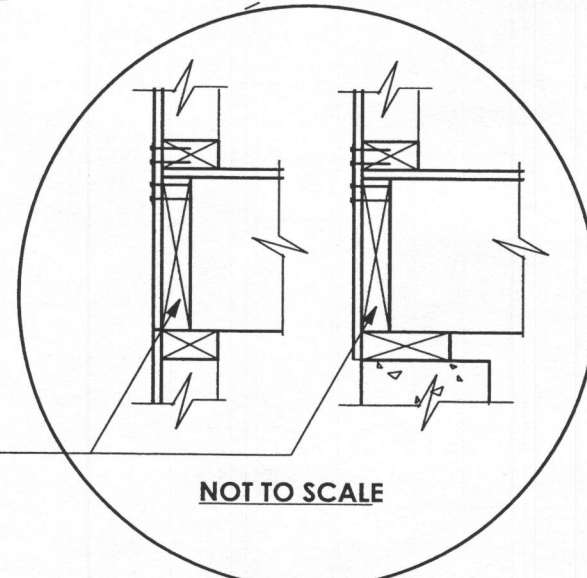
SCALE: 3/16" = 1'-0"
FIRST FLOOR
3.01
 DATE:
 April 09, 2009

EXTERIOR ELEVATION

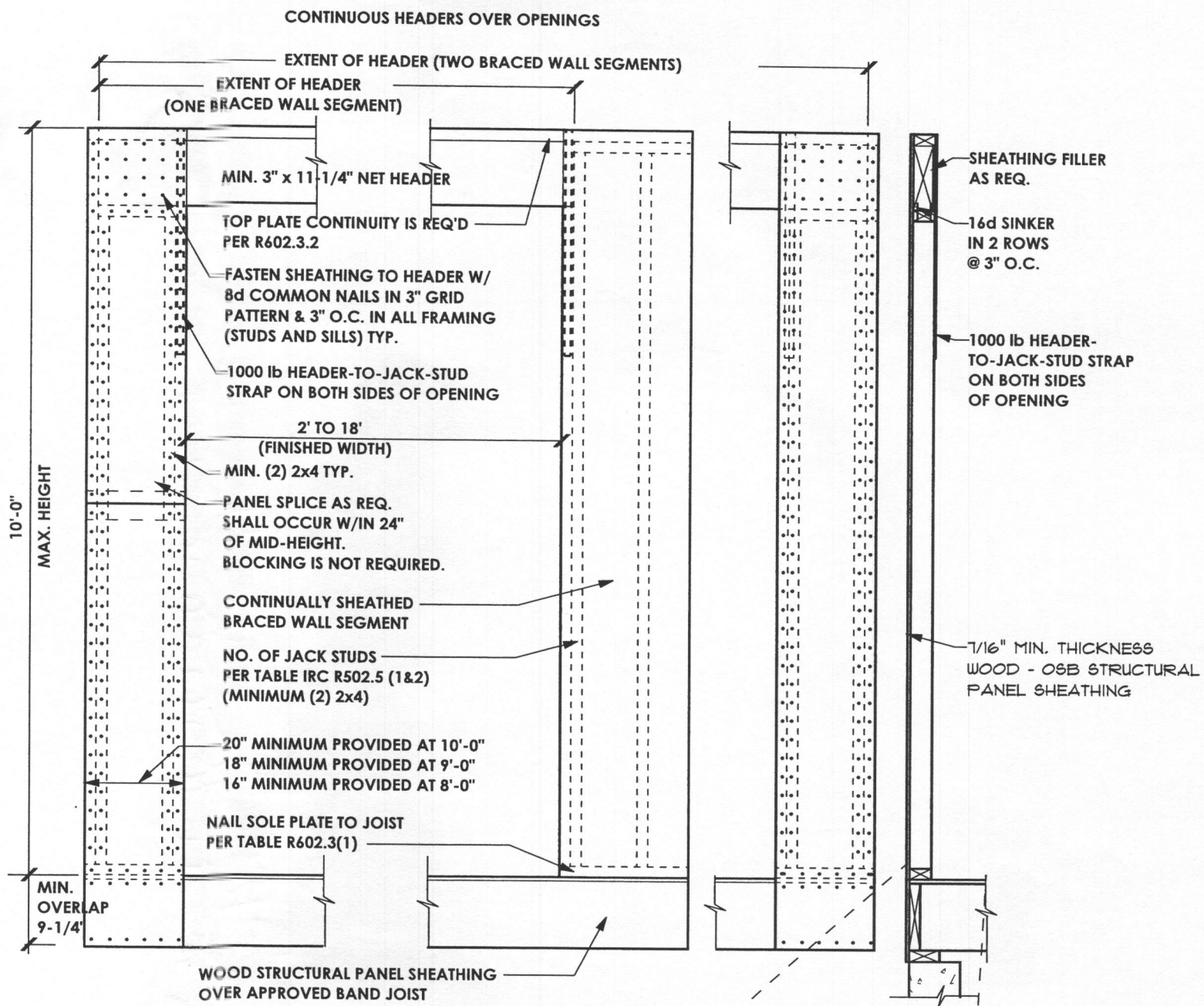


RAISED WOOD FLOOR or SECOND FLOOR - OPTION W/ FRAMING ANCHOR

ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST



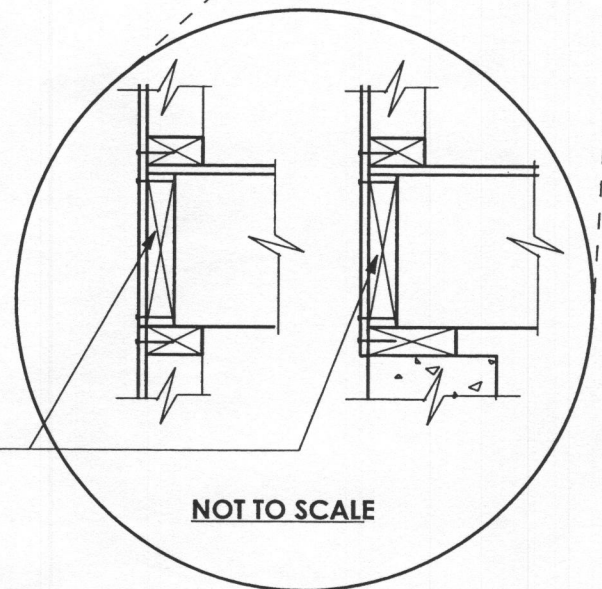
SECTION



RAISED WOOD FLOOR or SECOND FLOOR EXTERIOR ELEVATION

SECTION

ENGINEERED WOOD RIM BOARD, I-JOIST, OR DRY LUMBER RIM JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BAND JOIST



REVISIONS

△	
△	

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

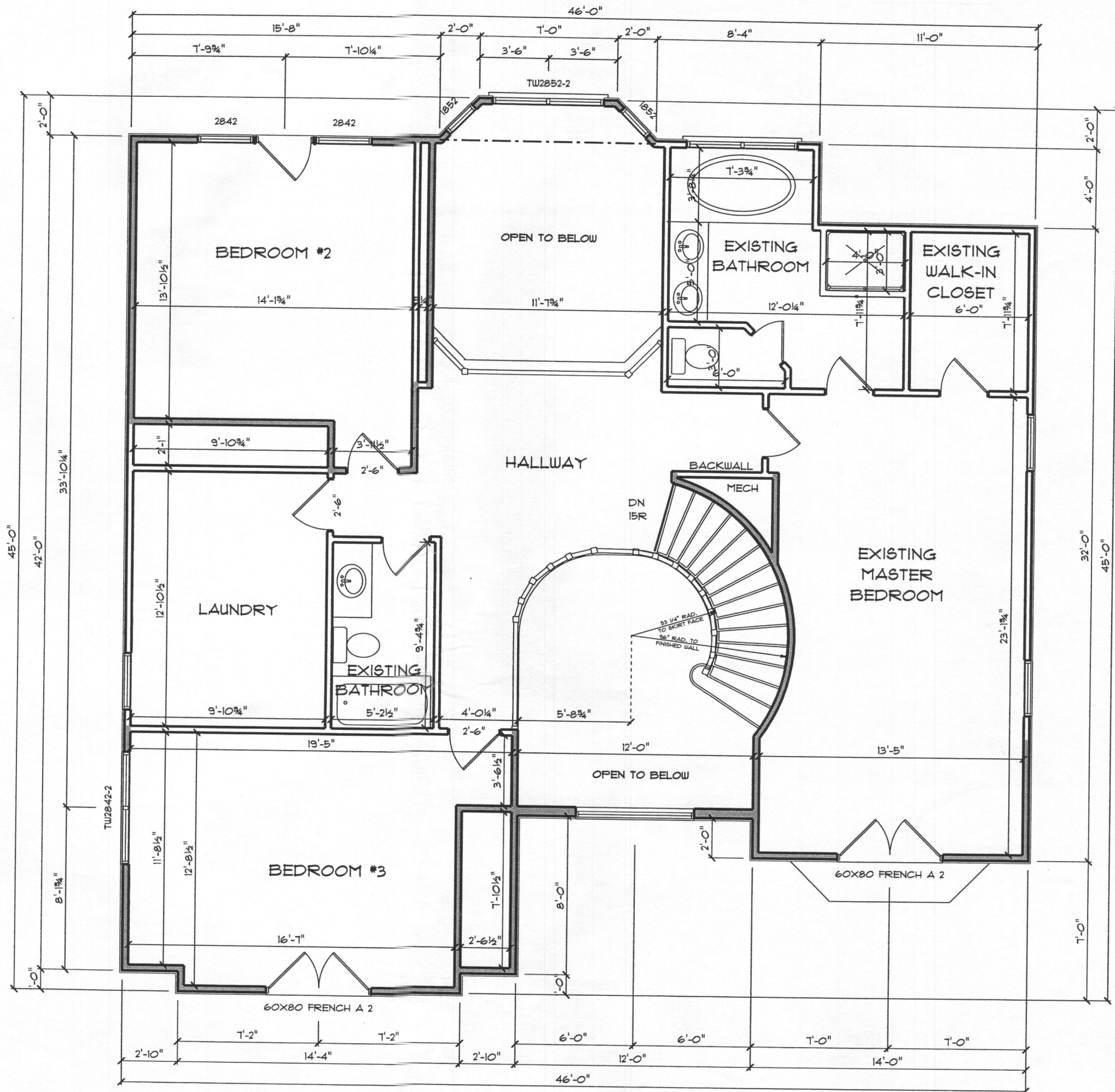
PROJECT NO:

ISSUE DATES:
 06-07-2008 PERMIT SET

APA WALL PANELS

3.02

DATE:
 April 25, 2009



REVISIONS

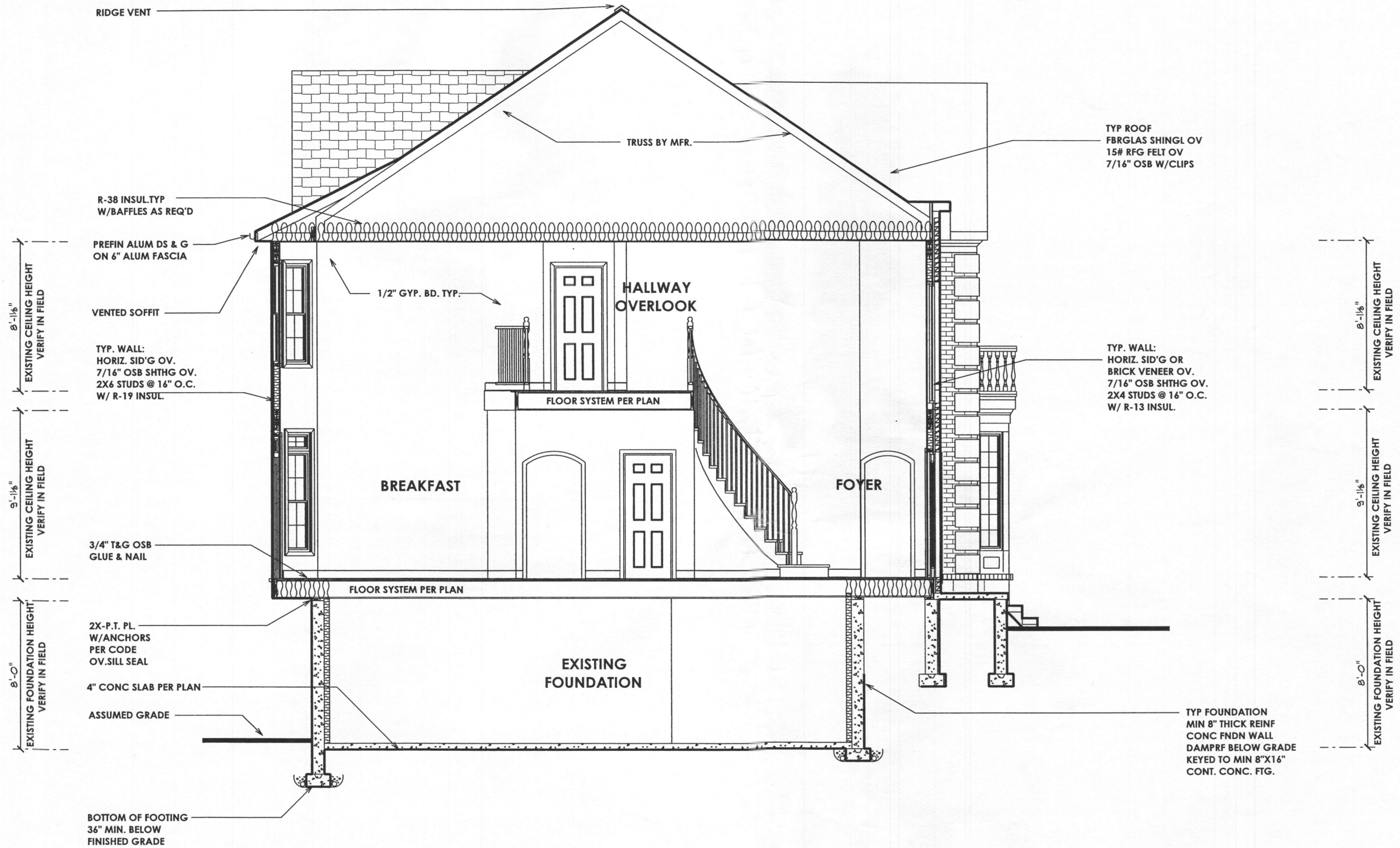
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▲	

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:
 06-07-2008 PERMIT SET

SCALE: 3/16" = 1'-0"
SECOND FLOOR
4.01
 DATE:
 April 09, 2009



REVISIONS

△	
△	

Boosalis Addition
 12080 Hall Shop Road
 Clarksville, Maryland

PROJECT NO:

ISSUE DATES:
 06-07-2008 PERMIT SET

SCALE: 3/16" = 1'-0"

SECTION A-A

5.01

DATE:
 April 16, 2009

no fee

April 30, 2009

Ms. Avis Corbin
Howard County
Department of Inspections

Re: Permit # B08002514
12080 Hall Shop Road
Clarksville, MD 21029

Dear Ms. Corbin –

Can you please amend the above building permit? The blueprint (copy attached) has been scaled down to meet the health department's requirements.

If you have any questions, please give me a call @ (410) 596-4888 or fax # (410) 875-0170.

Thank you

Tim Wright

RECEIVED
MAY 01 2009
LICENSES & PERMITS
DIVISION



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

MEMO

Date: September 15, 2008

To: Michael Boosalis, owner

From: Robert Bricker, R.S., Environmental Sanitarian, Well and Septic Program

RE: Proposal for Building Permit Number B08002514

This project is not approvable at this time for the following reasons:

- 1) Floor plans for the existing residence and the proposed addition must be submitted so that a thorough evaluation may be conducted of the capacity of the existing septic system to serve the proposed amended residence.
- 2) The Health Department record for this property does not include a Percolation Certification Plan that meets requirements of Howard County Code, 3.805.
- 3) There does not appear to be adequate area for two repair septic systems as required by Howard County Code (3.805.2.X).
- 4) Testing to define additional repair area on this property can only be conducted during a period of wet-season testing (Howard County Code, 3.809) declared by the Health Officer. ~~_____~~

Copy: file



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046-2147
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

November 19, 2008

Michael Boosalis
12080 Hall Shop Rd
Clarksville, Maryland 21029

RE: B08002514
12080 Hall Shop Rd

Dear Mr. and Mrs. Boosalis,

In response to your recent visit to our office on November 14, 2008, we are sending this letter as means to clarify what is needed to approve the referenced building permit application. The following outlines the Health Department's requirements:

1. A percolation certification plan meeting the Howard County Code is required.
2. Percolation testing is required during the wet-season to establish septic reserve area.
3. Previous percolation test results in the area of the existing septic system indicate a shallow water table. The existing septic system does not meet the required four foot buffer off of the water table.
4. Due to the shallow water table, any increase in square footage of the home will require the septic system to have an advanced pre-treatment system.

If you have any questions regarding this matter, please contact me at the above address or by calling (410) 313-4261. Information is available online at:

http://www.howardcountymd.gov/Health/HealthMain/EnvironmentalHealth/EnvironmentalHealth_WaterSewerage.htm

Sincerely,

Sara Sappington, R.S.
Well and Septic Program