



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

RECEIVED

Date Received: _____

SEP 18 2014

LICENSES & PERMITS DIVISION

Permit No.:

B14000419

Building Address: 6930 GUILFORD RD
 City: CLARKSVILLE State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: MIKE + ROXANNE MASSARELLI
 Address: 6930 GUILFORD MD
 City: CLARKSVILLE State: MD Zip Code: 21029
 Phone: 410-531-3388 Fax: _____
 Email: MIKE.MASSARELLI@GMAIL.COM

Existing Use: SFD
 Proposed Use: SFD
 Estimated Construction Cost: \$ 85,000
 Description of Work: BUMP OUT FRONT OF HOUSE 4'x13', 2 LEVELS, RELOCATE BOTH STAIRWAYS, ADD FRONT COVERED PORCH ADD 6' TO GARAGE ADD 1st ROOM OVER ENTRANCE W/ BATH
 Occupant or Tenant: BELO LAUNDRY ROOM 1200 SFT
 Was tenant space previously occupied? Yes No
 Contact Name: 12'x18' DECK
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: RICH CAMPDELL
 Address: P.O. BOX 1555
 City: S.P. State: MD Zip Code: 21146
 Phone: 410-461-9908 Fax: _____
 Email: rcampdell

Contractor Company: COASTAL BUILDERS INC.
 Contact Person: RICH CAMPDELL
 Address: P.O. BOX 1555
 City: S.P. State: MD Zip Code: 21146
 License No.: 1D1035
 Phone: 410-461-9908 Fax: _____
 Email: rcampdell@coastalbuilders.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
	2 nd floor: _____
Area of construction (sq. ft.): _____	Basement: _____
	<input type="checkbox"/> Finished Basement
Use group: _____	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type: _____	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: _____
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units: _____
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

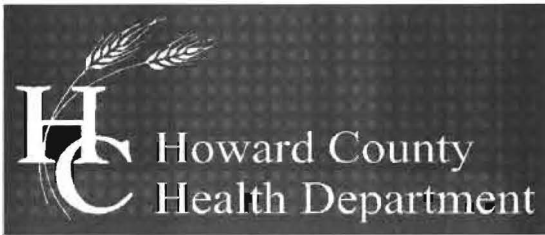
Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: R. V. Campbell Print Name: R. V. Campbell
 Email Address: rcampdell@coastalbuilders.com Date: 2-16-14
 Title/Company: PRES. COASTAL BUILDERS INC.

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY		
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>32614 Bernard</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		
DPZ SETBACK INFORMATION		
Front: _____		
Rear: _____		
Side: _____		
Side St.: _____		
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Lot Coverage for New Town Zone: _____		
SDP/Red-line approval date: _____		
Filing Fee	\$	<u>25</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub-Total Paid	\$	
Balance Due	\$	
Check	#	<u>35400</u>



Office of the Health Officer
8930 Stanford Blvd., Columbia, MD 21045
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

March 6, 2014

TO: Costal Builders Inc.
C/o Rich Campbell
Via-e-mail: RCAMPBELLCBI@COASTALBUILDERS.COM

RE: **Building Permit # B14000419**
6930 Guilford Road
Clarksville, Maryland 21029

Mr. Campbell,

Further review is contingent upon submission of a revised building plan showing the following:

- Plans must be to scale.
- Well and Septic System with all components must be shown on plan.
- Floor plans for the existing house must be submitted.
- Floor plans for the proposed addition must be submitted.

Your building permit will be placed "on hold" until all Health Dept. requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

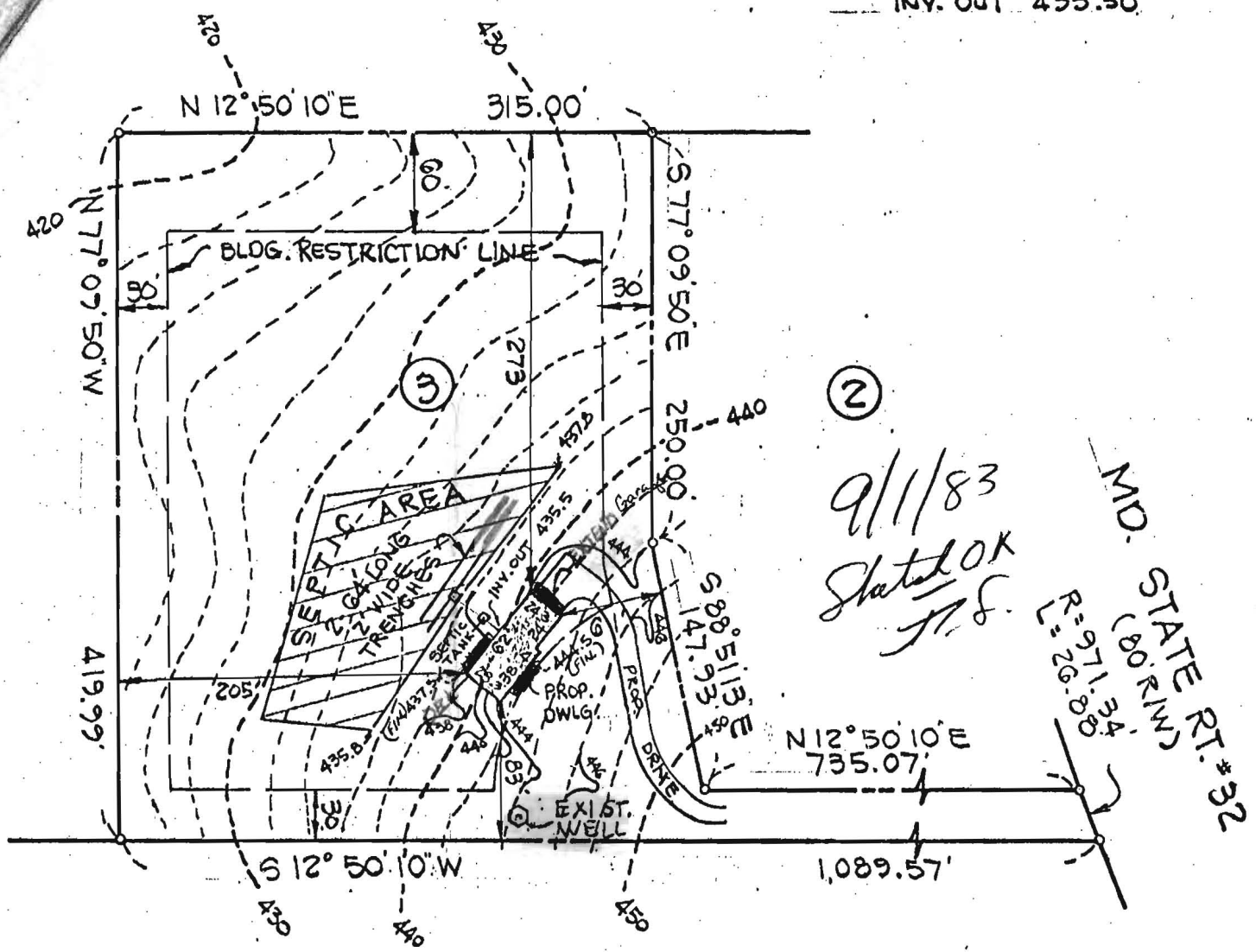
Respectfully,

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

8:30 3-20-14
Returned Called to Mr.
Richard Campbell
and left a message.
9:15
Spoke with Mr.
Campbell and
he stated he would
bring the plans in.

8TH FLOOR ELEV. 437.50
 FIRST FLOOR ELEV. 446.50
 INV. OUT 435.50



9/1/83
 Shat OK
 J.S.

MD. STATE RT. #32
 (80' R/W)
 R=671.38
 L=26.80

Approved Septic System Plan
 Health Department

 Date

 Date

PROPOSED SEPTIC SYSTEM

INV. OUT OF DWLG.	435.50
INV. INTO SEPTIC TANK	435.25
INV. OUT OF SEPTIC TANK	435.00
INV. INTO DISTRIBUTION BOX	434.80
INV. INTO TRENCH	434.60
EX. & FINISHED GRADE AT TRENCH	437.50

* NOTE: CONTRACTOR TO GRADE FRONT TO PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.

Approved Septic System Plan
 Howard County Health Department

Dana Beard, 3-26-14
 Signature Date

5TH ELECT. DIST.
 HOWARD COUNTY MD

B14600419

PLAT TO ACCOMPANY
 APPLICATION FOR
BUILDING PERMIT

FOR
LOT 3
"COLEVIEW"
 # 5488

McKEE & ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS 1717 YORK RD. LUTHERVILLE, MD, 21093 252 - 5820	scale 1" = 100'
	date 8-15-83
	job no. CC-86

MASSARELLI PROJECT
 6930 GUILFORD RD.
 CLARKSVILLE, MD

COASTAL BUILDERS INC.
 P.O. BOX 1555
 SEVERNA PARK, MD
 410-461-9908
 MHIC 101035

INDEX

PAGE	TITLE
1 OF 11	PROP. FOUNDATION
2 OF 11	PROP. 1ST FLOOR
3 OF 11	PROP. 2ND FLOOR
4 OF 11	PROP. FRONT ELEV.
5 OF 11	PROP. R. SIDE ELEV.
6 OF 11	PROP. REAR ELEV.
7 OF 11	PROP. L. SIDE ELEV.
8 OF 11	SECTION AA
9 OF 11	EXIST. BASEMENT
10 OF 11	EXIST. GROUND FLOOR
11 OF 11	EXIST. 2ND FLOOR

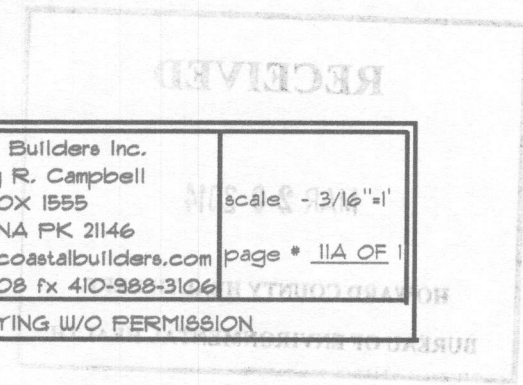
STRUCTURAL NOTES

GARAGE
 BEAM A-B W10 X 12
 BEAM B-C W10 X 26
 COLUMNS 3" LALLY
 INTERIOR FRONT
 BEAM D-E (2)1.75" X 9.25" 2.OE LVL
 BEAM F-G (2)1.75" X 9.25" 2.OE LVL
 REAR DECK
 BEAM H-I,J (2)2"X12"PT
 FRNT DECK
 BEAM K-L,L-M,M-N (3)2"X10"PT

WALL KEY

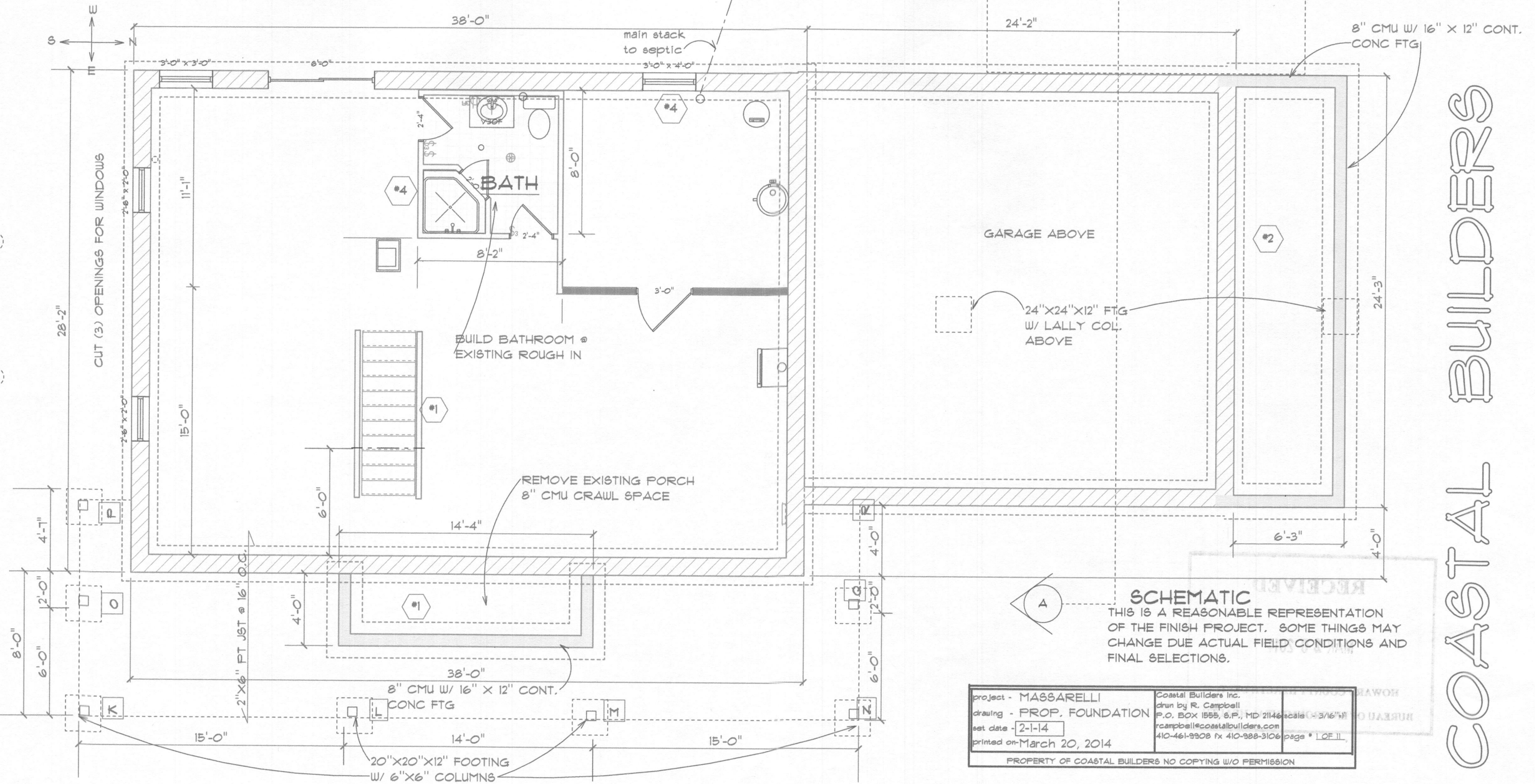
NEW 2"X4" PARTITION	
NEW 2"X4" BRICK	
NEW 2"X4" SIDING	
EXIST 2"X4" PARTITION	
EXIST 2"X4" BRICK	
EXIST 2"X4" SIDING	
REMOVE EXIST WALL	

project - MASSARELLI	Coastal Builders Inc.	scale - 3/16"=1'
drawing - CONST. NOTES	drawn by R. Campbell	page * 11A OF 1
set date - 2-3-14	P.O. BOX 1555	
printed on - March 20, 2014	SEVERNA PK 21146	
	rcampbell@coastalbuilders.com	
	410-461-9908 fx 410-988-3106	
PROPERTY OF COASTAL BUILDERS NO COPYING W/O PERMISSION		



FIELD VERIFY DIMENSIONS

PROJECT KEY	
KITCHEN, FRONT PORCH, LAUNDRY ROOM, STAIRS	#1
2ND STORY ADDITION ABOVE THE GARAGE,	#2
REAR DECK OPTION	#2A
MASTER BATH AND MASTER BEDROOM	#3
BASEMENT BATH & WINDOWS	#4



project - MASSARELLI	Coastal Builders Inc.
drawing - PROP. FOUNDATION	drawn by R. Campbell
set date - 2-1-14	P.O. BOX 1555, S.P., MD 21146
printed on March 20, 2014	rcampbell@coastalbuilders.com
	410-461-9908 fx 410-988-3106

page 1 of 11

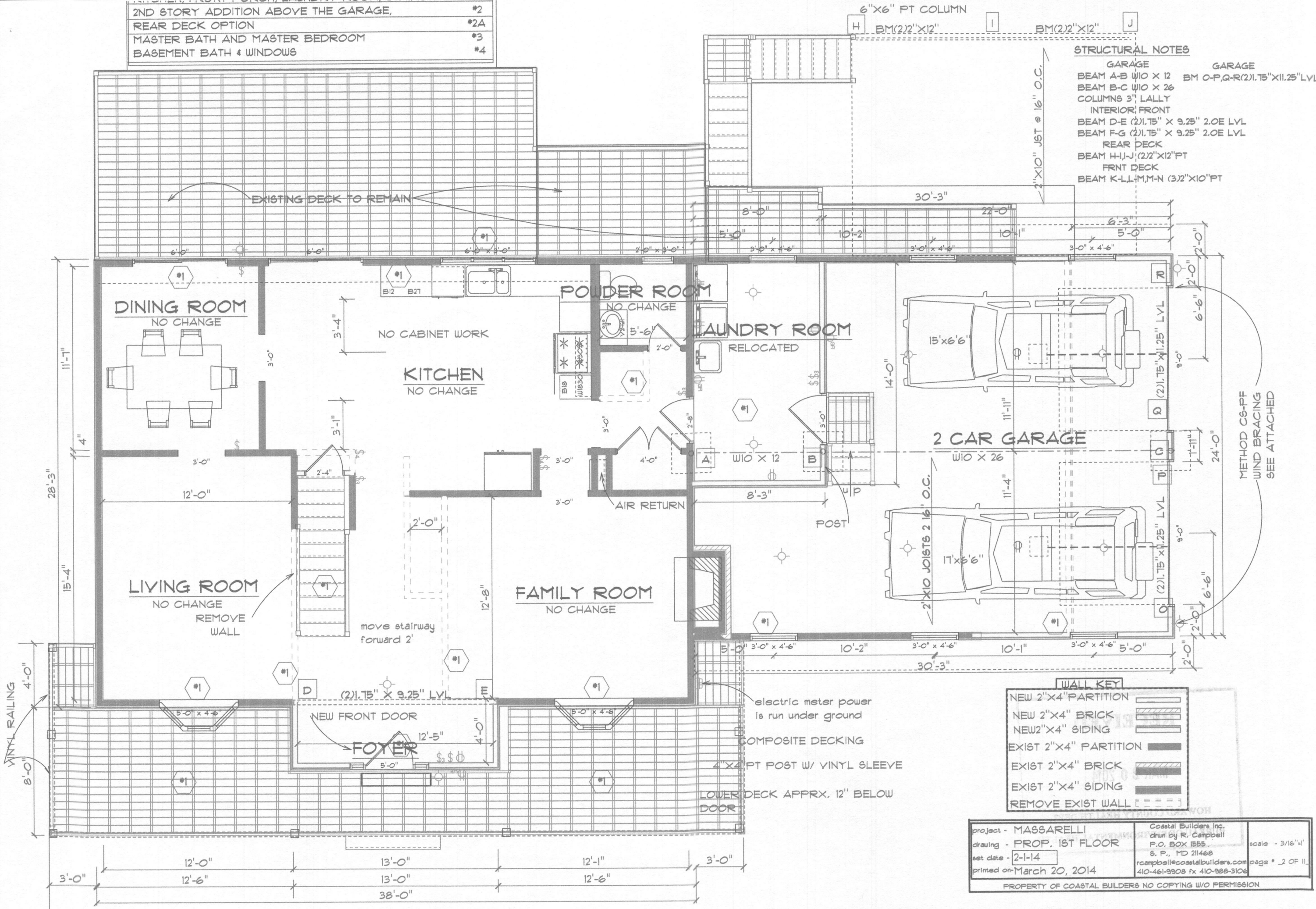
SCHEMATIC
 THIS IS A REASONABLE REPRESENTATION OF THE FINISH PROJECT. SOME THINGS MAY CHANGE DUE ACTUAL FIELD CONDITIONS AND FINAL SELECTIONS.

COASTAL BUILDERS INC.

2ND STORY ADDITION ABOVE THE GARAGE,	#2
REAR DECK OPTION	#2A
MASTER BATH AND MASTER BEDROOM	#3
BASEMENT BATH & WINDOWS	#4

STRUCTURAL NOTES

GARAGE	GARAGE
BEAM A-B W10 X 12	BM O-P,Q-R(2) 1.75" X 11.25" LVL
BEAM B-C W10 X 26	
COLUMNS 3" LALLY	
INTERIOR FRONT	
BEAM D-E (2) 1.75" X 9.25" 2.OE LVL	
BEAM F-G (2) 1.75" X 9.25" 2.OE LVL	
REAR DECK	
BEAM H-I,J (2) 2" X 12" PT	
FRNT DECK	
BEAM K-L,L,M,M-N (3) 2" X 10" PT	



METHOD C6-PF
WIND BRACING
SEE ATTACHED

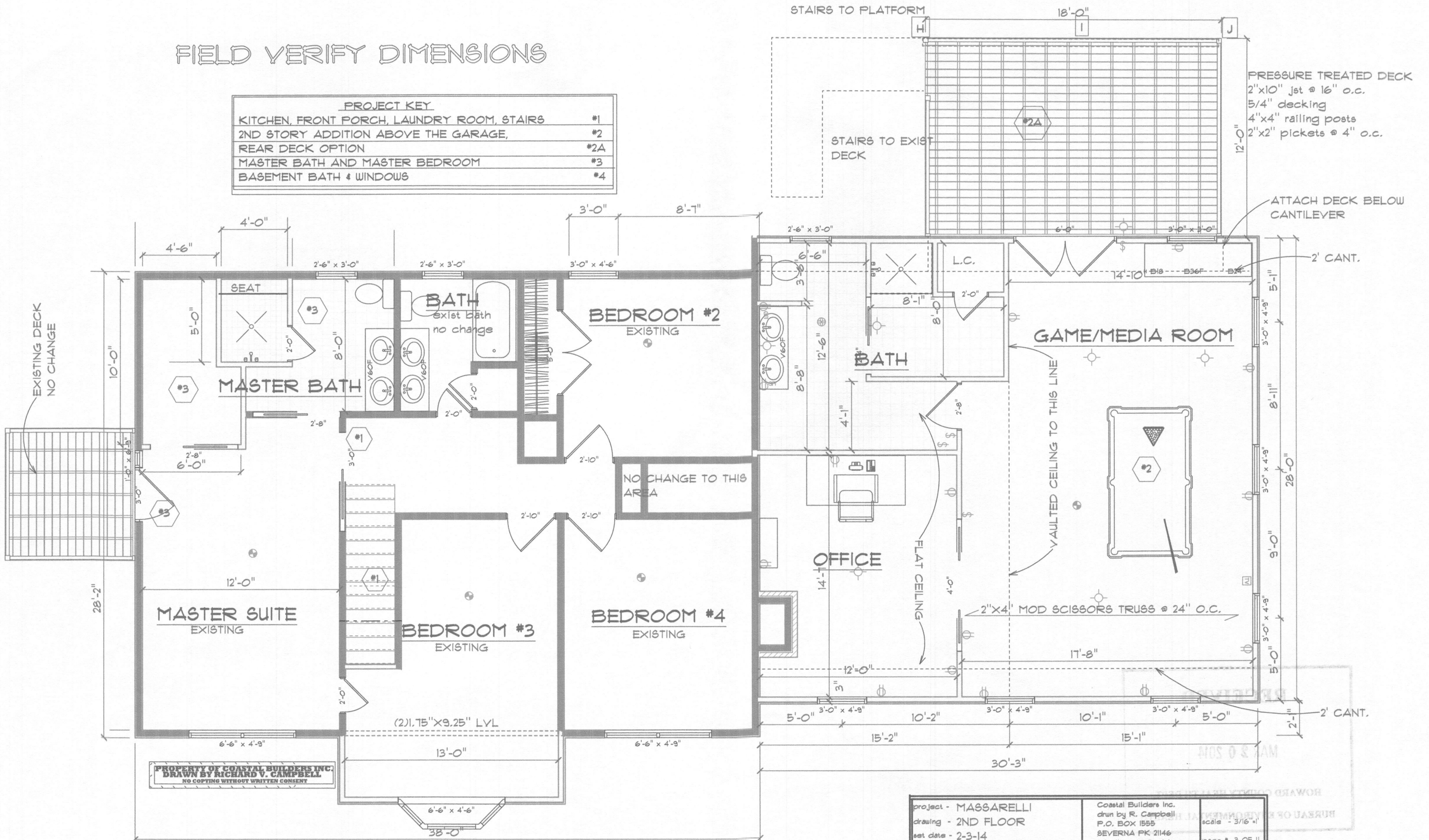
WALL KEY

NEW 2"X4" PARTITION	[Symbol]
NEW 2"X4" BRICK	[Symbol]
NEW 2"X4" SIDING	[Symbol]
EXIST 2"X4" PARTITION	[Symbol]
EXIST 2"X4" BRICK	[Symbol]
EXIST 2"X4" SIDING	[Symbol]
REMOVE EXIST WALL	[Symbol]

project - MASSARELLI	Coastal Builders Inc.	scale - 3/16"=1'
drawing - PROP. 1ST FLOOR	drawn by R. Campbell	
set date - 2-1-14	P.O. BOX 1555	
printed on - March 20, 2014	S. P., MD 211468	page # 2 OF 11
	rcampbell@coastalbuilders.com	
	410-461-9908 fx 410-988-3106	
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FIELD VERIFY DIMENSIONS

PROJECT KEY	
KITCHEN, FRONT PORCH, LAUNDRY ROOM, STAIRS	#1
2ND STORY ADDITION ABOVE THE GARAGE,	#2
REAR DECK OPTION	#2A
MASTER BATH AND MASTER BEDROOM	#3
BASEMENT BATH & WINDOWS	#4



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DRAWN BY RICHARD V. CAMPBELL
NO COPYING WITHOUT WRITTEN CONSENT

project - MASSARELLI drawing - 2ND FLOOR set date - 2-3-14 printed on - March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1555 SEVERNA PK 21146 rcampbell@coastalbuilders.com 410-461-9908 fx 410-988-9106	scale - 3/16" = 1' page • 3 OF 11
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project - MASSARELLI drawing - FRONT ELEV. set date - 2-3-14 printed on - March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1555 SEVERNA PK 21146 rcampbell@coastalbuilders.com 410-461-9908 fx 410-988-3106	scale - 3/16"=1' page - 4 OF 11
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 HOWARD COUNTY HEALTH DEPT
 BUREAU OF ENVIRONMENTAL HEALTH



project - MASSARELLI drawing - R.S. ELEV. est date - 2-3-14 printed on - March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1555 SEVERNA FK 21146 rcampbell@coastalbuilders.com 410-461-9908 fx 410-988-3106	scale - 3/16"=1' page * 5 OF 11
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 BUREAU OF ENVIRONMENTAL HEALTH

addition over
garage ← existing →



project - MASSARELLI	Coastal Builders Inc.	scale - 3/16"=1'
drawing - REAR ELEV.	drawn by R. Campbell	page * 6 OF 11
est date - 2-3-14	P.O. BOX 1555	
printed on March 20, 2014	SEVERNA FK 21146	
	rcampbell@coastalbuilders.com	
	410-461-9908 fx 410-988-3106	

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HOWARD COUNTY HEALTH DEPT.



project - MASSARELLI	Coastal Builders Inc.	scale - 3/16"=1'
drawing - L.S. ELEV.	drawn by R. Campbell	page • 1 OF 11
set date - 2-3-14	P.O. BOX 1555	
printed on March 20, 2014	SEVERNA FK 21146	
	rcampbell@coastalbuilders.com	
	410-461-9908 fx 410-988-3106	

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RIDGE VENT
 30YR SHINGLES
 2"X4" SCISSORS TRUSS
 SEE ATTACHED DRAWING

1/16" OSB SHEATHING
 R-49 BATTs
 DRYWALL @ CEILING

ALUM GUTTERS
 VINYL SOFFIT
 VINYL SIDING
 1/16" OSB SHEATHING
 2"X4" STDS
 R-20 SPRAY FOAM
 DRYWALL INTERIOR

3/4" PLYWOOD R-30 BATTs

2"X10" JST @ 16" O.C.

W10 X 26
 5/8" FC DRYWALL

2"X10" PT LEDGER

2"X10" PT JST @ 16" O.C.
 (3)2"X10" PT BM

VINYL SOFFIT
 VINYL SIDING
 1/16" OSB SHEATHING
 2"X4" STDS
 DRYWALL INTERIOR

6"X6" PT POST

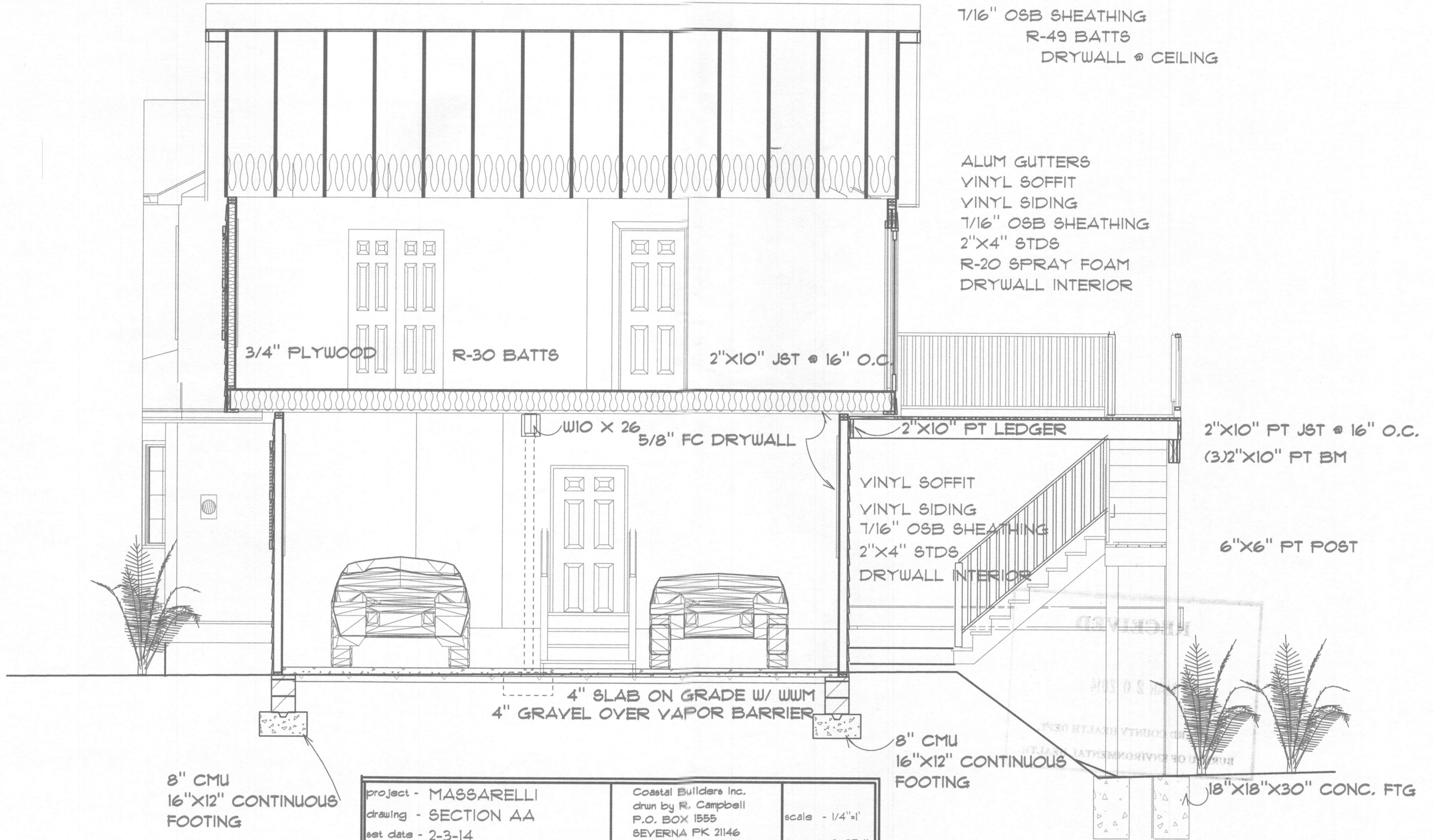
4" SLAB ON GRADE W/ WWM
 4" GRAVEL OVER VAPOR BARRIER

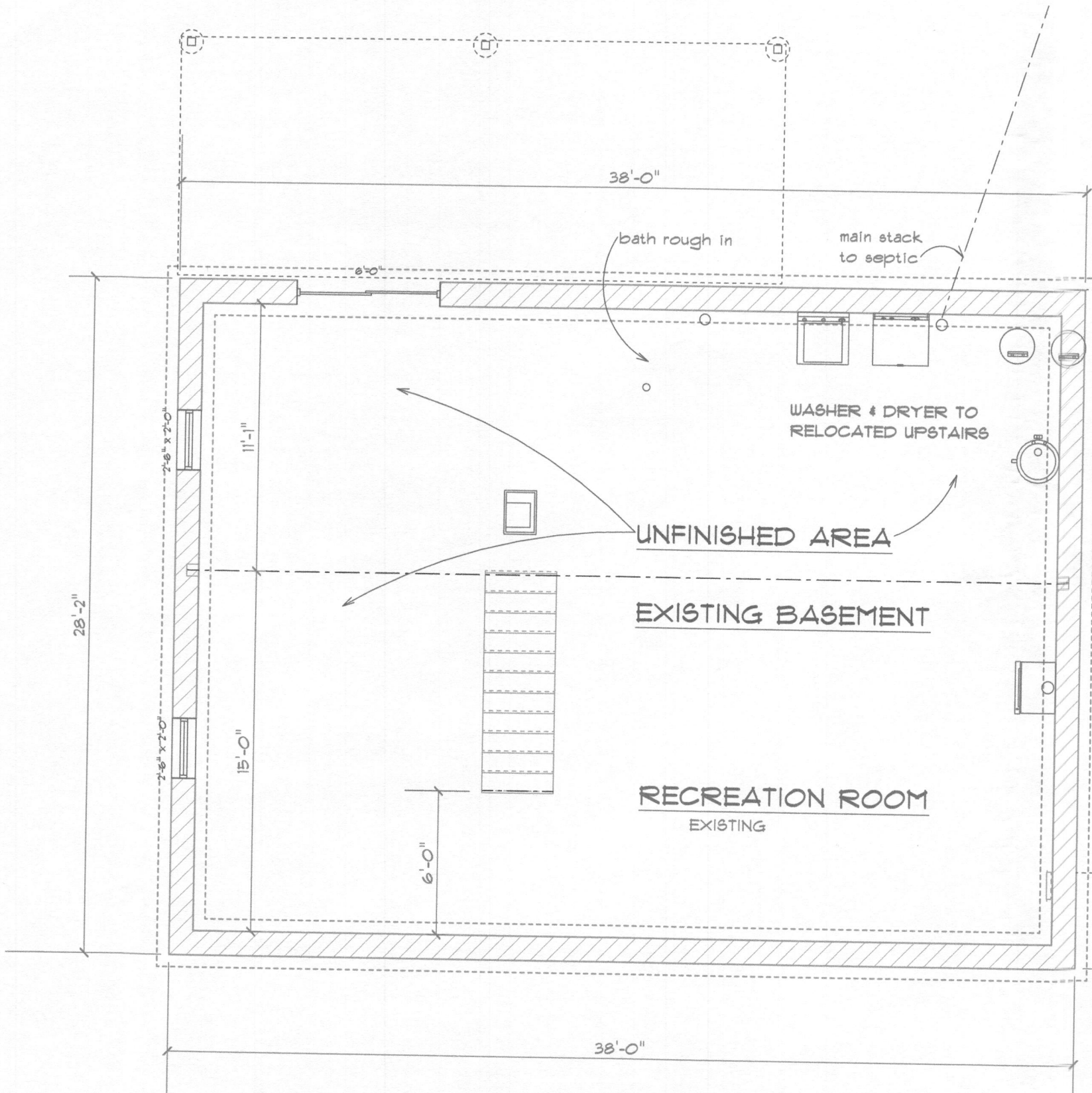
8" CMU
 16"X12" CONTINUOUS
 FOOTING

8" CMU
 16"X12" CONTINUOUS
 FOOTING

18"X18"X30" CONC. FTG

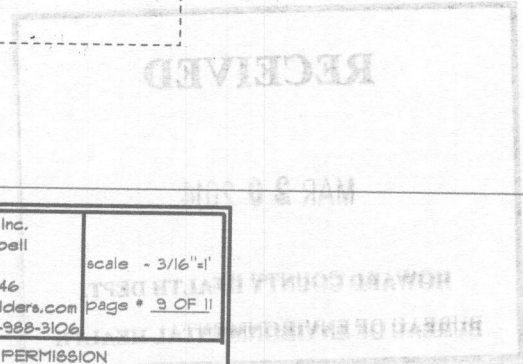
project - MASSARELLI drawing - SECTION AA est date - 2-3-14 printed on March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1555 SEVERNA PK 21146 rcampbell@coastalbuilders.com 410-461-9908 fx 410-988-3106	scale - 1/4"=1' page * 8 OF 11
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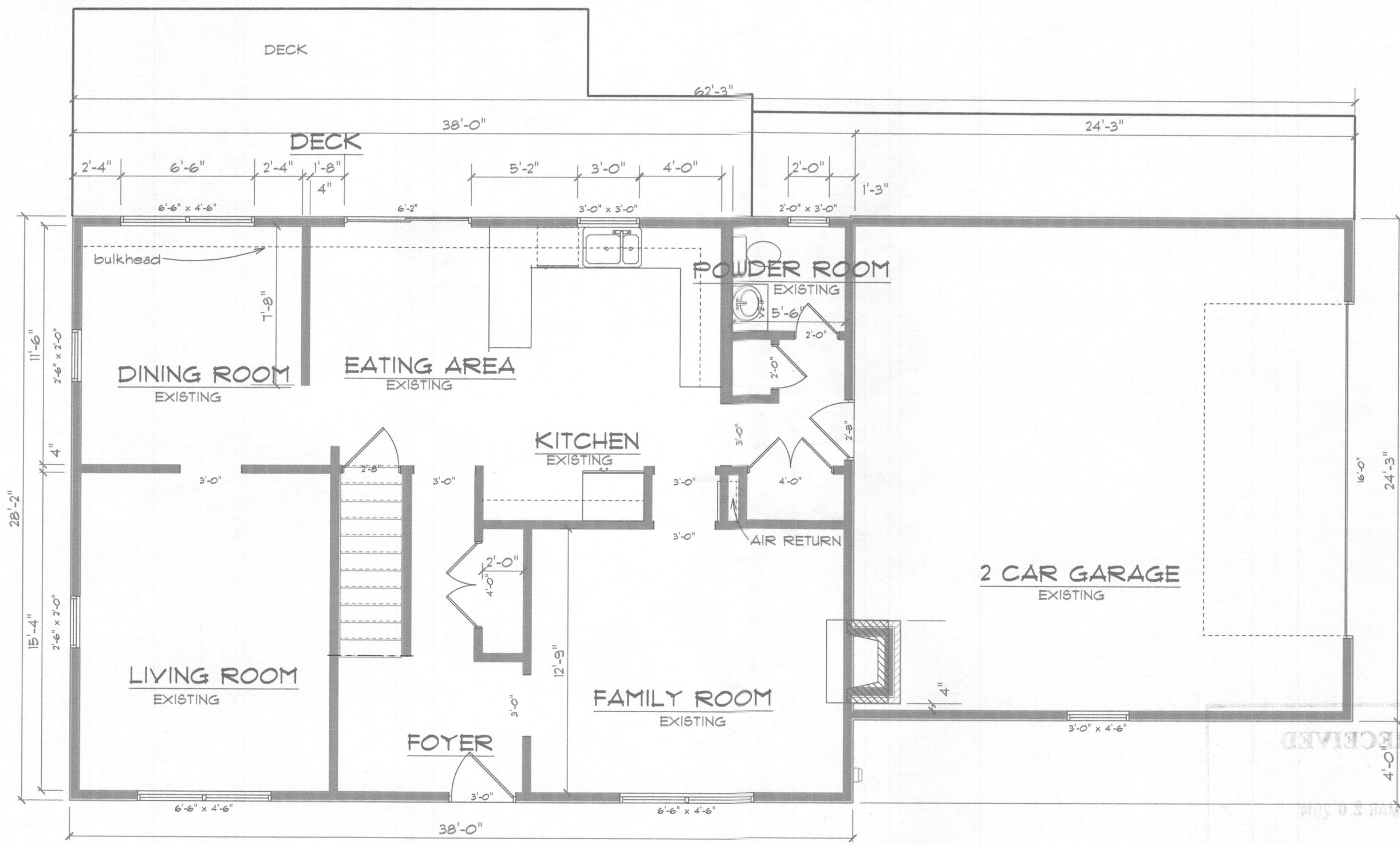




project - MASSARELLI drawing - EXIST BASEMENT set date - 2-3-14 printed on March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1555 SEVERNA PK 21146 rcampbell@coastalbuilders.com 410-461-9908 fx 410-988-3106	scale - 3/16"=1' page * 3 OF 11
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project - MASSARELLI drawing - EXIST. GND FLR set date - 2-3-14 printed on - March 20, 2014	Coastal Builders Inc. drawn by R. Campbell P.O. BOX 1855 SEVERNA PK 21146 rcampbell@coastalbuilders.com 410-461-9308 fx 410-988-3106	scale - 3/16"=1' page # 10 OF 11
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NIP
GRACE E LAGER
11181403

1089.57'

1171009.50" W

R.C. & PM COVE
CMP 1071 202

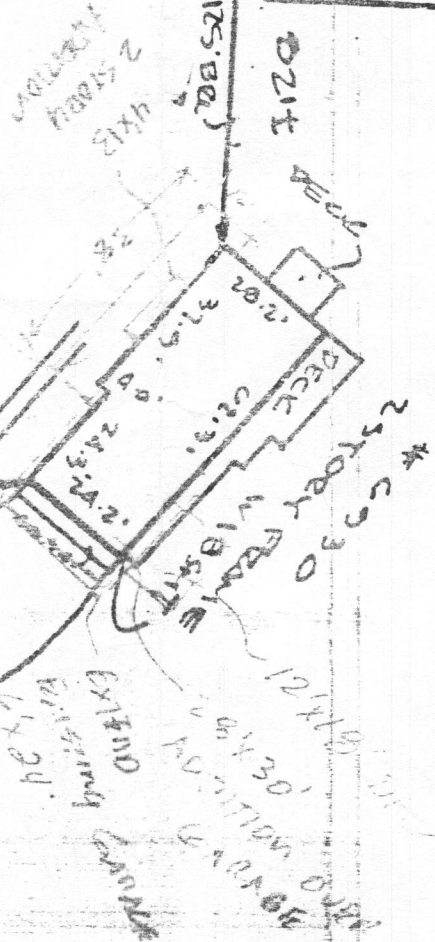
NIP

FENCE

30.82

USED

LOT 3
3.53 AC



1089.57' E 171.73' S 171009.50' E

12050.10" W

SCALE 1" = 40'

NOTE THIS IS FILLED IN
TO 1" = 40" THE
ORIGINAL = 1" = 80'

SCALE: 1" = 80'