

# HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

B07004166

17403

Building Address 17403 Hardy Rd.  
17403 Hardy Rd 21771

Suite/Apt. #: \_\_\_\_\_ SDP/WP/Petition #: \_\_\_\_\_

Census Tract \_\_\_\_\_ Subdivision \_\_\_\_\_

Section \_\_\_\_\_ Area \_\_\_\_\_ Lot \_\_\_\_\_

Tax Map \_\_\_\_\_ Parcel \_\_\_\_\_ Grid \_\_\_\_\_

Zoning \_\_\_\_\_ Map Coordinates \_\_\_\_\_ Lot size \_\_\_\_\_

Property Owner's Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Home Phone \_\_\_\_\_ Work Phone \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated hereon):  
SEE BELOW ARCHITECT

Phone \_\_\_\_\_ Fax \_\_\_\_\_

Existing Use FD

Proposed Use 22x21 Family Room + 24-26 detached 2 car garage

Estimated Construction Cost \$ 140,000

Description of Work 22x21 Family Room + 24-26 detached 2 car garage

Contractor Company \_\_\_\_\_  
 Contact Person \_\_\_\_\_  
 Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

License No. \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_

Occupant or Tenant \_\_\_\_\_

Contact Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

Engineer or Architect Company PRM ARCHITECTS  
 Contact Person BRUCE LARSON  
 Address 4125 WILLOW TREE  
 City MIF AUSTIN State TX Zip Code 78771  
 Phone 4432506557 Fax \_\_\_\_\_

**BUILDING DESCRIPTION - COMMERCIAL**

**BUILDING DESCRIPTION - RESIDENTIAL**

Building Characteristics	Utilities
Height: _____	Water Supply: _____ Public _____ Private _____
No. of stories: _____	Sewage Disposal: _____ Public _____ Private _____
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Construction type: _____ Reinforced Concrete _____ Structural Steel _____ Masonry _____ Wood Frame _____ State Certified Modular _____	Sprinkler system: N/A <input type="checkbox"/> Full _____ Partial _____ Other Suppression _____ # of Heads _____

Building Characteristics	Utilities
SF Dwelling <input checked="" type="checkbox"/> SF Townhouse <input type="checkbox"/> Depth _____ Width _____	Water Supply: _____ Public _____ Private <input checked="" type="checkbox"/>
1st floor: _____ 2nd floor: _____ Basement: _____	Sewage Disposal: _____ Public _____ Private <input checked="" type="checkbox"/>
Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/> No. of Bedrooms _____ Height: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____	Heating System: _____ Electric <input checked="" type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Other Structure: _____ Dimensions: _____ Footings: _____ Roof Height: _____ State Certified Modular _____ Manufactured Home _____	Sprinkler system: N/A <input checked="" type="checkbox"/> NFPA #13D _____ NFPA #13R _____ Other: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

BRUCE LARSON  
 Applicant's Signature  
PRM ARCHITECTS  
 Title/Company

BRUCE LARSON  
 Print Name  
10/10/07  
 Date

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**  
 \*\* PLEASE WRITE NEATLY AND LEGIBLY. \*\*  
**- FOR OFFICE USE ONLY -**

AGENCY	DATE	SIGNATURE APPROVAL	DPZ SETBACK INFORMATION	PROPERTY ID#	
Land Development, DPZ			Front: _____	Filing fee \$ _____	
State Highways			Rear: _____	Permit fee \$ _____	
Building Official			Side: _____	Excise tax \$ _____	
Dev. Engineering, DPZ	<u>11/3/2008</u>	<u>[Signature]</u>	Side St.: _____	Add'l per. fee \$ _____	
Health			All minimum setbacks met?	TOTAL FEES \$ _____	
Fire Protection			YES <input type="checkbox"/> NO <input type="checkbox"/>	Sub-total paid \$ _____	
Is Sediment Control approval required prior to issuance?			Is Entrance Permit required?	Balance due \$ _____	
YES <input type="checkbox"/> NO <input type="checkbox"/>			YES <input type="checkbox"/> NO <input type="checkbox"/>	Check # <u>1063</u>	
CONTINGENCY CONSTRUCTION START: <input type="checkbox"/>			Historic District?	Validation # _____	
ONE STOP SHOP: <input type="checkbox"/>			YES <input type="checkbox"/> NO <input type="checkbox"/>		
Distribution of Copies -	White: Building Official	Green: LDD, DPZ	Yellow: DED, DPZ	Pink: Health	Gold: SHA
T:\norm\PERMIT.FRM			SDP/Red-line approval date _____	Accepted by <u>[Signature]</u>	

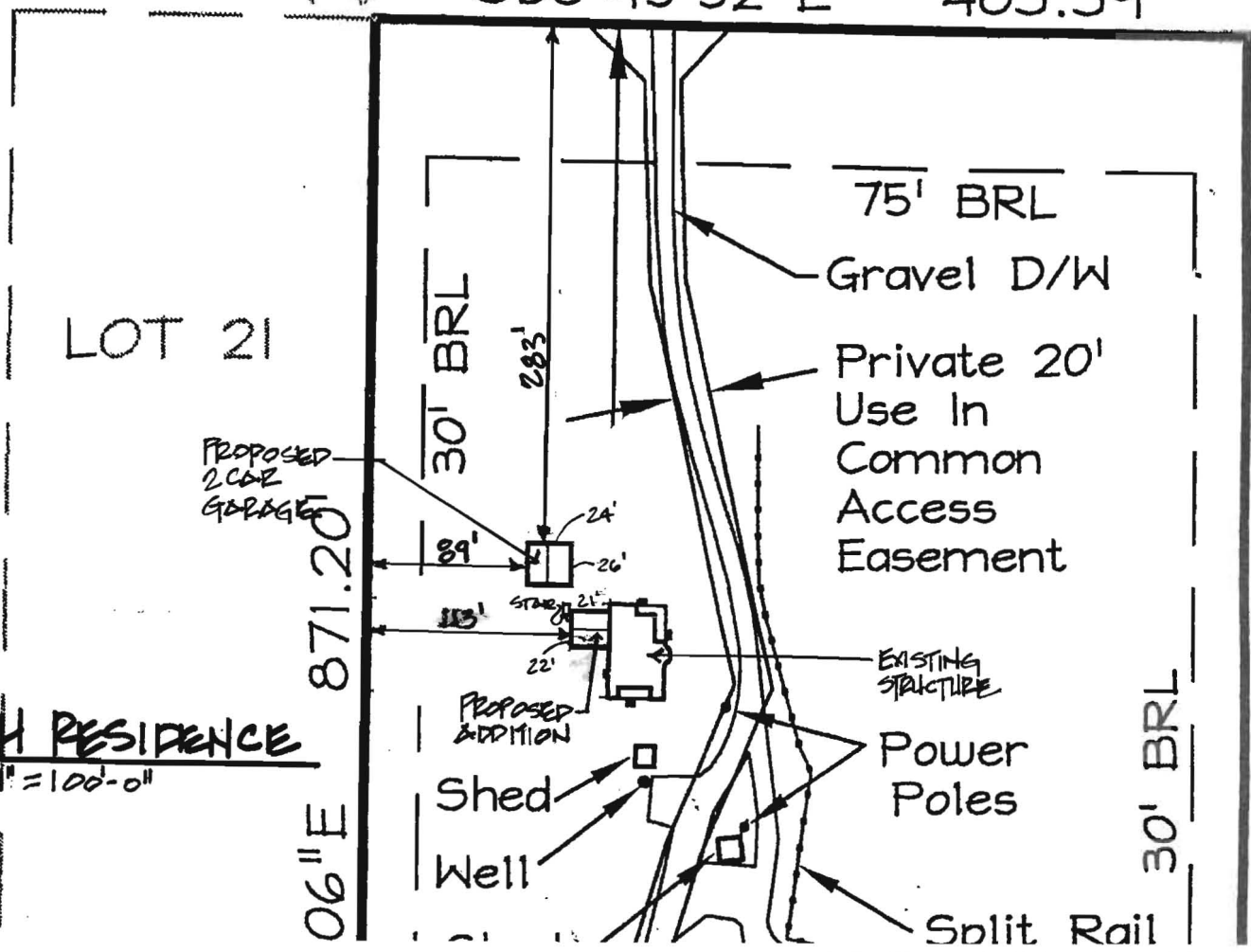
THIS PLAT CAN NOT BE USED TO ESTABLISH PROPER

1/3/2008  
Variance request  
approved by MJD  
B67004166 OK  
GAG

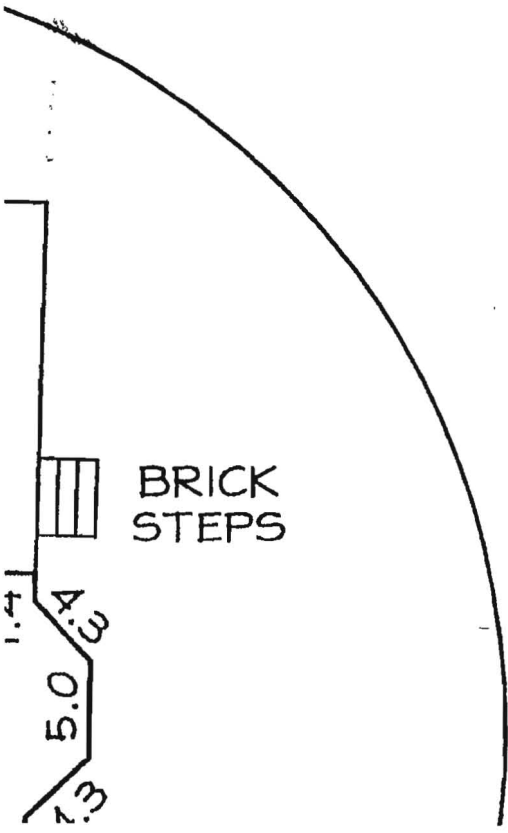
# HARDY ROAD

(50' R/W)

S68°45'52"E 483.39'



HOUGH RESIDENCE  
SCALE: 1" = 100'-0"

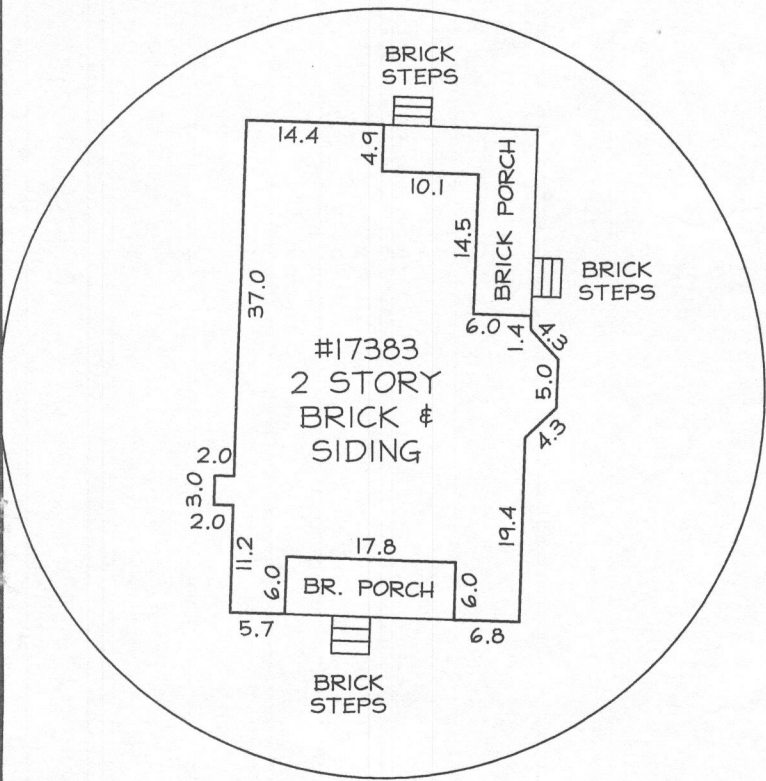


010100111 700 001

PROPERTY KNOWN AS:  
 17383 HARDY ROAD  
 LOT 25 - WOODCAMP FARM  
 4th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 PLAT NO: 14602

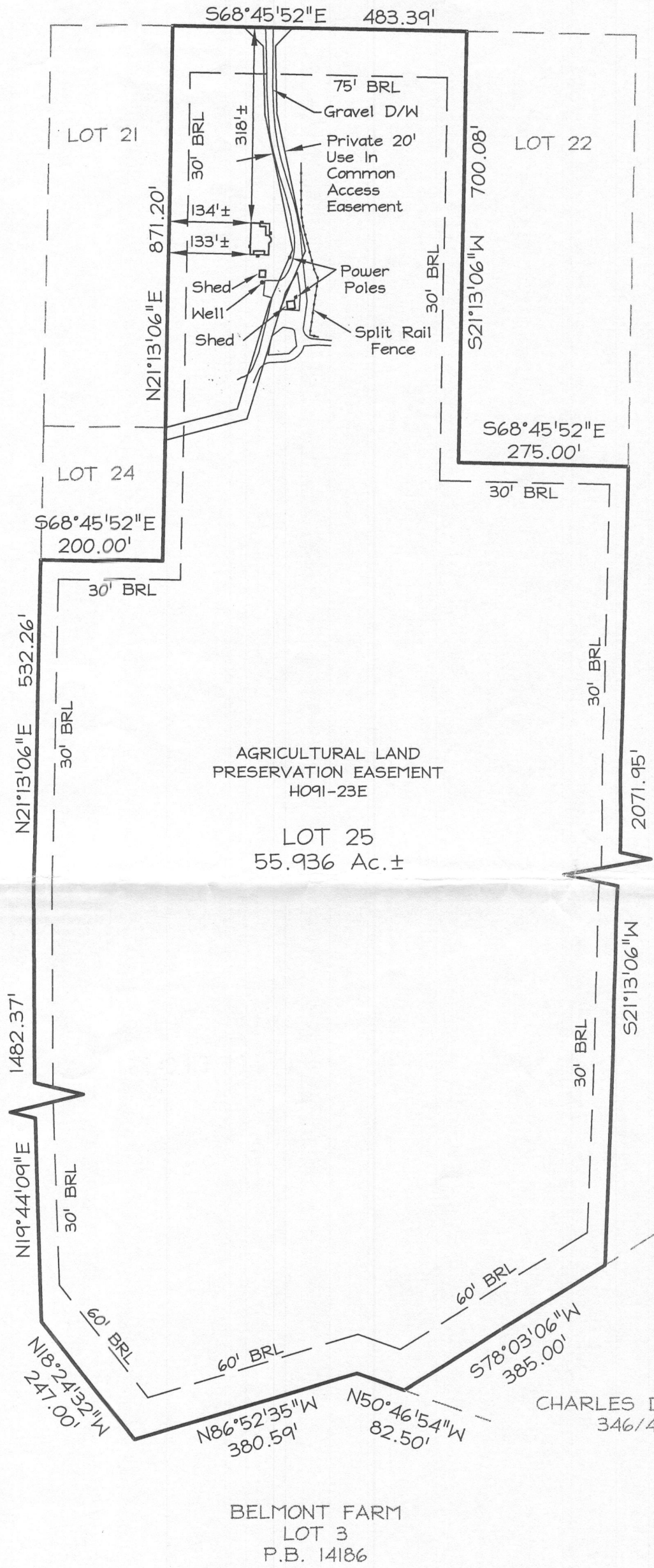
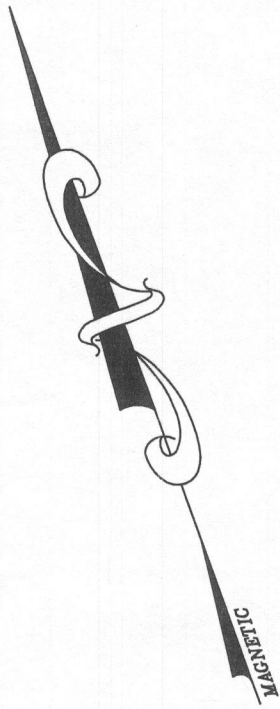
THIS PLAT CAN NOT BE USED TO ESTABLISH PROPERTY LINES OR CORNERS.

HARDY ROAD  
 (50' R/W)



DETAIL: 1" = 20'

WOODCAMP FARM  
 P.B. 4703



WILLIS L. CISSSEL  
 890/675

CHARLES D. KNILL  
 346/480

BELMONT FARM  
 LOT 3  
 P.B. 14186

LOCATION DRAWING

<p>CERTIFICATION</p>	<p>SEAL</p>	<p>SCALE: 1" = 200' U.N.O.</p>	<p>DATE: 8/2007</p>
<p>This is to certify that I have surveyed the property known as:  <u>17383 HARDY ROAD</u></p> <p>The information shown has been established by current acceptable survey procedures and from available record information. This drawing is to be used for Title Transfer Financing, or Refinancing Only and IS NOT to be used for the Establishment of Property Lines, Location for Fences, Garages, Buildings, or other Existing or Future Improvements.</p>		<p><b>LDE Inc.</b>  <i>Engineers, Surveyors, Planners</i></p> <p>9250 Rumsey Road, Suite 106        Columbia, Maryland - 21045        (410)715-1070 - (410)715-9540 Fax</p> <p>DRAWING: GDW      JOB #07-200.13</p>	

# HOUGH RESIDENCE

17403 HARDY RD.  
MOUNT AIRY, MD 21771

BDL  
ARCHITECTS, LLC  
architecture & design  
4125 Lomar Terrace  
Mt. Airy, MD 21771  
ph: 443.250.6557

© 2007 BDL ARCHITECT, LLC - ARCHITECTURE/PLANNING & INTERIOR DESIGN  
THESE CONTRACT DOCUMENTS APPEARING HEREIN ARE INSTRUMENTS OF SERVICE AND CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF BDL ARCHITECT, LLC AND THE SAME MAY NOT BE REPRODUCED, COPIED, PHOTOGRAPHED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF BDL ARCHITECT, LLC.

SEAL:

CONTRACTOR:

OWNER:

PROJECT:

## Hough Residence

17403 Hardy Rd.  
Mount Airy, MD 21771

DRAWING TITLE

### Cover Sheet

DATE/REVISIONS

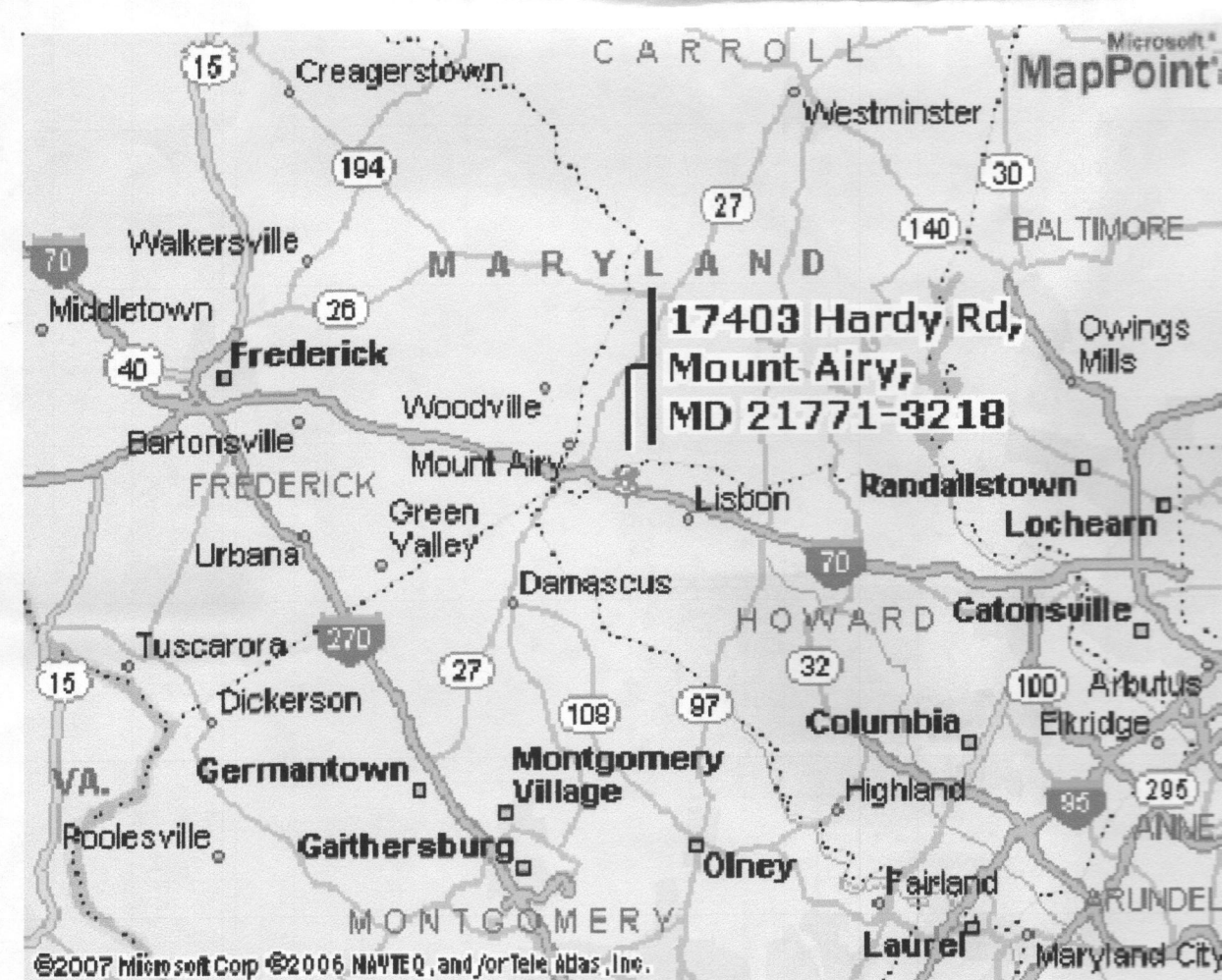
NO.	ISSUED FOR:	DATE
1	CLIENT REVIEW/PRELIM. PRICING	9/1/07
2	REVISED PER CLIENT	9/18/07
3	FINAL BID/PERMIT/CONSTRUCTION	10/8/07

DRAWN BY:	BDL	DATE:	10/8/07
SCALE:	AS NOTED	PROJECT No.:	00907-017

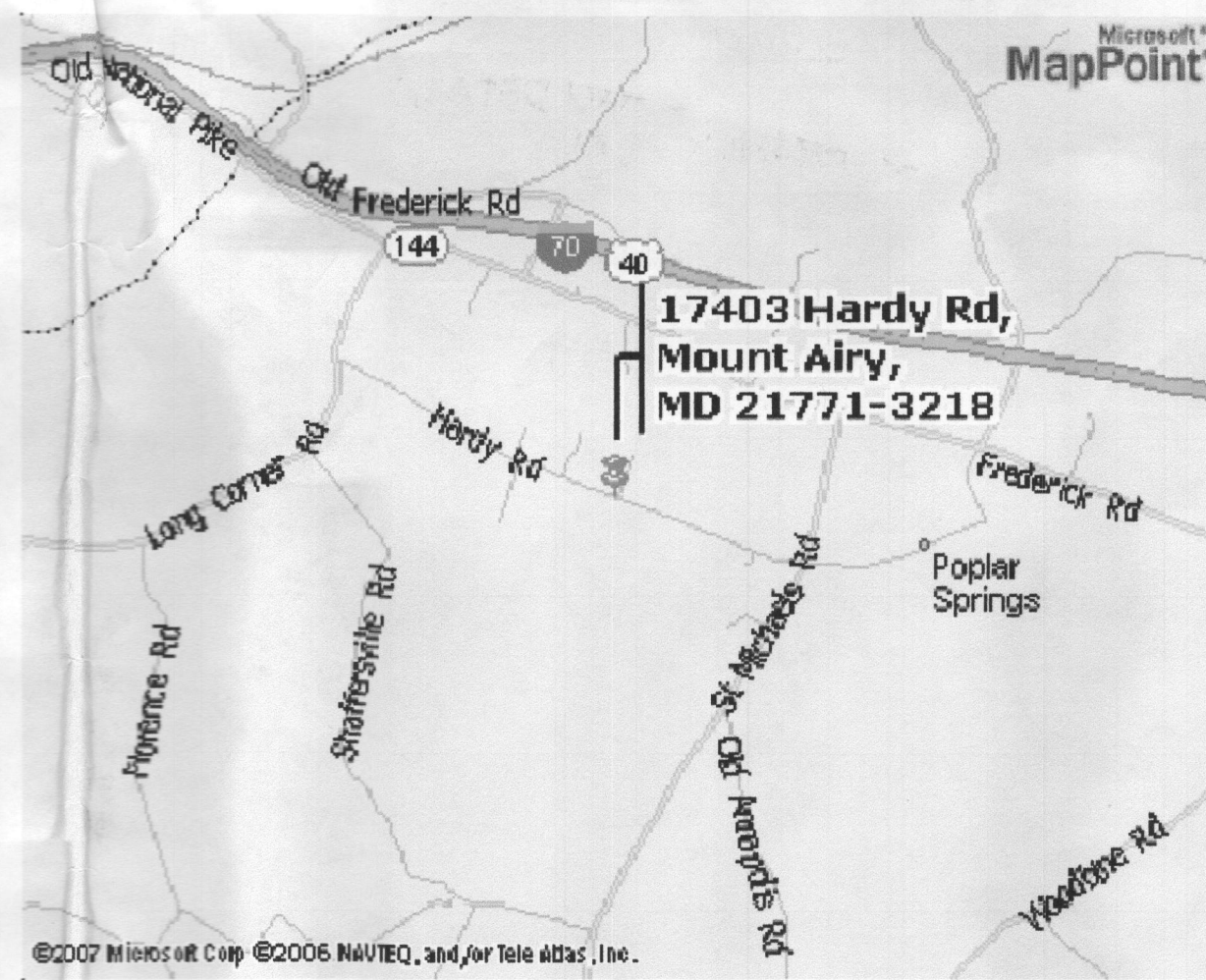
DRAWING NO.

CS

#### AREA PLAN:



#### LOCATION PLAN:



#### GENERAL INFORMATION:

**OWNERS:**  
Jason & Lindsay Hough  
17403 Hardy Rd.  
Mount Airy, MD 21771  
(PH) 410-795-2906

**ARCHITECT:**  
Brian D. Laug, AIA  
4125 Lomar Terrace  
Mt. Airy, MD 21771  
(PH) 443-250-6557

**SITE LOCATION:**  
17403 Hardy Rd.  
Mount Airy, MD 21771

**BUILDER:**  
FoxCrafters (Gerald Schonemann)  
13655 Triadelphia Rd.  
Glenelg, MD 21737  
(PH) 301-854-1840  
(FAX) 410-381-2232  
MHIC # 123361

#### INDEX OF DRAWINGS:

- CS COVER SHEET
- A-1.0 FOUNDATION PLAN
- A-1.1 FLOOR PLANS
- A-2.0 ELEVATIONS - ADDITION
- A-2.1 ELEVATIONS - GARAGE
- A-3.0 SECTIONS AND DETAILS
- A-4.0 FRAMING PLANS

#### CODE ANALYSIS:

**Building Code:**  
International Residential Code W Amendments (IRC 2006)

**Building Type:**  
5B, Single Family

Design Loads:	Live Load:	Dead Load:	Total Load:	
Sleeping Room Floor Load	30 psf	10 psf	40 psf	
Dwelling Unit Floor Load	40 psf	10 psf	50 psf	
Roof Load	30 psf	10 psf	40 psf	
Decks	40 psf	10 psf	50 psf	
Ground Snow Load	30 psf			Winter Design Temp. 13° F
Wind Speed	90 mph			Ice Shield Underlayment Requirement Yes
Seismic Design Category	B			Weathering Severe
Frost Line Depth	24 inches (Min.)			Flood Hazards July 2, 1979
Termite Decay	Moderate to heavy			Air Freezing Index 300
	Slight to moderate			Mean Annual Temp. 55° F

#### ABBREVIATIONS:

#	AND	LVL	LAMINATED-VENEER LUMBER	LB.	POUNDS	T & G	TOUNSE & GROOVE
•	AT	MAX.	MAXIMUM	PSF	POUNDS PER SQUARE FOOT	TYP.	TYPICAL
APPROX.	APPROXIMATELY	MIN.	MINIMUM	PSI	POUNDS PER SQUARE INCH	W	WIDTH
FT.	FOOT/FEET	#	NUMBER	P.T.	PRESSURE TREATED	W	WITH
F.F.L.	FINISH FLOOR LEVEL	O.C.	ON CENTER	REBAR	REINFORCING STEEL	MSCT	MAINSICOATING
H	HEIGHT		PARALLEL	REQ'D	REQUIRED	WD	WOOD
IN.	INCHES	P	PERPENDICULAR	SQ. FT.	SQUARE FOOT	WUM.	WELDED WIRE MESH

#### KEY:

	FACE BRICK		GRAVEL/POROUS FILL		BATT INSULATION		SECTION REFERENCE
	STEEL		ROUGH LUMBER		RIGID INSULATION		DETAIL REFERENCE
	CONCRETE		WOOD BLOCKING		GYPSUM BOARD		MATCH LINE
	FINISH WOOD		EARTH/COMPACT FILL		COMPACT SAND		COLUMN REFERENCE
	PLYWOOD		CONCRETE BLOCK		STUCCO		ELEV. LINE

■ BDL  
 ■ ARCHITECTS, LLC  
 ■ architecture & design  
 ■ 4125 Lamar Terrace  
 ■ Mt. Airy, MD 21771  
 ■ ph: 443.250.6551

© 2007 BDL ARCHITECT, LLC - ARCHITECTURE/PLANNING & INTERIOR DESIGN  
 THESE CONTRACT DOCUMENTS APPEARING HEREIN ARE INSTRUMENTS OF SERVICE AND CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF BDL ARCHITECT, LLC AND THE SAME MAY NOT BE REPRODUCED, COPIED, PHOTOGRAPHED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF BDL ARCHITECT, LLC.

SEAL:

CONTRACTOR:

OWNER:

PROJECT:

**Hough Residence**  
 17403 Hardy Rd.  
 Mount Airy, MD 21771

DRAWING TITLE

**Foundation Plans**

DATE/REVISIONS

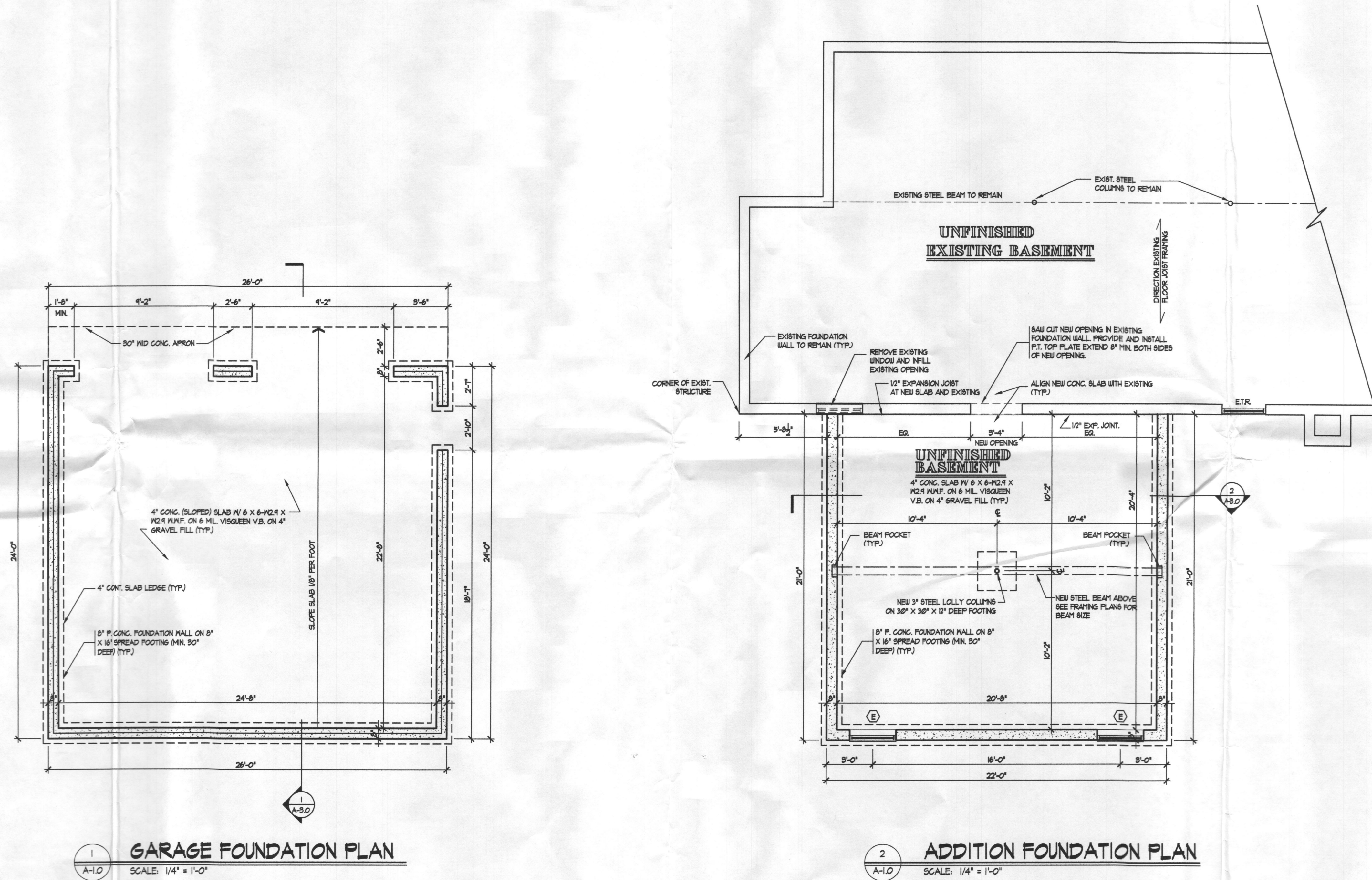
NO.	ISSUED FOR:	DATE:
1	CLIENT REVIEW/PRELIM. PRICING	9/7/07
2	REVISED PER CLIENT	9/18/07
3	FINAL BID/PERMIT/CONSTRUCTION	10/8/07

DRAWN BY: ECL DATE: 10/8/07

SCALE: AS NOTED PROJECT No. 00807-01

DRAWING NO.

**A-1.0**



1  
 A-1.0  
**GARAGE FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

2  
 A-1.0  
**ADDITION FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

■ BDL  
 ■ ARCHITECTS, LLC  
 ■ architecture & design  
 ■ 4125 Lamar Terrace  
 ■ Mt. Airy, MD 21771  
 ■ ph: 443.250.6551

© 2007 BDL ARCHITECT, LLC - ARCHITECTURE, PLANNING & INTERIOR DESIGN  
 THESE CONTRACT DOCUMENTS APPEARING HEREIN ARE INSTRUMENTS OF SERVICE AND CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF BDL ARCHITECT, LLC AND THE SAME MAY NOT BE REPRODUCED, COPIED, PHOTOGRAPHED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF BDL ARCHITECT, LLC.

SEAL:

CONTRACTOR:

OWNER:

PROJECT:

**Hough Residence**  
 17403 Hardy Rd.  
 Mount Airy, MD 21771

DRAWING TITLE

**Floor Plan**

DATE/REVISIONS

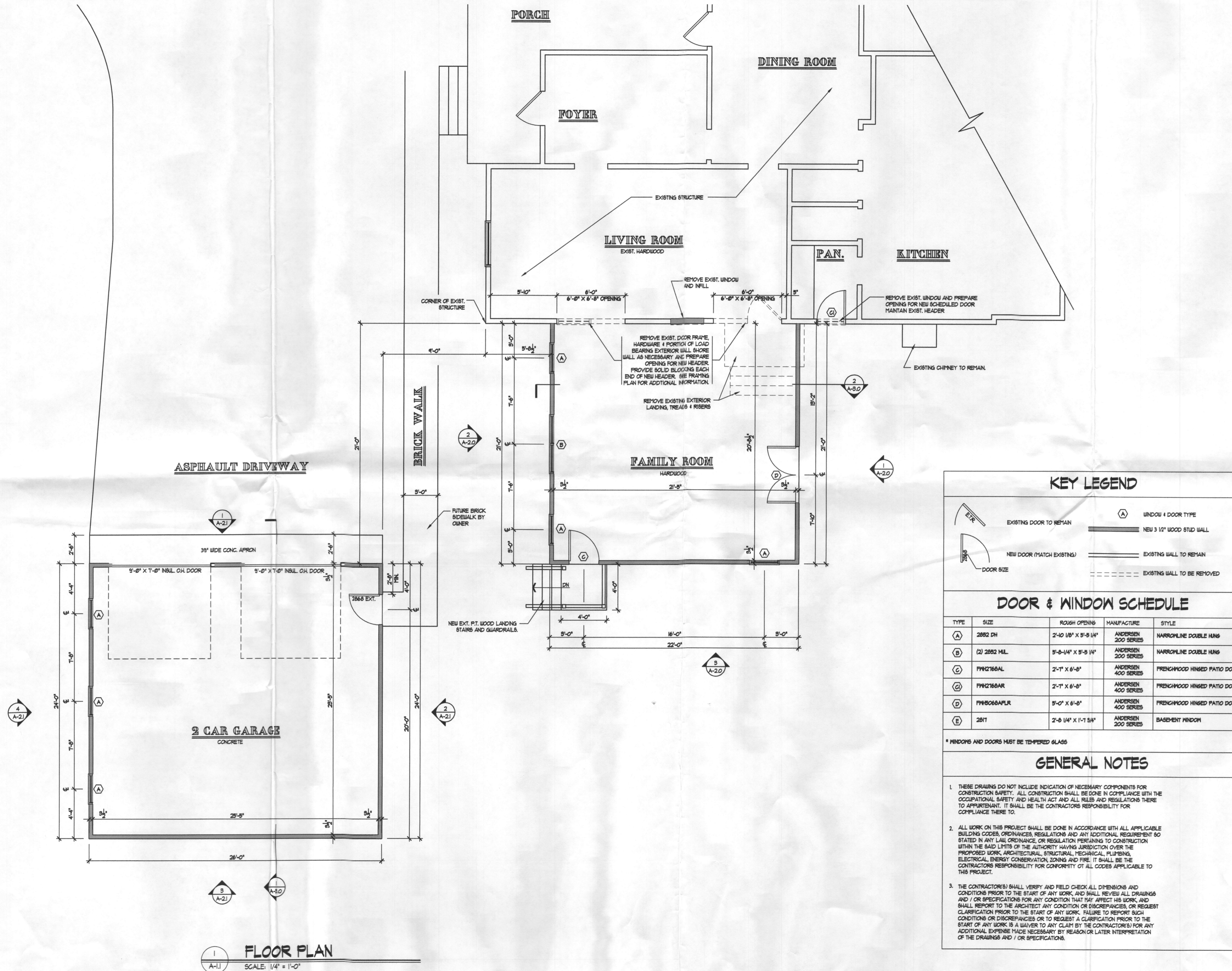
NO.	ISSUED FOR:	DATE
1	CLIENT REVIEW/PRELIM. PRICING	4/7/07
2	REVISED PER CLIENT	4/8/07
3	FINAL BID/PERMIT/CONSTRUCTION	10/8/07

DRAWN BY: BDL DATE: 10/8/07

SCALE: AS NOTED PROJECT No. 00807-011

DRAWING NO.

**A-1.1**



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

# HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

000129000

~~000129000~~

Building Address 17403 Hardy Rd  
MT Airy, MD 21771

Suite/Apt. #: \_\_\_\_\_ SDP/WP/Petition #: \_\_\_\_\_

Census Tract 6040 Subdivision Woodcamp Farm

Section \_\_\_\_\_ Area \_\_\_\_\_ Lot 25

Tax Map \_\_\_\_\_ Parcel \_\_\_\_\_ Grid \_\_\_\_\_

Zoning \_\_\_\_\_ Map Coordinates \_\_\_\_\_ Lot size \_\_\_\_\_

Existing Use 2 Uncovered porches (concrete slab)

Proposed Use 2 covered porches

Estimated Construction Cost \$ 3000

Description of Work To install a framed roof over porches using cca material, shingles or roof 1-21' x 17' 1-19'2" x 1' + side chimney

Occupant or Tenant JASON Hough

Contact Name JASON Hough

Address 17403 Hardy Rd

City MT Airy State MD Zip Code 21771

Phone 410-995-2906 Fax \_\_\_\_\_

Property Owner's Name William D. Hough

Address 17383 Hardy Rd

City MT Airy State MD Zip Code 21771

Home Phone 410-995-5596 Work Phone 410-260-7401

Applicant's Name & Mailing Address, (if other than stated hereon):  
Shirley D. Richardson  
4150 Tin Oaks Rd  
Bayton, Md 21036-1125

Phone 410-489-7035 Fax 410-531-6085

Contractor Company SIG CONTRACTORS

Contact Person Shirley Richardson

Address 4150 Tin Oaks Rd

City Bayton State MD Zip Code 21036

License No. 43677

Phone 410-489-7035 Fax 410-531-6085

Engineer or Architect Company \_\_\_\_\_

Contact Person \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_

**BUILDING DESCRIPTION - COMMERCIAL**

Building Characteristics	Utilities
Height: _____	Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private
No. of stories: _____	Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Construction type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular	Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> <input type="checkbox"/> Propane Gas <input type="checkbox"/>
	Sprinkler system: N/A <input type="checkbox"/> <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____

**BUILDING DESCRIPTION - RESIDENTIAL**

Building Characteristics	Utilities
SF Dwelling <input checked="" type="checkbox"/> SF Townhouse <input type="checkbox"/>	Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private
Depth _____ Width _____	Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private
1st floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
2nd floor: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Basement: _____	Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/>	Sprinkler system: N/A <input type="checkbox"/> <input type="checkbox"/> NFPA #13D <input type="checkbox"/> NFPA #13R <input type="checkbox"/> Other: _____
Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/>	
No. of Bedrooms _____	
Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____	
Other Structure: _____	
Dimensions: _____	
Footings: _____	
Roof: _____	
<input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Shirley D. Richardson  
 Applicant's Signature  
 Title/Company \_\_\_\_\_

Shirley D. Richardson  
 Print Name  
3-15-01  
 Date

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**  
 \*\* PLEASE WRITE NEATLY AND LEGIBLY. \*\*  
 - FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL
Land Development, DPZ		
State Highways		
Building Official		
Dev. Engineering, DPZ		
Health	<u>3/16/01</u>	<u>Brian Baker</u>
Fire Protection		

Is Sediment Control approval required prior to issuance?  
 YES  NO

CONTINGENCY CONSTRUCTION START:

ONE STOP SHOP:

DPZ SETBACK INFORMATION

Front: \_\_\_\_\_

Rear: \_\_\_\_\_

Side: \_\_\_\_\_

Side St.: \_\_\_\_\_

All minimum setbacks met?  
 YES  NO

Is Entrance Permit required?  
 YES  NO

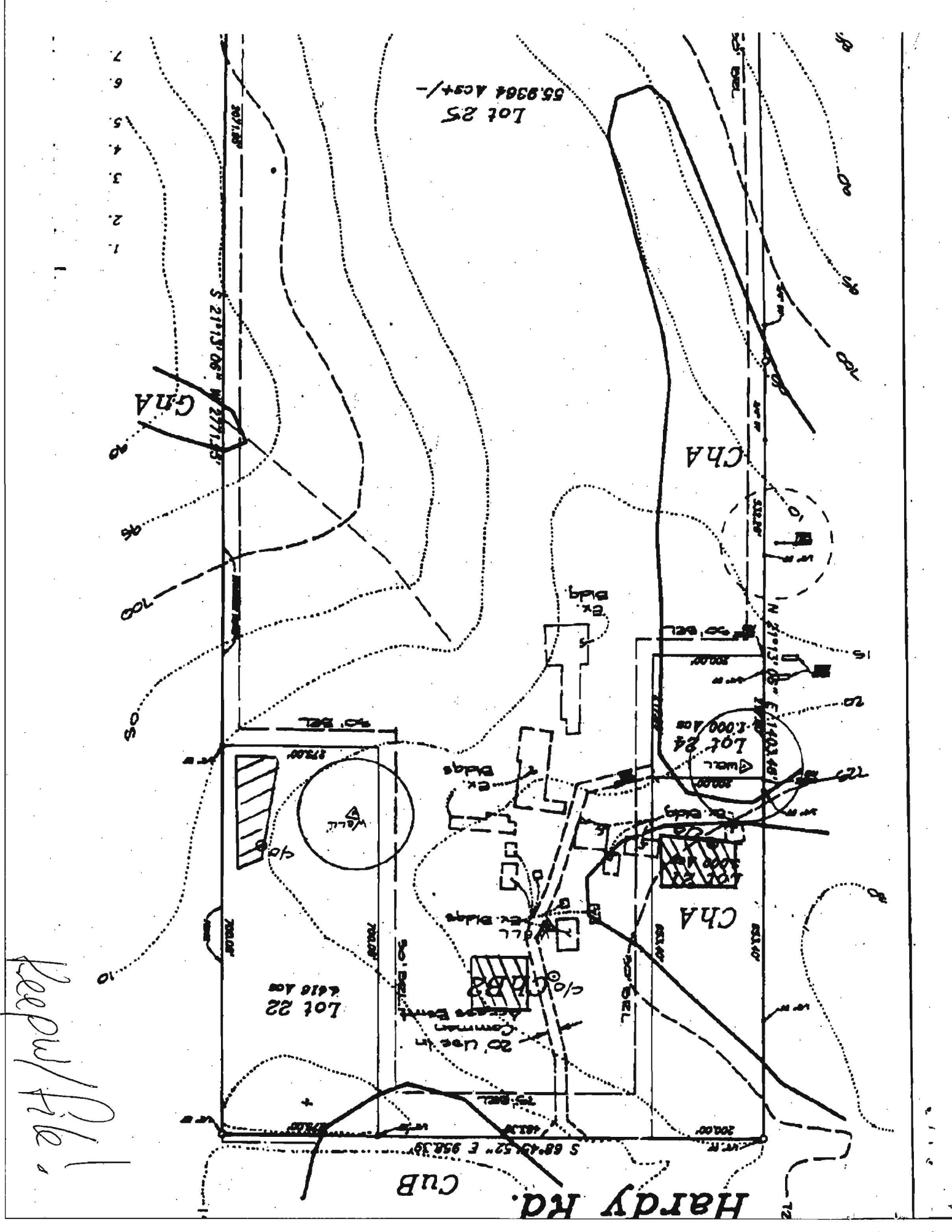
Historic District?  
 YES  NO

Lot Coverage for NewTown Zone \_\_\_\_\_

SDP/Red-line approval date \_\_\_\_\_ Accepted by \_\_\_\_\_

PROPERTY ID# 4-9911

Filing fee	\$ _____
Permit fee	\$ _____
Excise tax	\$ _____
Sub-total paid	\$ _____
Add'l permit fee	\$ _____
TOTAL FEES	\$ _____
Balance due	\$ _____
Check #	<u>17</u>
Validation #	_____



Lot 25  
55,936 Ac +/-

7  
6  
5  
4  
3  
2  
1

CHA

CHA

Lot 22  
6,616 Ac

CHA

Lot 24  
1,000 Ac

CUB

Hardy Rd.

*Keep File*



# COORDINATE TABLE

Point #	Northing	Easting
1	609669.431	1277888.238
2	609596.990	1278074.658
3	610206.094	1278311.141
4	610031.005	1278761.709
5	609378.384	1278508.330
6	609278.854	1278764.687
7	607347.368	1278014.793
8	607267.664	1277638.135
9	607319.827	1277574.218
10	607340.567	1277194.194
11	607574.928	1277116.193
12	608970.221	1277616.772

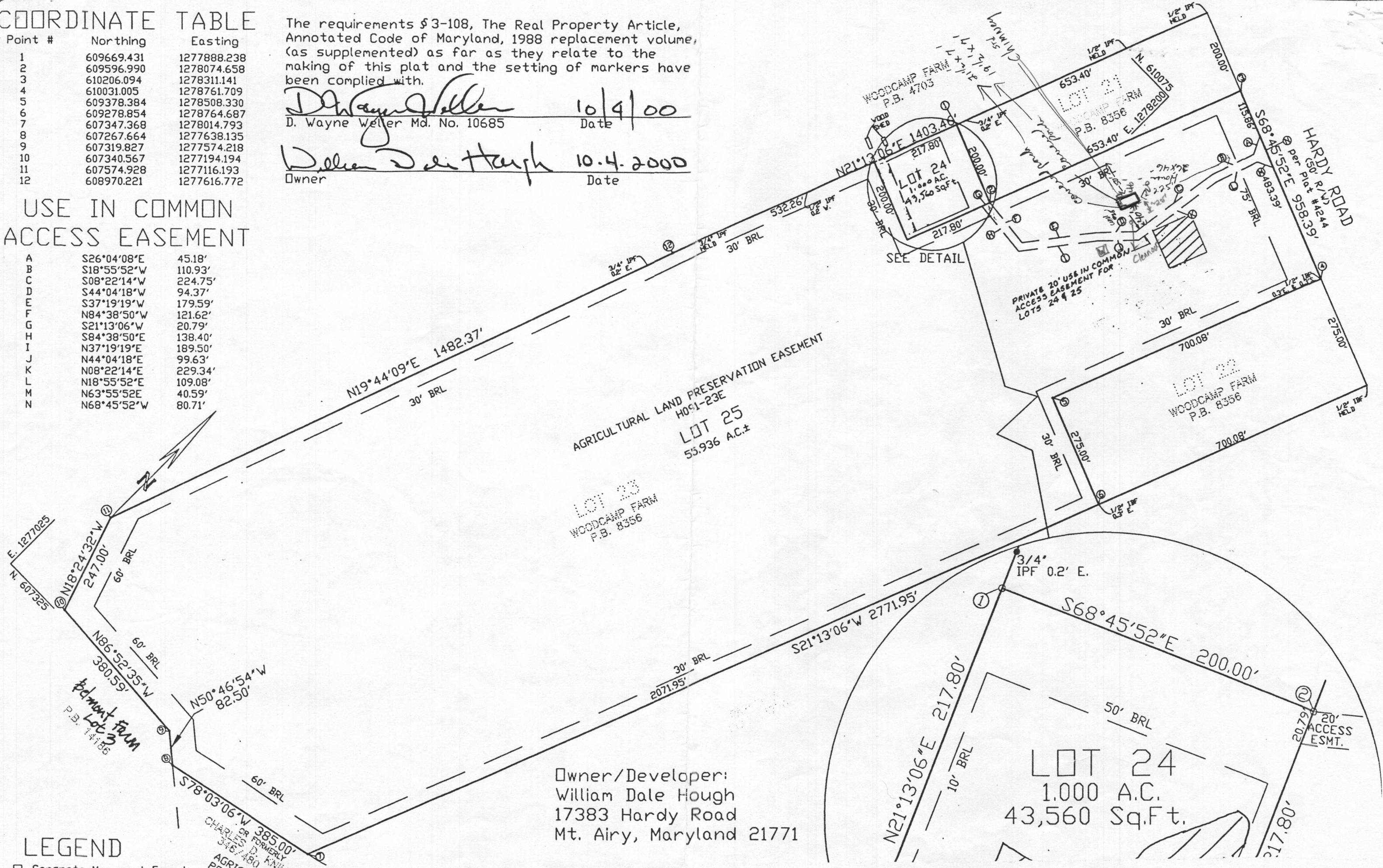
The requirements §3-108, The Real Property Article, Annotated Code of Maryland, 1988 replacement volume, (as supplemented) as far as they relate to the making of this plat and the setting of markers have been complied with.

*D. Wayne Weller* 10/9/00  
 D. Wayne Weller Md. No. 10685 Date

*William Dale Hough* 10.4.2000  
 Owner Date

## USE IN COMMON ACCESS EASEMENT

Point	Bearing	Distance
A	S26°04'08"E	45.18'
B	S18°55'52"W	110.93'
C	S08°22'14"W	224.75'
D	S44°04'18"W	94.37'
E	S37°19'19"W	179.59'
F	N84°38'50"W	121.62'
G	S21°13'06"W	20.79'
H	S84°38'50"E	138.40'
I	N37°19'19"E	189.50'
J	N44°04'18"E	99.63'
K	N08°22'14"E	229.34'
L	N18°55'52"E	109.08'
M	N63°55'52"E	40.59'
N	N68°45'52"W	80.71'



Owner/Developer:  
 William Dale Hough  
 17383 Hardy Road  
 Mt. Airy, Maryland 21771

## LEGEND

□ Concrete Monument Found

CHARLES OR FORMERLY  
 SADE/ABO  
 AGRICULTURAL  
 PRESERVATION

