



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

# RECEIVED

Date Received: 8/16/2016

LICENSES & PERMITS  
DIVISION

Permit No.: 316003221

Building Address: 3411 Warfield Pond overlook  
City: Glenwood State: MD Zip Code: 21738  
Suite/Apt. # SDP/WP/BA #:   
Census Tract: Subdivision: G. Roscoe Prop  
Section: Area: Lot: 3  
Tax Map: 21 Parcel: 274 Grid: 4  
Zoning: Map Coordinates: Lot Size: 3.178 @

Existing Use: SFD  
Proposed Use: SFD w/ propane tank  
Estimated Construction Cost: \$ 8000  
Description of Work:   
Install 1000 gal in-ground propane tank  
Occupant or Tenant:   
Was tenant space previously occupied? ☐ Yes ☐ No  
Contact Name:   
Address: Owner  
City: State: Zip Code:   
Phone: Fax:   
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
	2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
Roadside Tree Project Permit	Footings:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Williamsburg Group LLC  
Address: 5145 Harpers Farm Rd Ste 200  
City: Columbia State: MD Zip Code: 21044  
Phone: Fax:   
Email:

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: Jeremy Clancy  
Address: PO Box 310  
City: Perry Hall State: MD Zip Code: 21228  
Phone: 443-340-1229 Fax:   
Email: Jeremy @ Applied and Approved . com

Contractor Company: TECH AIR  
Contact Person: Dennis Fraga  
Address: 1560-A-D Caton Center Dr  
City: Baltimore State: MD Zip Code: 21227  
License No.: 81215  
Phone: 410-984-5631 Fax:   
Email:

Engineer/Architect Company:   
Responsible Design Prof.:   
Address: Contractor  
City: State: Zip Code:   
Phone: Fax:   
Email:

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature  
Jeremy @ Applied and Approved . com  
Email Address  
Title/Company

Print Name  
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	8/16/16	Print Name

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 55.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# 5381

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 3/24/16

Permit No.: B16001258

Building Address: 3411 Warfield Pond Overlook  
City: Glenwood State: MD Zip Code: 21738  
Suite/Apt. #: SDP/WP/BA #: 30010  
Census Tract: Subdivision: Warfield Pond  
Section: Area: Lot: 30010  
Tax Map: 21 Parcel: 183 Grid: 4  
Zoning: Map Coordinates: Lot Size: 3.178  
Existing Use: Vacant lot  
Proposed Use: SF House  
Estimated Construction Cost: \$ 250,000  
Description of Work: Custom wellington plans  
Occupant or Tenant:  
Was tenant space previously occupied? ☐ Yes ☒ No  
Contact Name:  
Address:  
City: State: Zip Code:  
Phone: Fax:  
Email:

Property Owner's Name: George & Dana Rescoe  
Address: 3410 Warfield Pond Overlook  
City: Glenwood State: MD Zip Code: 21738  
Phone: 410-997-8800 Fax: 410-997-8800  
Email: Chris@williamsburggroup.com  
Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Williamsburg Group LLC  
Address: 5485 Harpers Farm Rd # 200  
City: Glenwood State: MD Zip Code: 21738  
Phone: 410-997-8800 Fax: 410-997-8800  
Email: Chris@williamsburggroup.com

Contractor Company:  
Contact Person:  
Address:  
City: State: Zip Code:  
License No.: 155  
Phone: Fax:  
Email:

Engineer/Architect Company:  
Responsible Design Prof.:  
Address:  
City: State: Zip Code:  
Phone: Fax:  
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: 63' 68'
Area of construction (sq. ft.):	2 <sup>nd</sup> floor: 2' 2'
Use group:	Basement: <input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement
Construction type:	<input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: 4
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Water Supply
<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private
Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: 26000072
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Print Name

Email Address

Date

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	4/18/16	H. OSGOOD

Is Sediment Control approval required for issuance? ☐ Yes ☒ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 2460270

ribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

## Oswald, Hank

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**From:** Williams, Jeffrey  
**Sent:** Friday, April 15, 2016 1:14 PM  
**To:** Bob Corbett  
**Cc:** Oswald, Hank  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

Please don't infer that I thought you and Williamsburg were trying to sneak something by us. The idea I may have failed to convey is that the current owner may want it as a media room, but nobody has any control over what some future owner may do with the room. That's why we have to have some sort of definition to apply to the structure and not necessarily the stated use.

Yes, removing the window automatically makes the room no longer a bedroom. Thanks  
Jeff

---

**From:** Bob Corbett [mailto:BobCorbett@williamsburgllc.com]  
**Sent:** Friday, April 15, 2016 11:46 AM  
**To:** Williams, Jeffrey  
**Cc:** Oswald, Hank  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

Message received, but very sad that Health looks at these issues as though everyone is trying to sneak a bedroom in on them and overload the septic system. I and Williamsburg take offense to the insinuation. Nonetheless, we have taken the window out of the plan in the media room in the basement. Hopefully, this will take that room out of the bedroom classification and we can move forward. The replacement sheets from the architecture are attached and I will drop off 2 hard copies to Hank's attention this afternoon.

I am told that the spigots were removed at the time of plat recordation as a condition of recording and that Health (I believe Robert) had inspected at that time, so things should be ok there.

*Bob Corbett*

Vice President  
Williamsburg Group LLC  
Cell # 410-977-3343

4/15/18 Site visit conducted.  
No spigots were found.  
H.O.

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**From:** Williams, Jeffrey [mailto:jeffwilliams@howardcountymd.gov]  
**Sent:** Friday, April 15, 2016 9:25 AM  
**To:** Bob Corbett  
**Cc:** Oswald, Hank  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

We went through all of these arguments with the builders a few years ago when I sent a memo to the homebuilders committee. We are trying to make sure the sewage disposal system is sized properly for the structure, not just the current owner's intentions. Our code does not specify egress. I've been in many houses where rooms with smaller windows were used as bedrooms. Also, most traditional house floorplans have all bedroom access to bathrooms via a hallway.

There's nothing more for me to say other than the media room on that plan meets the definition of a bedroom in our code. Removing the doors or converting to a half bath or installing permanent bookcases around the perimeter or removing the window would be ways in which it would no longer be a bedroom under our code definition. I can't help it

if the owner doesn't like those facts. Alternatively, a different room could be converted to no longer be a bedroom or the sewage disposal system could be sized bigger if possible.

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**From:** Bob Corbett [<mailto:BobCorbett@williamsburgllc.com>]  
**Sent:** Friday, April 15, 2016 9:05 AM  
**To:** Williams, Jeffrey  
**Cc:** Oswald, Hank  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

Yes but by any other definition of a bedroom the window in the room MUST BE an egress qualified window and the window in the media room is about 20" tall, certainly not egress qualified. And so you are telling this buyer that if he is watching a movie in his theater room and has to use the bathroom, that he must open the main doors and let that light in to go out into the main basement area to use the bathroom. That's crazy!! The bath also provides dual access which to me doesn't make it a bedroom bath. A little common sense can go a long way. It is really wrong that Health uses one definition of a bedroom and DILP holds us to yet another definition.

And if you consider direct access to be via a hallway or similar short access, then even if I get rid of the bathroom door from the Media room, you could call that room a bedroom because the bathroom access is right outside that room. That is absurd!!

*Bob Corbett*

Vice President  
Williamsburg Group LLC  
Cell # 410-977-3343

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**From:** Williams, Jeffrey [<mailto:jewilliams@howardcountymd.gov>]  
**Sent:** Friday, April 15, 2016 8:52 AM  
**To:** Bob Corbett  
**Cc:** Oswald, Hank  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

The definition Hank provided is from the sewage disposal section of the county code. We count direct access to a full bath to include access via a hallway or similar short distance. Media rooms also don't typically have a window, which would eliminate it from being a bedroom under our definition. Thanks  
Jeff

---

**From:** Bob Corbett [<mailto:BobCorbett@williamsburgllc.com>]  
**Sent:** Friday, April 15, 2016 8:48 AM  
**To:** Oswald, Hank  
**Cc:** Williams, Jeffrey  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

This is a very different definition than that used by DILP. I will relocated the doors to the media room so that the access to the bathroom is public and not specific to the media room. You can't expect the owners to use a theater room without being able to close the doors to the room, therefore just a 4' opening is not possible.

*Bob Corbett*

Vice President  
Williamsburg Group LLC  
Cell # 410-977-3343

---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Friday, April 15, 2016 8:44 AM  
**To:** Bob Corbett  
**Cc:** Williams, Jeffrey  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

Bob:

Attached, please find a copy of the Section 3.801 regarding bedroom definition. A room doesn't need to include a closet in order for it to be considered a bedroom. The media room in the basement and the library room on the first floor both have a window, door and direct access to a full bathroom and therefore are considered bedrooms. If the doors to the media room were to be removed, making it a permanent 4 foot wide opening then it would not be considered a bedroom and we are back to 5.

Also, I'm going to conduct a site visit today to see if the spigots are still there.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

---

**From:** Bob Corbett [<mailto:BobCorbett@williamsburgllc.com>]  
**Sent:** Friday, April 15, 2016 8:28 AM  
**To:** Oswald, Hank; Chris Wine  
**Cc:** Zach Fisch <[zfisch@FSHERI.COM](mailto:zfisch@FSHERI.COM)> ([zfisch@FSHERI.COM](mailto:zfisch@FSHERI.COM))  
**Subject:** RE: Warfield Pond Overlook\_Lot 3

Hank,

The media room in the basement is a "theater" room, not a bedroom. By code definition, a room is considered a "bedroom" if and when it contains a closet and this media room does not contain a closet. The study on the first floor could be considered a bedroom although that is not the intention of this buyer. Even if we do consider it a bedroom, that totals 5, and the BAT was designed for 5, so we should be fine.

I am investigating the spigots in the septic area with the property owner and will get back to you on that. I would hope that you would continue your review and approval of the BAT while I do that, just not releasing the permit until we have confirmed the removal of the spigots.

Thanks

*Bob Corbett*

Vice President  
Williamsburg Group LLC  
Cell # 410-977-3343

---

**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Thursday, April 14, 2016 3:13 PM  
**To:** Bob Corbett; Chris Wine  
**Cc:** Zach Fisch <[zfisch@FSHERI.COM](mailto:zfisch@FSHERI.COM)> ([zfisch@FSHERI.COM](mailto:zfisch@FSHERI.COM))  
**Subject:** Warfield Pond Overlook\_Lot 3

Hi Bob:

I'm in receipt of the building permit (B16001258), floor plans and BAT Plan for Warfield Pond Overlook, Lot 3.

The BAT Plan is designed for 5 bedrooms and the floor plans show 6 including the Media Room in Basement, Library on 1<sup>st</sup> Floor, and 4 bedrooms on the 2<sup>nd</sup> Floor. The building permit indicates 4 BR's. Either the FPs or the BAT plan will have to be modified to match-up (Increase BAT bedroom capacity to 6 or reduce BR count to 5).

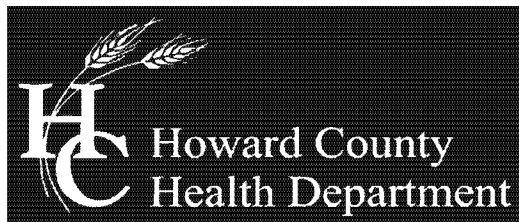
✚ Can you tell me if the "water spigots" in the sewage disposal areas on lots 2 and 3 have been removed? I couldn't find proof of that anywhere. Thanks in advance.

Should you have any questions, please don't hesitate to ask

Respectfully,

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

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April 7, 2016

CHRIS WINE  
WILLIAMSBURG GROUP LLC  
5485 HARPERS FARM ROAD SUITE 200  
Columbia, MD 21044

Sent to via email:

[CHRISWINE@WILLIAMSBURGLLC.COM](mailto:CHRISWINE@WILLIAMSBURGLLC.COM);  
[BOBCORBETT@WILLIAMSBURGLLC.COM](mailto:BOBCORBETT@WILLIAMSBURGLLC.COM)

**RE: Building Permit # B16001258**  
**3411 Warfield Pond Overlook**  
**Glenwood, MD 21738**

Dear Mr. Wine:

This letter is in response to building permit # **B16001258**. The application describes the construction of a single family dwelling. Upon review of the application, the submittal did not include a copy of the floor plans. Additionally, a BAT plan is required for this review.

At this time, the building permit application has been placed on hold until floor plans and a BAT Plan are submitted for review. Should any questions or concerns, please contact me directly at (410) 313 – 1786 or [hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov).

Sincerely,

*Hank Oswald*

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Well & Septic Program

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, April 07, 2016 10:22 AM  
**To:** 'CHRISWINE@WILLIAMSBURGLLC.COM'  
**Cc:** 'BOBCORBETT@WILLIAMSBURGLLC.COM'  
**Subject:** B16001258\_3411 Warfield Pond Overlook  
**Attachments:** BP Response Letter\_SFD Floor Plans\_B16001258\_2016.pdf; Septic Specs\_3411 Warfield Pond Overlook.pdf

Please see attached BP review letter and septic specs for 3411 Warfield Pond Overlook.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Thursday, April 14, 2016 3:13 PM  
**To:** BOBCORBETT@WILLIAMSBURGLLC.COM; CHRISWINE@WILLIAMSBURGLLC.COM  
**Cc:** Zach Fisch <zfish@FSHERI.COM> (zfish@FSHERI.COM)  
**Subject:** Warfield Pond Overlook\_Lot 3

Hi Bob:

I'm in receipt of the building permit (B16001258), floor plans and BAT Plan for Warfield Pond Overlook, Lot 3.

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✚ Can you tell me if the "water spigots" in the sewage disposal areas on lots 2 and 3 have been removed? I couldn't find proof of that anywhere. Thanks in advance.

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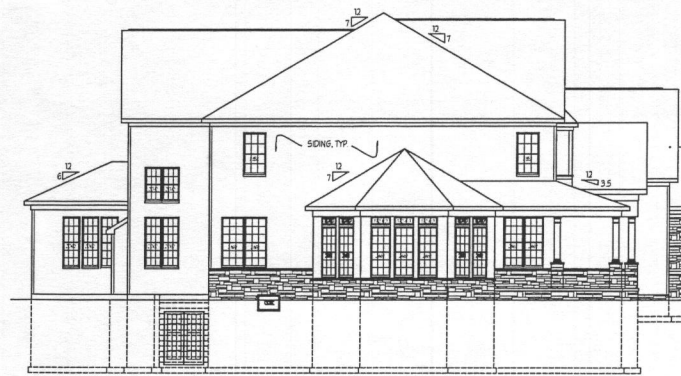
Respectfully,

Hank

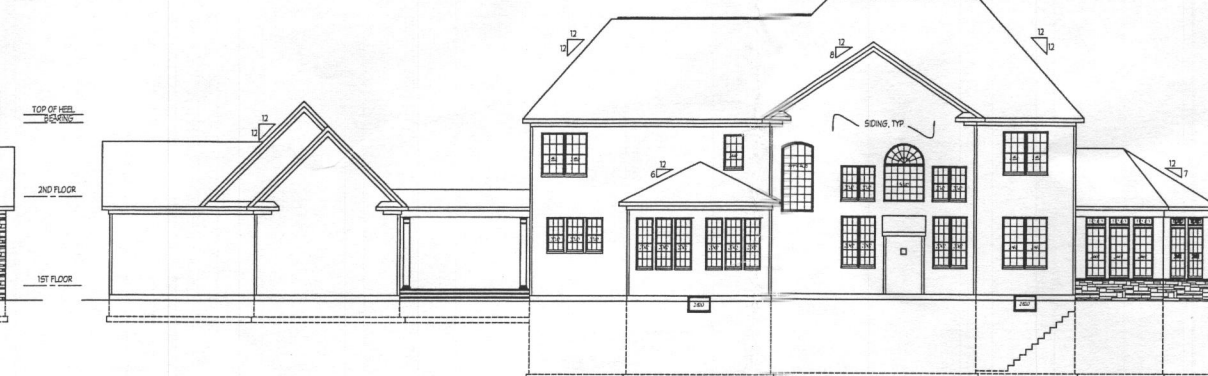
Hank Oswald, L.E.H.S.  
Howard County Health Department  
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8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)



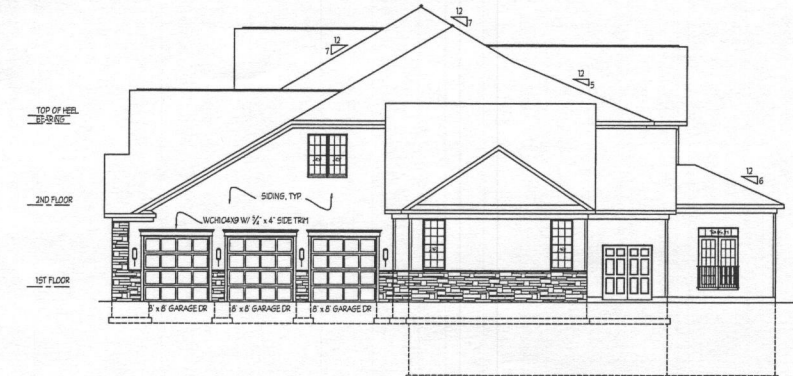
B16001258  
 FPS show 6 BRs  
 BP says 4 BR  
 BAT designed for 5 BRs



LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
 SCALE: 3/16" = 1'-0"

**Plymouth Road Architects**  
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281

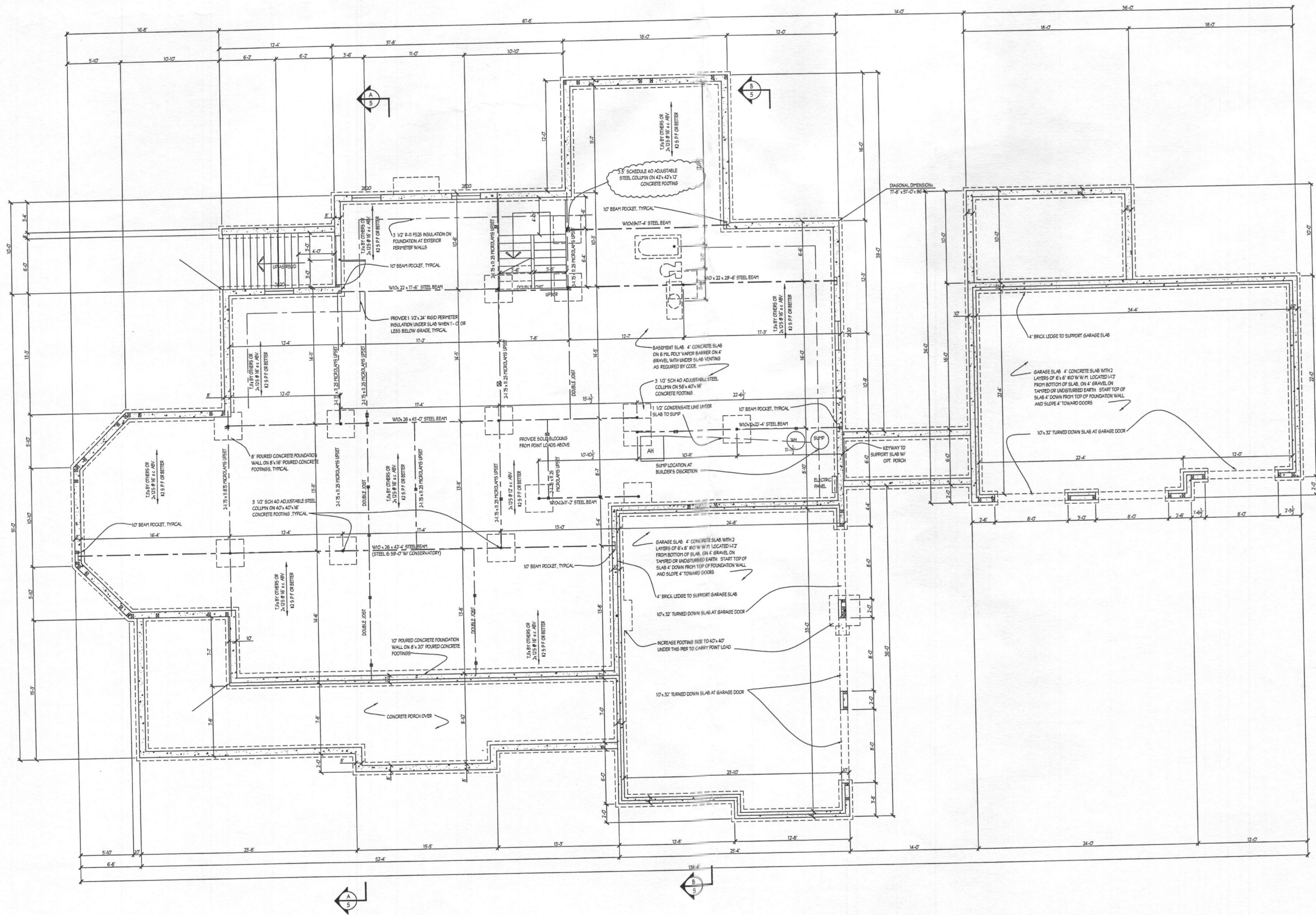
DATE	REVISION	DATE	REVISION

Date: 2/16  
 Scale: NOTED  
 Drawn: TIM

Drawing: FRONT ELEVATION  
 Project: WILLIAMSBURG GROUP  
 WELLINGTON  
 WARFIELD POND LOT 3

1067 WP3  
 Project No.

1



REVISED 3/24/16

Plymouth Road Architects

640 Plymouth Road, Catonsville, MD 21229 410-788-0281

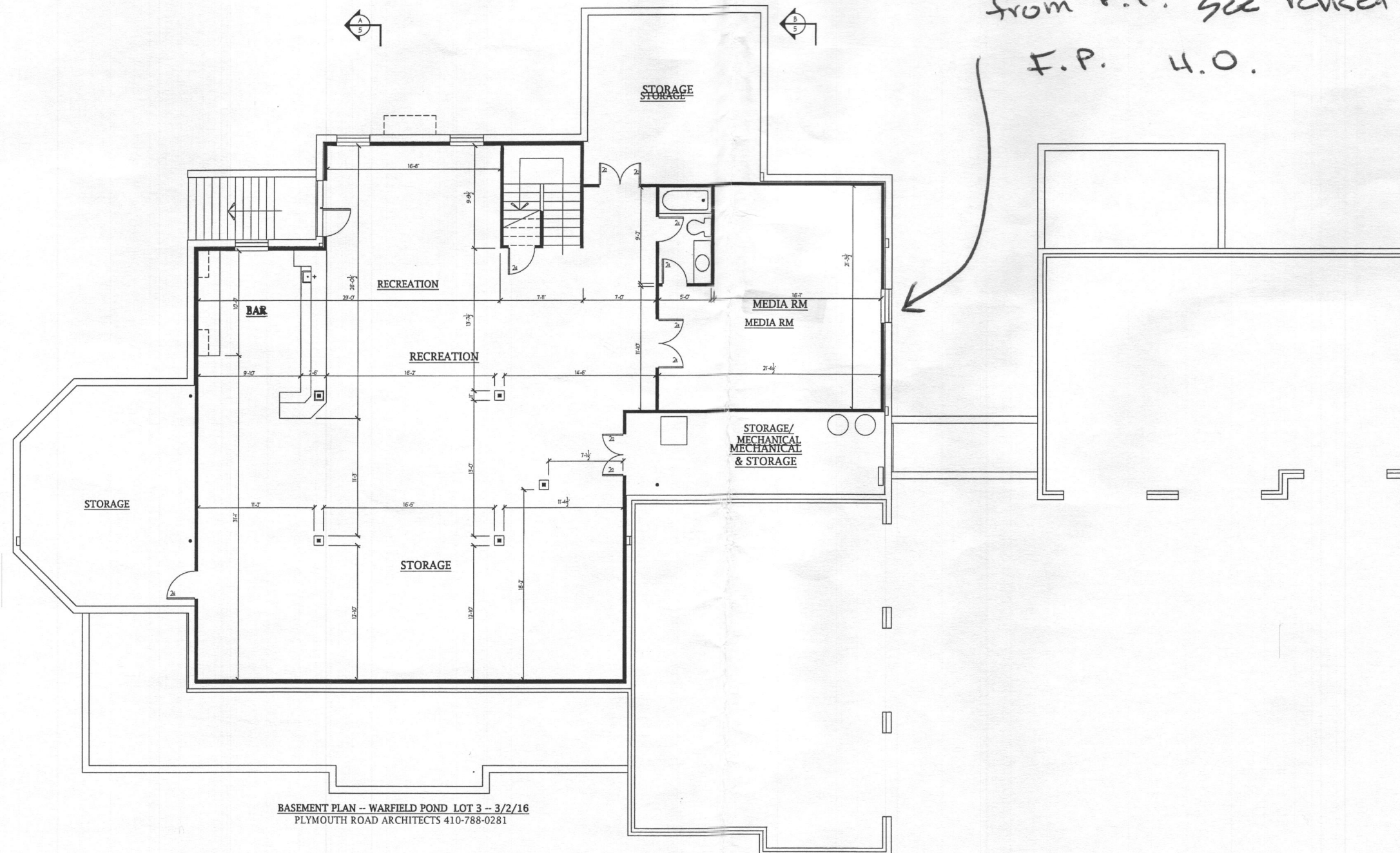
DATE:	REVISION:

Date: 2/16  
Scale: 3/16" = 1'-0"  
Drawn: TIM

Drawing: BSMT/FOUNDATION PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WARFIELD POND LOT 3

1067 WP3  
Project No.

2a



BASEMENT PLAN -- WARFIELD POND LOT 3 -- 3/2/16  
PLYMOUTH ROAD ARCHITECTS 410-788-0281

4/18/16 Window removed  
from F.P. See revised  
F.P. U.O.

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

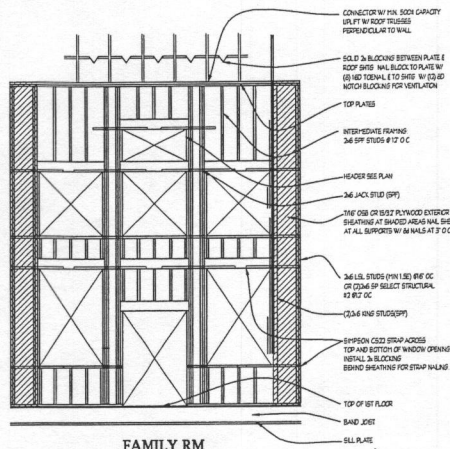
DATE	REVISION	DATE	REVISION

Date: 2/16  
Scale: 3/16"=1'-0"  
Drawn: TIM

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WAREFIELD POND LOT 3

1067 WP3  
Project No.

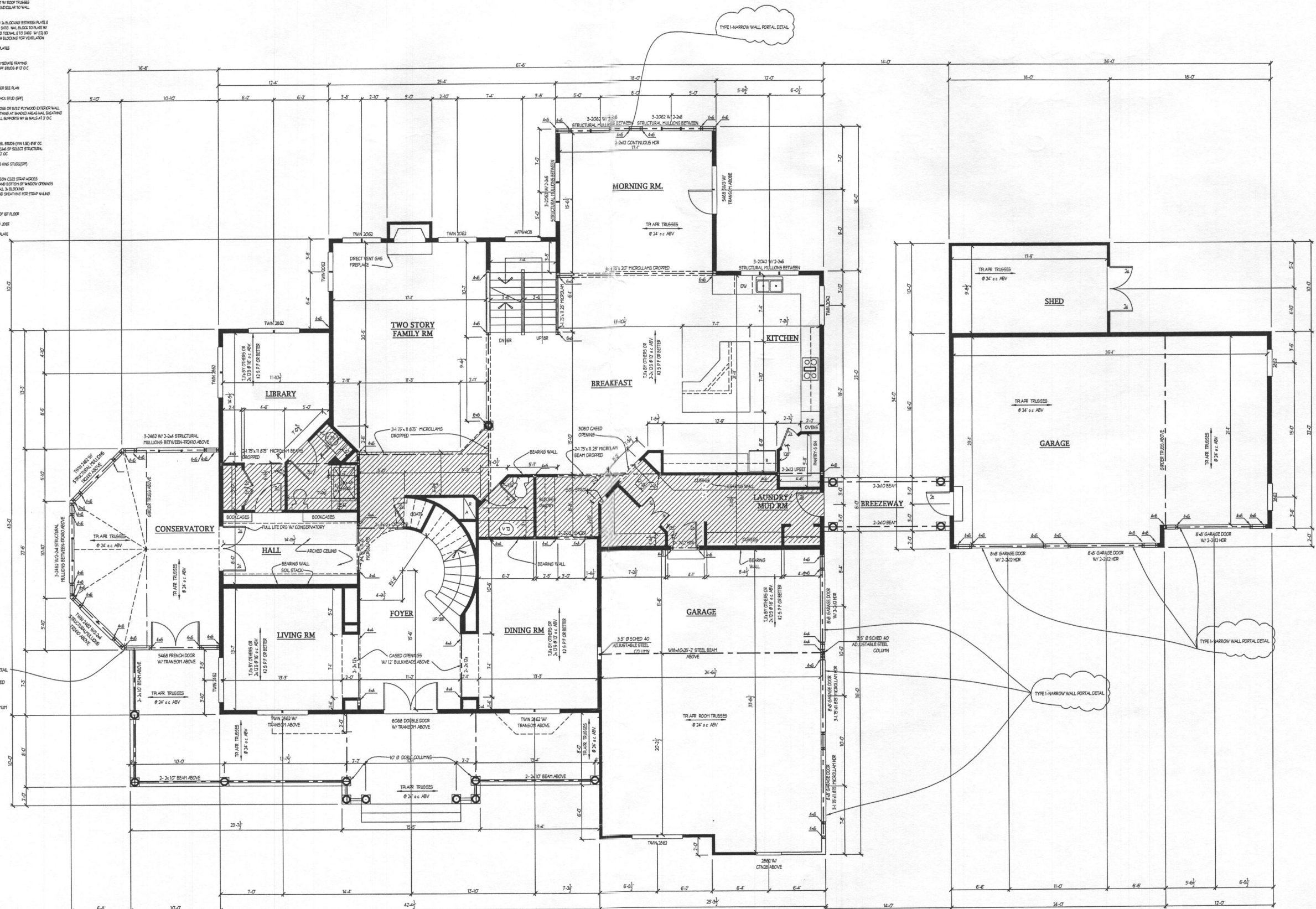
2b



FAMILY RM  
WALL BRACING  
DETAIL

TYPE 1-NARROW WALL PORTAL DETAIL  
ALL COLLUMPS ARE TO BE STRAPPED  
AND NAILED ACCORDING TO THE  
DETAIL PROVIDED.  
ALL HEADERS TO BE 2-2X12 MINIMUM  
NOTE LAP TOP PLATES AT ALL  
CORNERS

NOTES:  
WINDOW HEADERS ARE: 4\"/>



REVISED 3/24/16

tim graham

3/21/2016 8:22 AM

Wellington WP lot 3 plan.cdwg

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE:	REVISION:

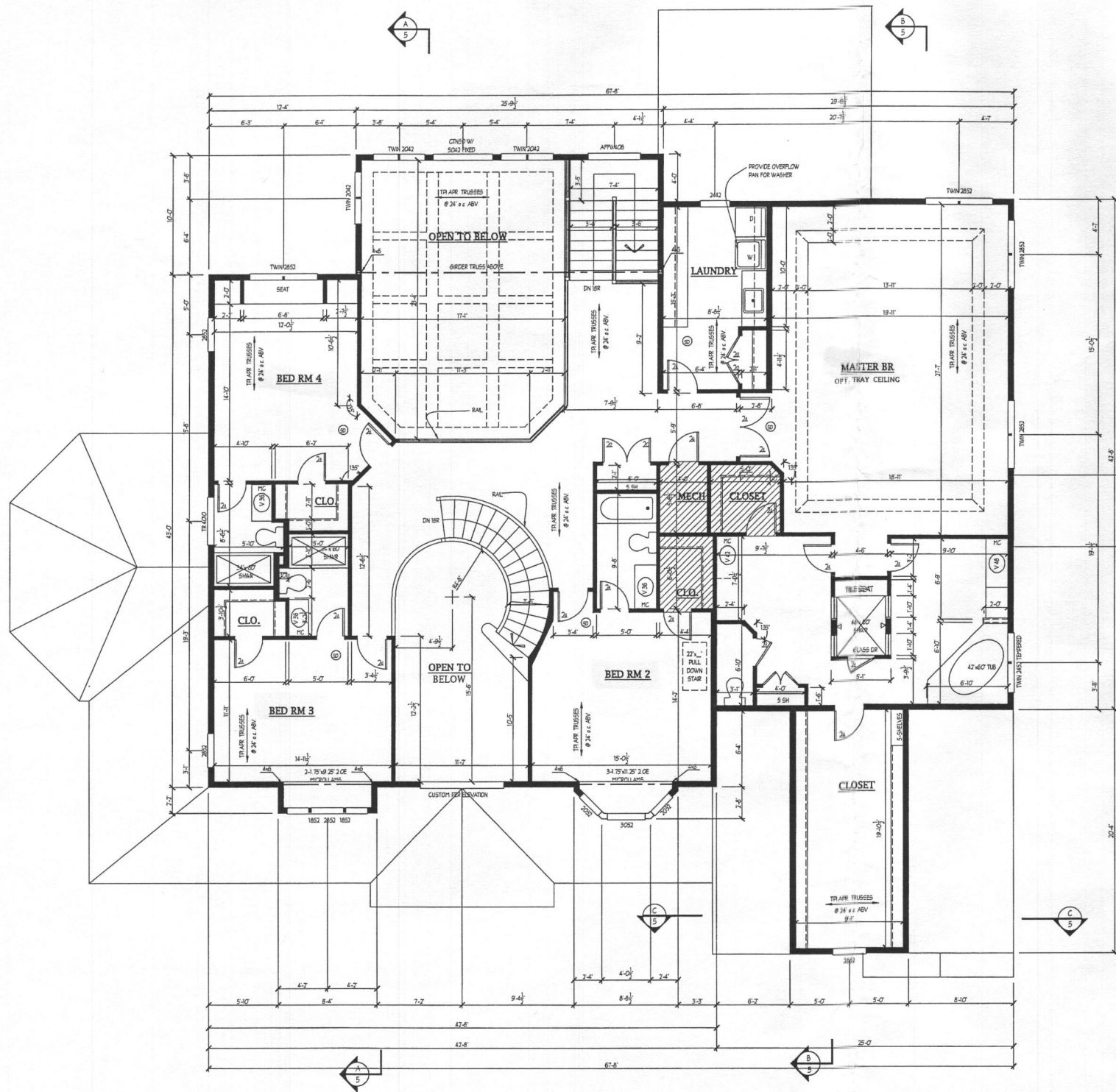
Date: 2/16
Scale: 3/16"=1'-0"
Drawn: TIM

Drawing: FIRST FL. PLAN
Project: WILLIAMSBURG GROUP WELLINGTON WELLFIELD POND LOT 3

1067 WP3  
Project No.

3

3/21/2016 8:22 AM



NOTES:  
WINDOW HEADERS ARE 6" x 10" 2'-0" x 2'-0"  
3'-0" x 2'-0" x 2'-0"  
4'-0" x 2'-0" x 2'-0"  
5'-0" x 2'-0" x 2'-0"  
ROUGH DOOR HEIGHTS ARE AT 7'-0" 3/4" UNLESS  
NOTED OTHERWISE  
ALL HEADERS IN BEARING WALLS ARE 2'-0" x 2'-0"  
UNLESS NOTED OTHERWISE  
WOOD COLLING SPECIFIED MAY BE BUILT UP  
OF 2" MEMBERS, FASTENED TOGETHER AS  
REQUIRED  
ALL EXTERIOR WALLS TO BE 2'-0" x 15" x 15"  
UNLESS OTHERWISE NOTED  
NOTE: SUBSTITUTION OF ENGINEERED JOISTS  
DESIGNED BY OTHERS IN LIEU OF DIMENSIONAL  
2" LUMBER SPECIFIED FOR FLOOR FINISHING IS  
ACCEPTABLE

REVISED 3/24/16

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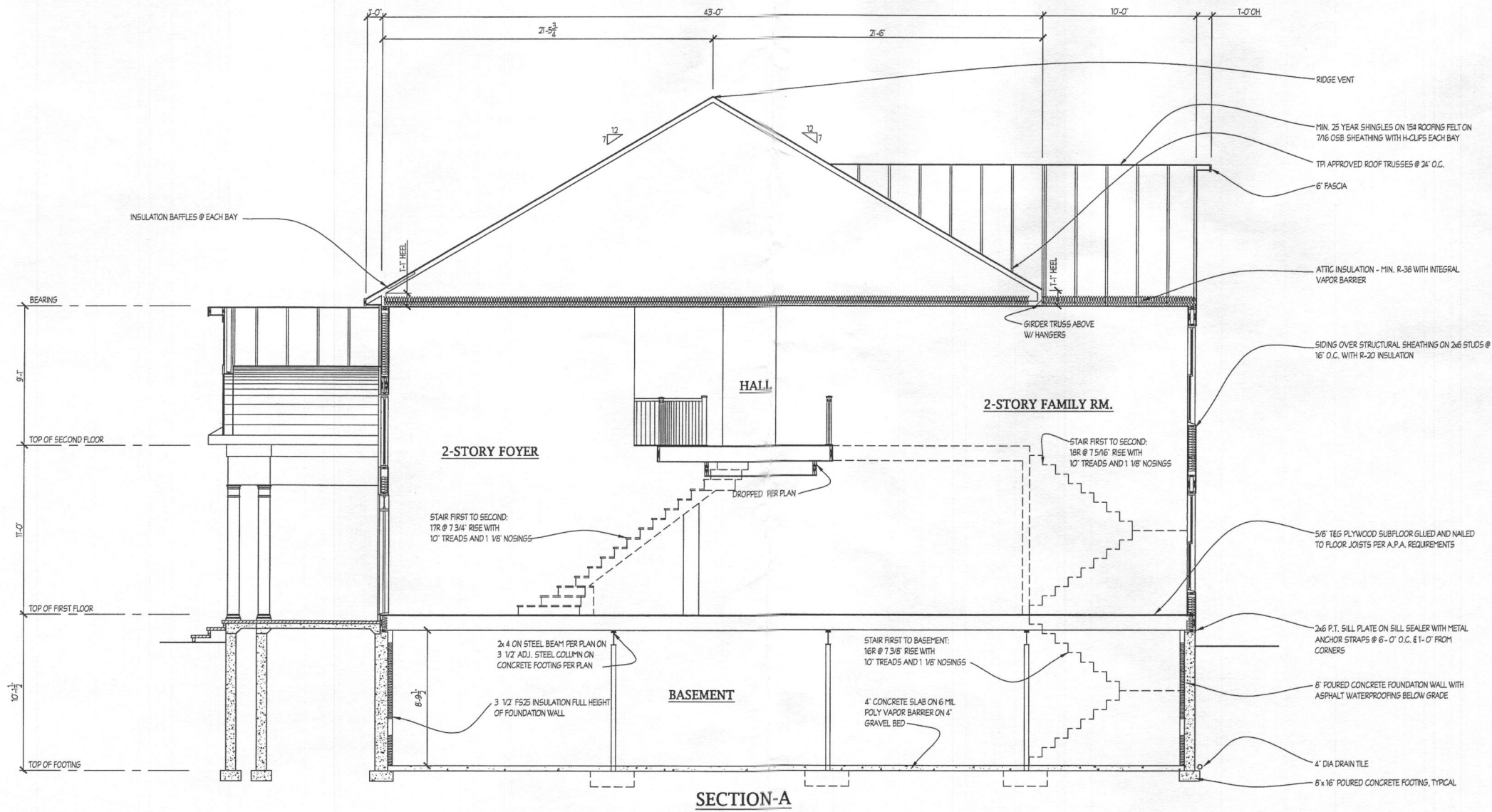
DATE	REVISION	DATE	REVISION

Date: 2/16  
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Drawn: TTM

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Project: WILLIAMSBURG GROUP  
WELLINGTON  
WARFIELD POND LOT 3

1067 WP3  
Project No.

4



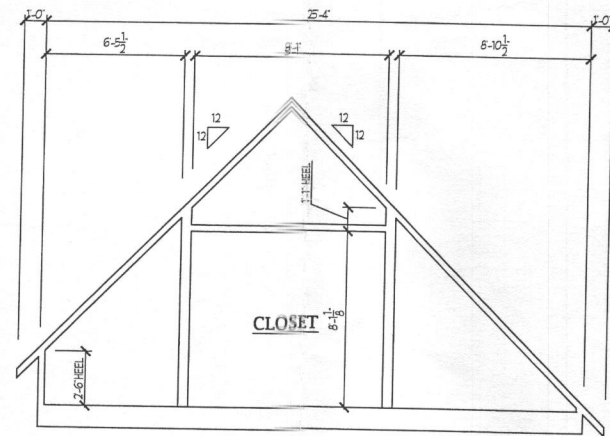
SECTION-A

DATE	REVISION

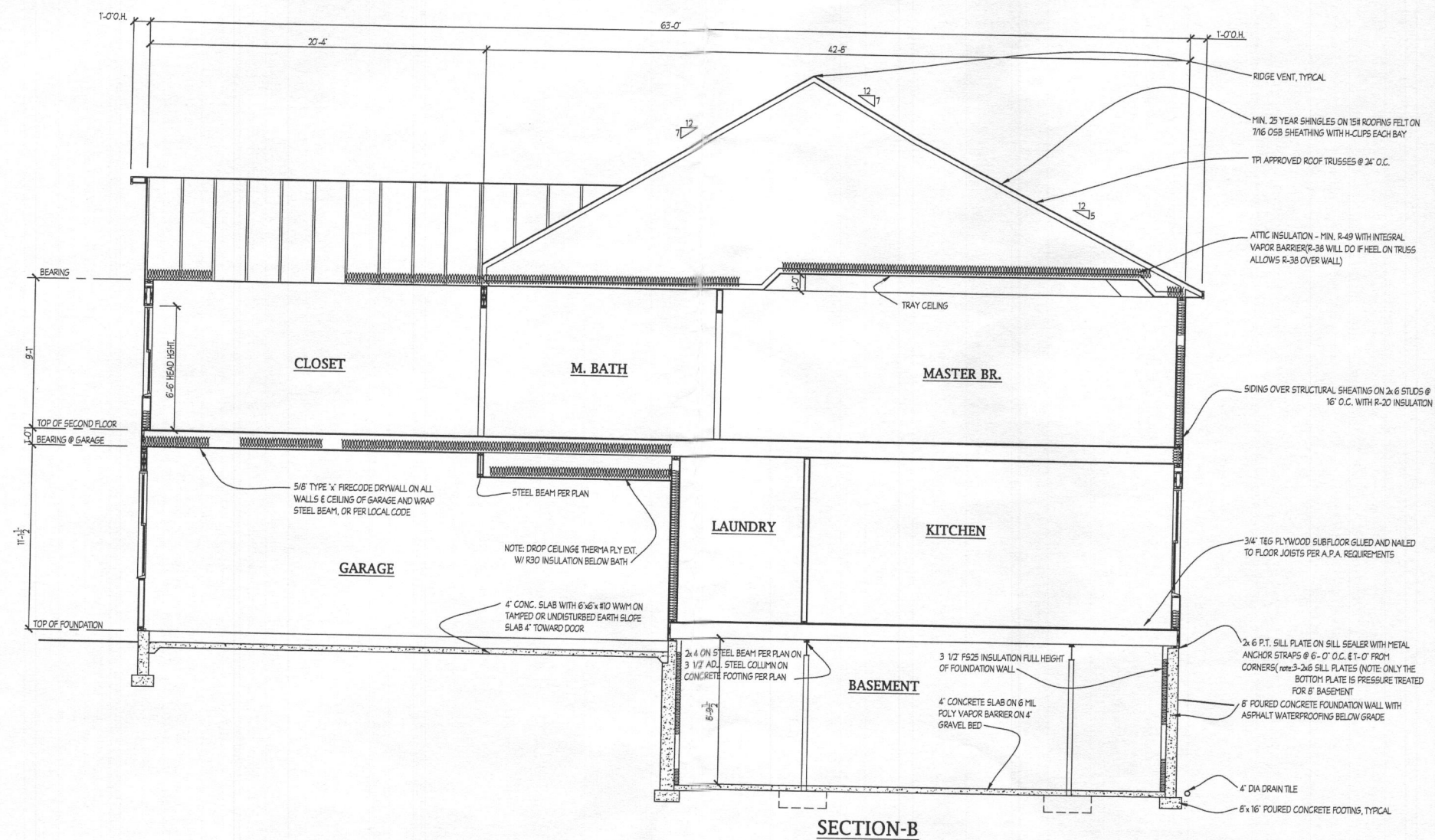
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Drawn: TIM	

Drawing: SECTION A	Project: WILLIAMSBURG GROUP WELLINGTON WARFIELD POND LOT 3
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1067 WP3 Project No.
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**GARAGE TRUSS DIAGRAM**



**SECTION-B**

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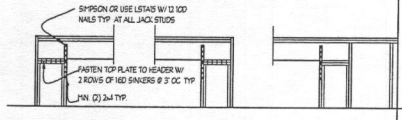
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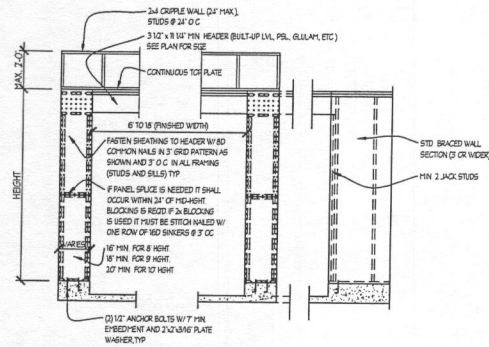
Drawing: SECTION B  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WARFIELD POND LOT 3

1067 WP3  
Project No.

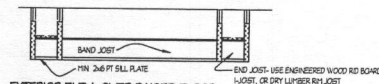
**6**



INTERIOR ELEVATION



EXTERIOR ELEV. DIRECT TO FOUNDATION



EXTERIOR ELEV. OVER RAISED FLOOR

NARROW WALL PORTAL DETAILS - TYPE 1

NARROW WALL BRACING DETAILS, SCALE:1/4"=1'-0"

NOTE: PORTAL FRAMES ARE DESIGNED TO REPLACE THE BRACED WALL SEGMENT UP TO 40' LONG FOR 9FT WALL & 30' FOR 10FT WALL ADJACENT TO BAY OPENING LOCATIONS AND BRACING TO FOLLOW RC REQUIREMENTS

LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL.

A. LINEAR INTERPOLATIONS SHALL BE PERMITTED  
B. FULL-HEIGHT SHEATHED WALL SEGMENTS TO EITHER SIDE OF GARAGE OPENINGS THAT SUPPORT LIGHT FRAME ROOFS ONLY, WITH ROOF COVERING DEAD LOADS OF 3PSF OR LESS SHALL BE PERMITTED TO HAVE A 4:1 ASPECT RATIO.

MINIMUM LENGTH OF BRACED WALL PANEL (INCHES)			MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% OF WALL HEIGHT)
48	54	60	100%
32	36	40	85%
24	27	30	65%

NOTE:

WALL BRACING:

ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION. IN ADDITION, INTERIOR BRACED WALL LINES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R602.10.1.1. FOR BUILDINGS IN SEISMIC DESIGN CATEGORIES, D1 AND D2, WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADDITIONAL REQUIREMENTS OF R602.10.3, R602.10.3.1, AND R602.10.3.2.

BRACED WALL LINES SHALL CONSIST OF BRACED WALL PANEL CONSTRUCTION METHODS IN ACCORDANCE WITH SECTION R602.10.3. THE AMOUNT AND LOCATION OF BRACING SHALL BE IN ACCORDANCE WITH TABLE R602.10.1 AND THE AMOUNT OF BRACING SHALL BE THE GREATER OF THAT REQUIRED BY THE SEISMIC DESIGN CATEGORY OR THE DESIGN WIND SPEED. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12.5' (3810 MM) FROM EACH END OF A BRACED WALL LINE. BRACED WALL PANELS THAT ARE COUNTED AS PART OF A BRACED WALL LINE, EXCEPT THAT (3850MM) FROM EACH END OF A BRACED WALL LINE.

R602.10.3.1 BRACING: SPACING OF BRACED WALL LINES SHALL NOT EXCEED 35' (10,668 MM) ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY.

EXCEPTION:

SPACING OF BRACED WALL LINES NOT EXCEEDING 50' SHALL BE PERMITTED WHERE:

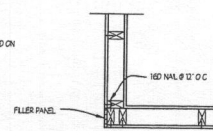
1. THE WALL BRACING PROVIDED EQUALS OR EXCEEDS THE AMOUNT OF BRACING REQUIRED BY TABLE R602.10.3 MULTIPLIED BY A FACTOR EQUAL TO THE BRACED WALL LINE SPACING DIVIDED BY 35, AND
2. THE LENGTH-TO-WIDTH RATIO FOR THE FLOOR/WALL DIAPHRAGM DOES NOT EXCEED 3:1.

NOTE: WIND BRACING DESIGN AS REQUIRED BY SECTION 602.10 OF THE IRC HAVE BEEN SATISFIED BY THE ALTERNATIVE CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD (602.10.5) AND NARROW WALL PORTAL FRAMES BRACING REFER TO WALL CONSTRUCTION DETAILS THIS SHEET. ADDITIONALLY, ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.301 OF THE INTERNATIONAL RESIDENTIAL CODE, AND THE MANUFACTURER'S RECOMMENDATIONS IN THE CASE OF ENGINEERED COMPONENTS. PORTAL BRACED WALL LENGTHS ARE BASED ON THE TABLE BELOW.

WALL ADJACENT OPENING HEIGHT EQUIVALENT TO	MINIMUM LENGTH OF BRACED WALL PANELS									
	60"	66"	66"	72"	78"	82"	88"	106"	106"	FULL HEIGHT
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"
50 VENT WINDOW	34"	36"	36"	36"	36"	36"	36"	36"	36"	36"

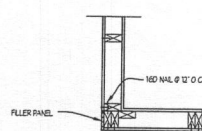
PORTAL DESIGN MAY NOT BE SUBSTITUTED

ALL BRACED EXTERIOR WALLS SHALL BE FASTENED TO FRAMING WITH 8d COMMON NAILS 2" @ 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLID PLATES SHALL BE FASTENED TO JOIST OR SOLID BLOCKS WITH 8d COMMON NAILS 16" O.C. @ 16" O.C. TO PLATE OR SILL WITH 8d 2" @ 16" O.C. TYPICAL. ALL EXTERIOR WALL CORNERS SHALL BE REINFORCED PER DETAIL. INTERIOR BRACED WALLS SHALL BE FASTENED TO FRAMING WITH 8d COMMON NAILS 16" O.C. @ 16" O.C. TO PLATE OR SILL WITH 8d 2" @ 16" O.C. TYPICAL.



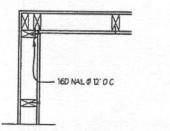
OUTSIDE CORNER DETAIL

not to scale



GARAGE CORNER DETAIL

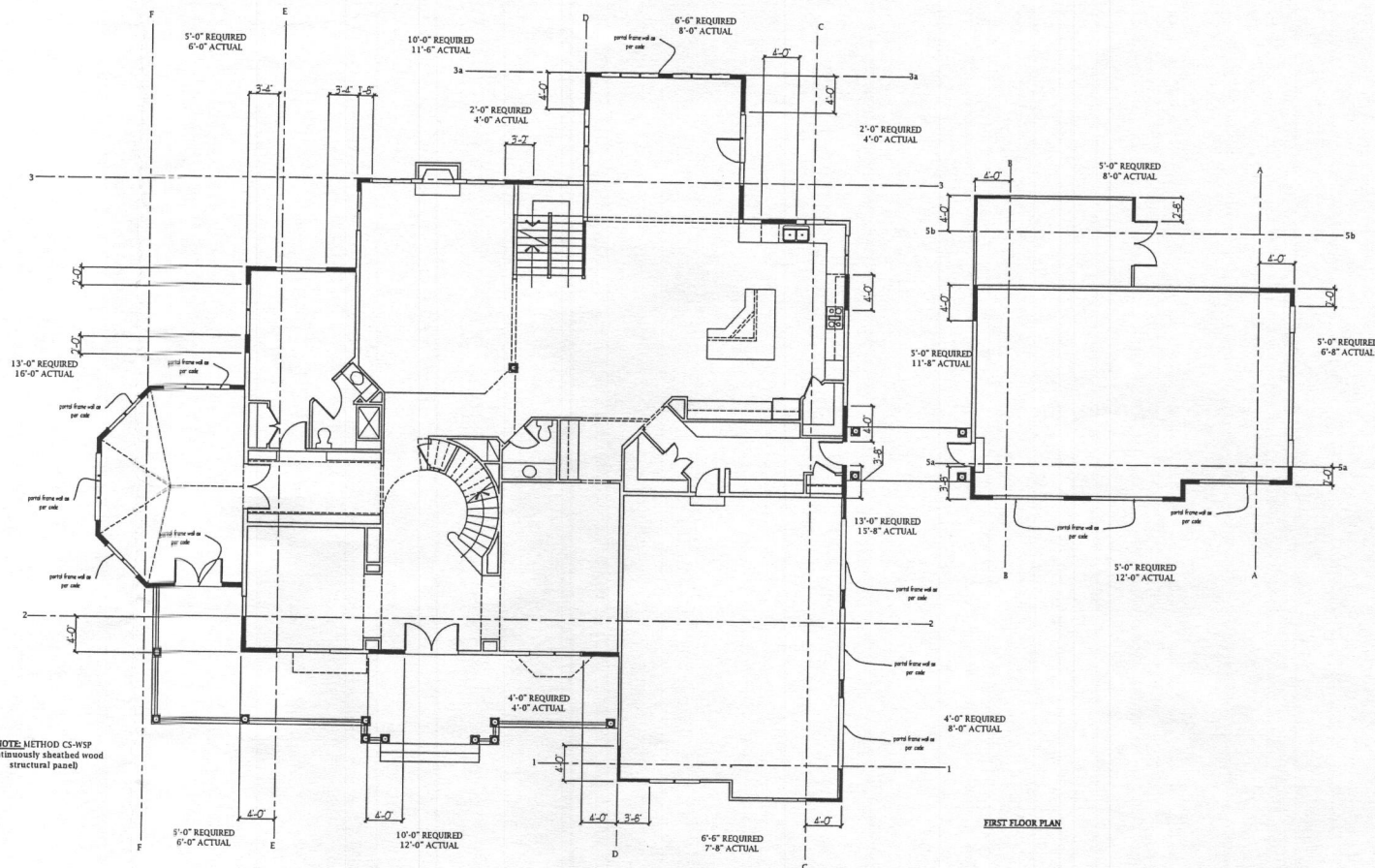
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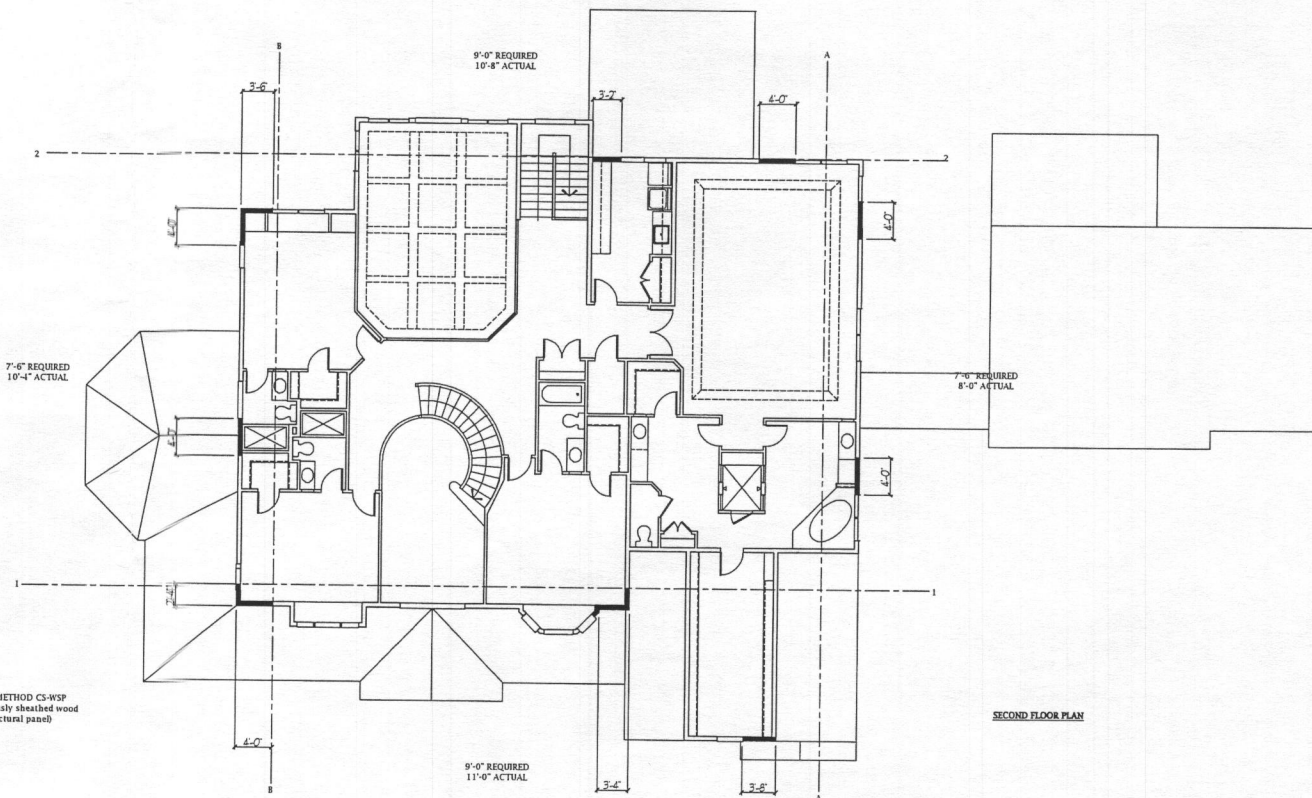
INSIDE CORNER DETAIL

not to scale

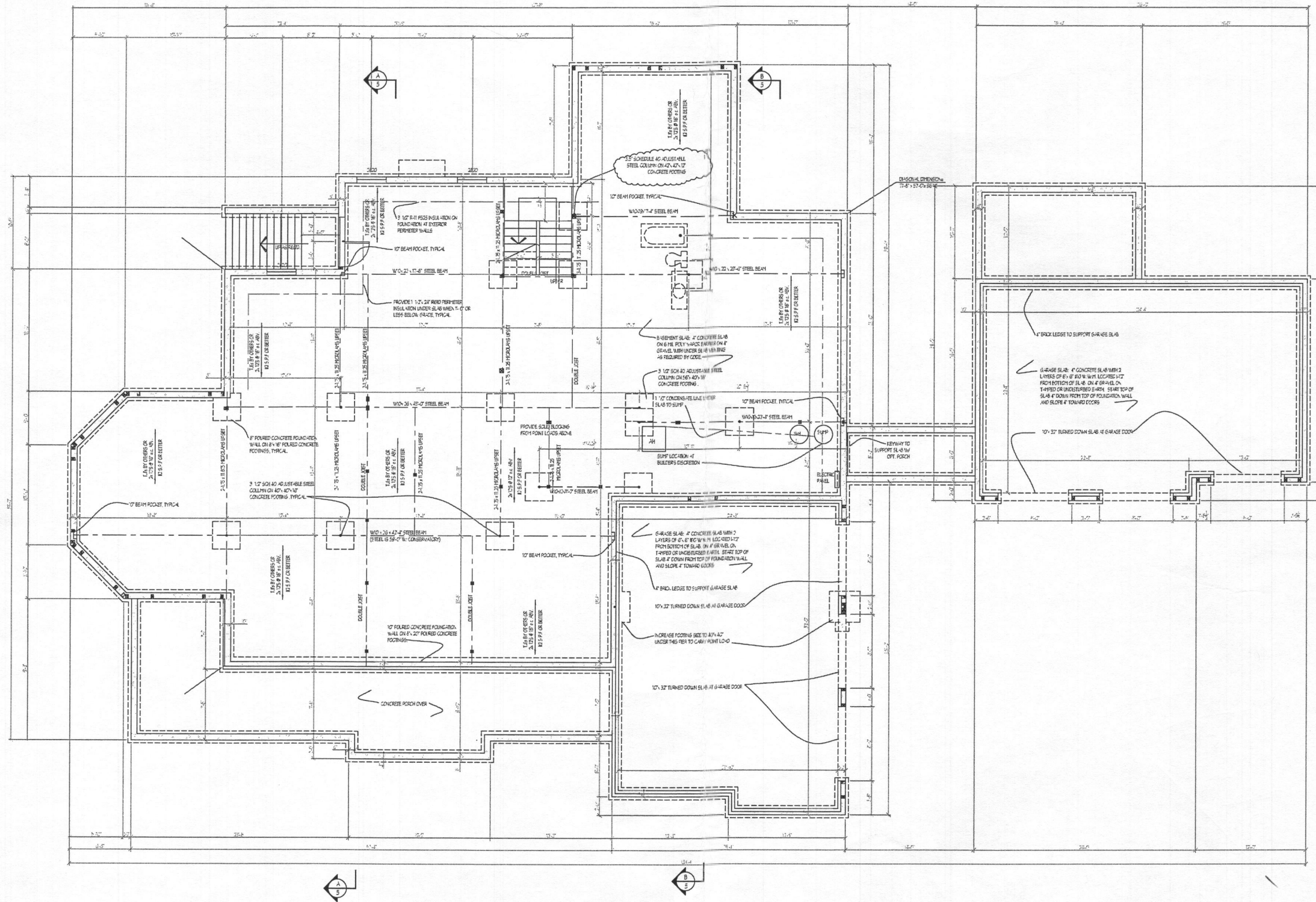
NOTE: METHOD CS-WSP (continuously sheathed wood structural panel)



FIRST FLOOR PLAN



SECOND FLOOR PLAN



REVISED 4/15/16

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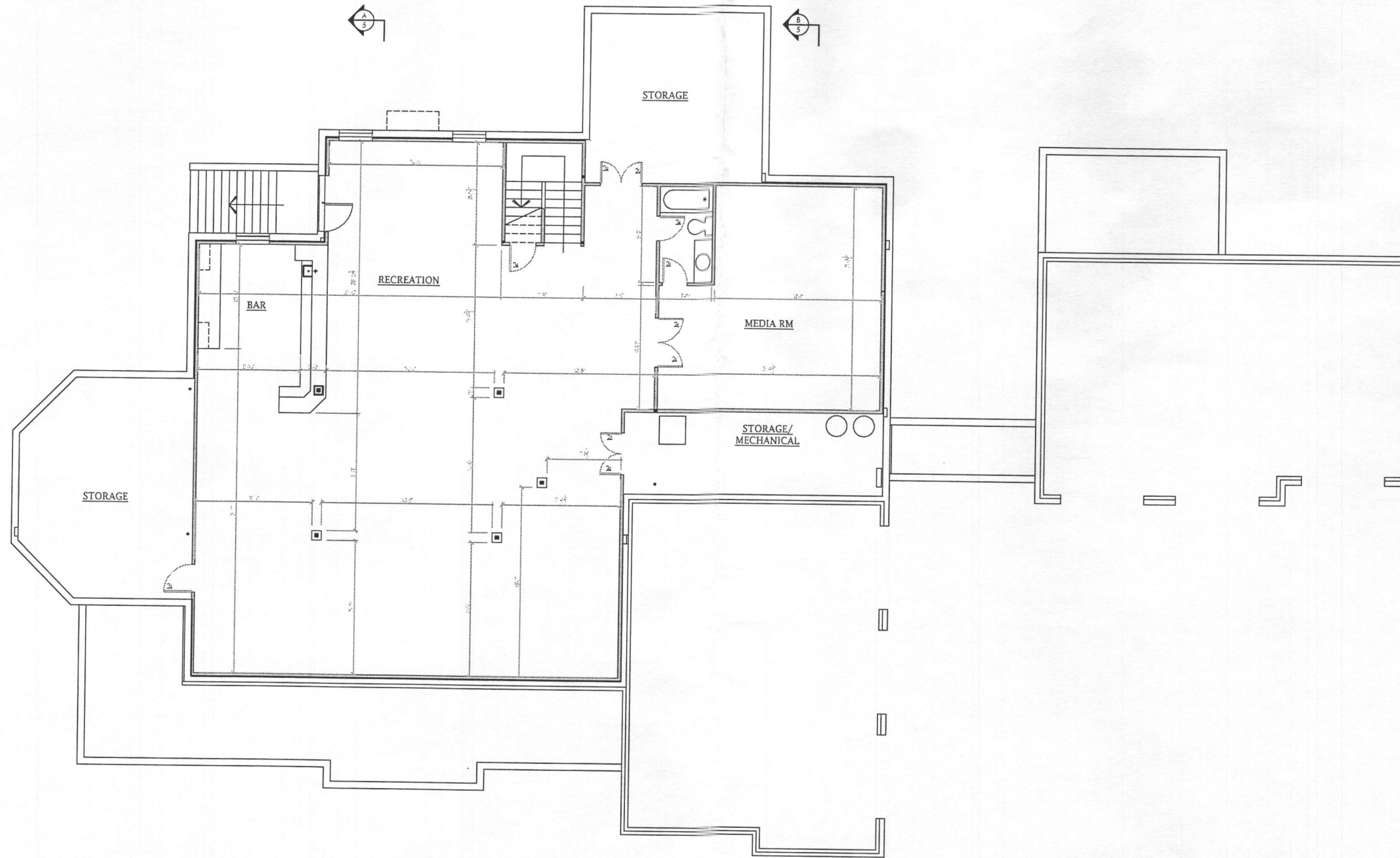
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Date: 2/16  
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Drawn: TIM

Drawing: BSMT/FOUNDATION PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WARFIELD POND LOT 3

1067 WP3  
Project No.

2a



REVISED 4/15/16

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WAREFIELD POND LOT 3

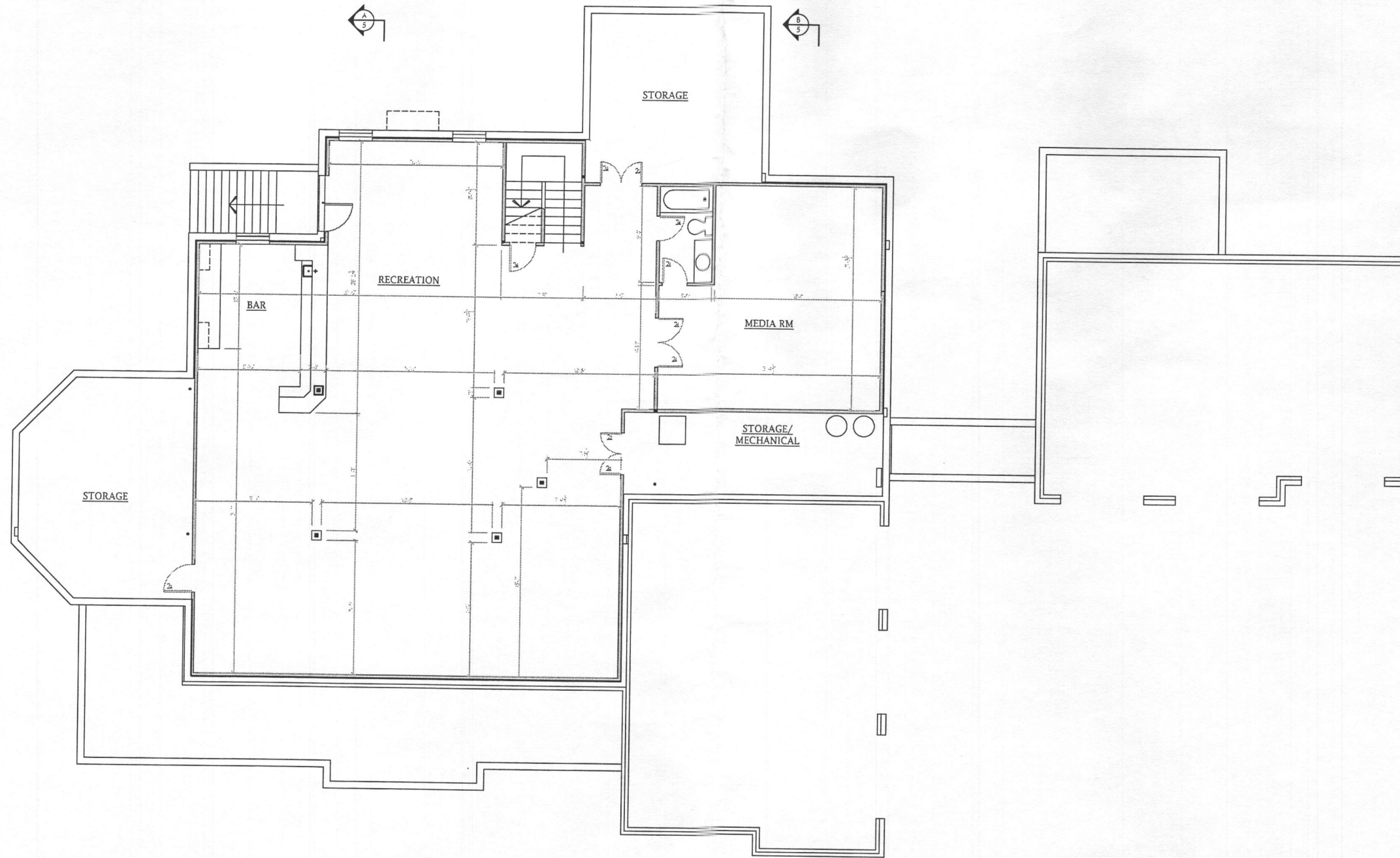
1067 WP3  
Project No.

2b

Date: 2/16  
Scale: 3/16" = 1'-0"  
Drawn: TIM

DATE	REVISION	DATE	REVISION

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-788-0281



REVISED 4/15/16

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WAREFIELD POND LOT 3

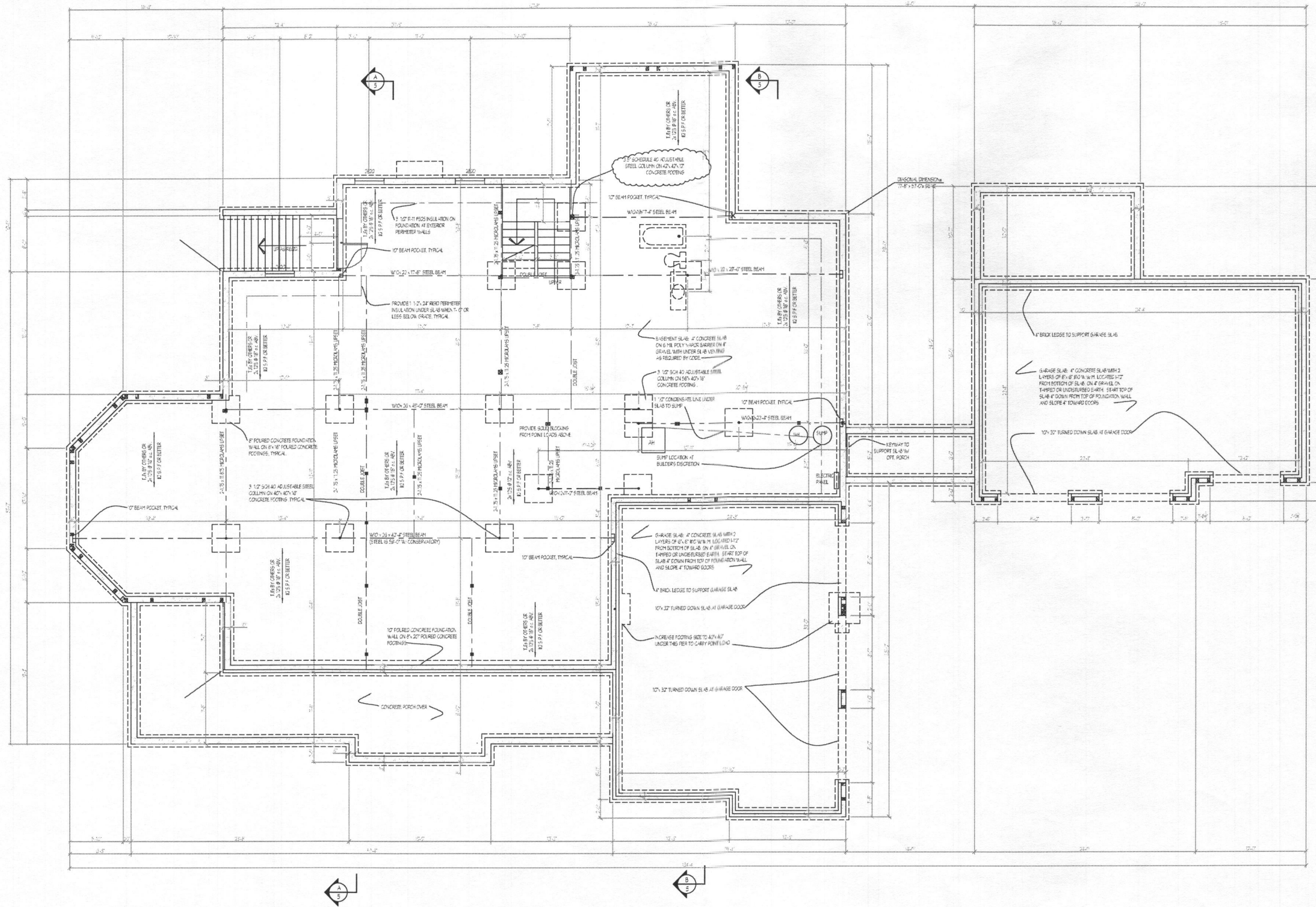
1067 WP3  
Project No.

2b

Date: 2/16  
Scale: 3/16" = 1'-0"  
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DATE	REVISION	DATE	REVISION

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640 Plymouth Road, Catonsville, MD 21229 410-788-0281



REVISED 4/15/16

Plymouth Road Architects  
640 Plymouth Road, Catonsville, MD 21229 410-738-0281

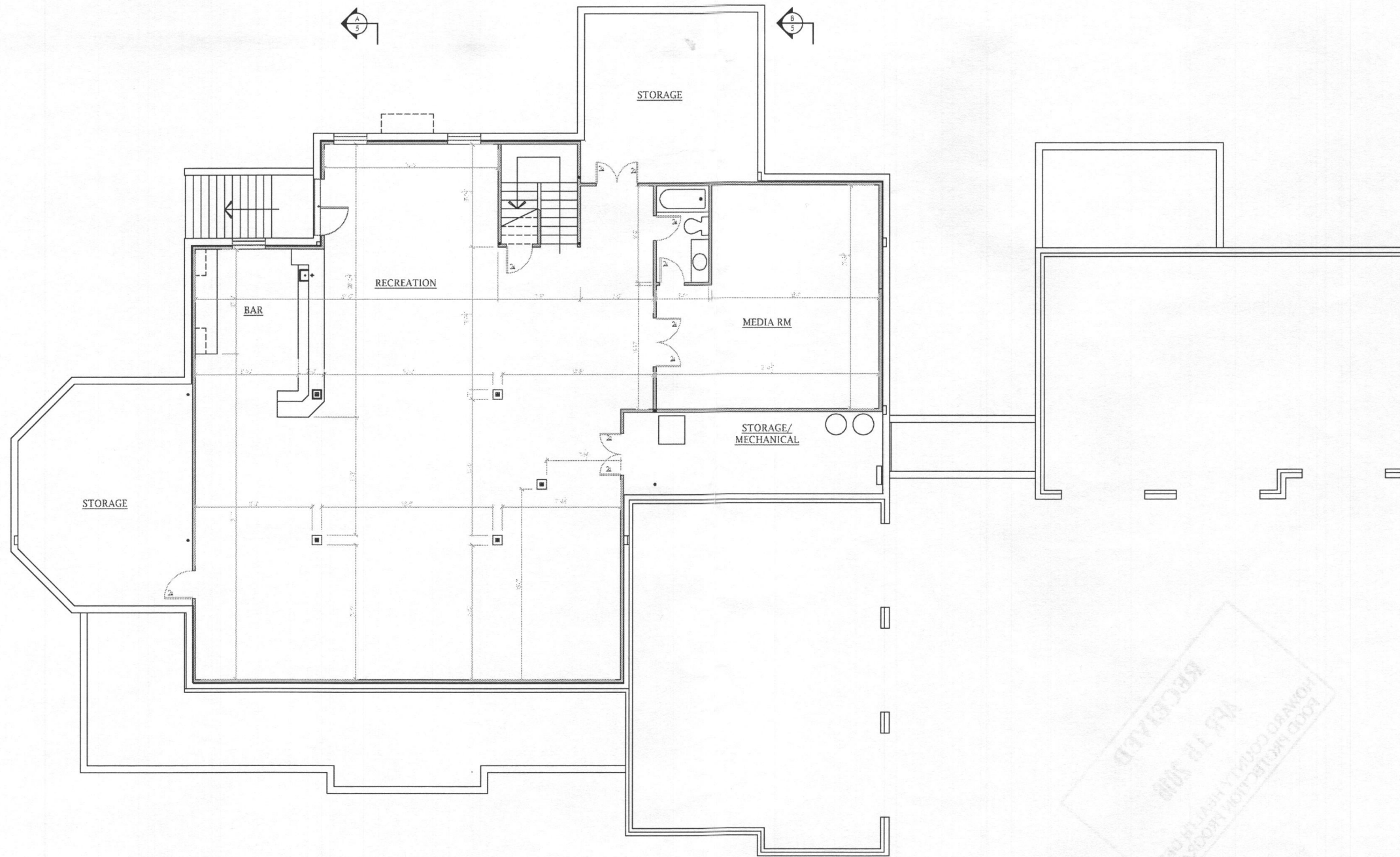
DATE:	REVISION:	DATE:	REVISION:

Date: 2/16  
Scale: 3/16"=1'-0"  
Drawn: TIM

Drawing: BSMT/FOUNDATION PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WARFIELD POND LOT 3

1067 WP3  
Project No.

2a



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DATE:	REVISION:	DATE:	REVISION:

Date: 2/16  
Scale: 3/16" = 1'-0"  
Drawn: TIM

Drawing: FINISHED BASEMENT PLAN  
Project: WILLIAMSBURG GROUP  
WELLINGTON  
WAREFIELD POND LOT 3

1067 WP3  
Project No.

**2b**

# B-4-2 STANDARDS AND SPECIFICATIONS

## FOR

### SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

The process of preparing the soils to suitable adequate vegetative stabilization.

To provide a suitable soil medium for vegetative growth.

Where vegetative stabilization is to be established.

Soil Preparation

1. Temporary Stabilization

a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or ripper mounted on construction equipment. After the soil is loosened, it must be rolled or dragged (smoothed) but left in the roughened condition. Slopes 3:1 or flatter may be rolled or dragged leaving parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by diskking or other suitable means.

2. Permanent Stabilization

a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil analysis required for permanent stabilization are:

i. Soil pH between 6.0 and 7.0.

ii. Soluble salts less than 200 ppm per million (ppm).

iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception if large will be placed, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.

iv. Soil contains 1.5 percent minimum organic matter by weight.

v. Soil contains sufficient pore space to permit adequate root penetration.

b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.

c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then seeded or covered to a depth of 3 to 5 inches.

d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.

e. Mix soil amendments into the top 3 to 5 inches of soil by diskking or other suitable means. Roller runs across to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Looser surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridge running parallel to the contour of the slope. Leave a 1 to 2 inches of soil loose and friable. Seeded loosening may be necessary on severely disturbed areas.

f. Mix soil amendments into the top 3 to 5 inches of soil by diskking or other suitable means. Roller runs across to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Looser surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridge running parallel to the contour of the slope. Leave a 1 to 2 inches of soil loose and friable. Seeded loosening may be necessary on severely disturbed areas.

g. Areas having slopes steeper than 2:1 require special stabilization and design.

h. Topsoil Specifications: Soil to be used as seed must meet the following criteria:

i. Topsoil must be a loam, sandy loam, clay loam, silty loam, sandy clay loam, or heavy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must be a mixture of controlling material and subsoil and must contain less than 5 percent by volume of clods, stones, chips, saw fragments, gravel, sticks, roots, or other material larger than 1 1/2 inches.

ii. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, red top, poison ivy, black, or others as specified.

iii. Topsoil substitutes or amendments, as recommended by an agronomist or soil scientist and approved by the appropriate approval authority, may be used in the form of natural topsoil.

g. Topsoil Specifications: Soil to be used as seed must meet the following criteria:

i. Erosion and sediment control practices must be maintained when applying topsoil.

ii. Uniformly distributed topsoil is 4 to 6 inches thick and applied to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that seedling or seedling rate present with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water ponds.

iii. Topsoil must not be placed if the topsoil or subsoil is in a frost or muddy condition, when the subsoil is extremely wet or is a condition that may otherwise be detrimental to proper grading and seedbed preparation.

h. Topsoil Specifications: Soil to be used as seed must meet the following criteria:

i. Soil tests must be performed to determine the exact nature and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a registered private or governmental laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.

ii. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Measures to be taken for the application of fertilizers shall be approved by the appropriate approval authority. Fertilizers must all be delivered to the site fully loaded according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.

iii. Lime materials must be good limestone hydrated or burnt lime may be substituted except when hydroxydized which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 80 to 100 percent will pass through a #20 mesh sieve.

iv. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by diskking or other suitable means.

v. When the subsoil is either highly acidic or composed of heavy clays, normal ground limestone at the rate of 4 to 6 tons/acre (200-300 pounds per 1,000 square feet) prior to the placement of topsoil.

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ii. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Measures to be taken for the application of fertilizers shall be approved by the appropriate approval authority. Fertilizers must all be delivered to the site fully loaded according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.

iii. Lime materials must be good limestone hydrated or burnt lime may be substituted except when hydroxydized which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 80 to 100 percent will pass through a #20 mesh sieve.

iv. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by diskking or other suitable means.

v. When the subsoil is either highly acidic or composed of heavy clays, normal ground limestone at the rate of 4 to 6 tons/acre (200-300 pounds per 1,000 square feet) prior to the placement of topsoil.

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# B-4-3 STANDARDS AND SPECIFICATIONS

## FOR

### SEEDING AND MULCHING

The application of seed and mulch to establish vegetative cover.

To protect disturbed soils from erosion during and at the end of construction.

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Seeding

1. Specifications

a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding application. After the soil is loosened, it must be rolled or dragged (smoothed) but left in the roughened condition. Slopes 3:1 or flatter may be rolled or dragged leaving parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by diskking or other suitable means.

2. Application

a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B-1, Permanent Seeding Table B-3, or site-specific seeding amounts.

ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.

b. Drill or Catapult Seeding: Mechanical means that apply and cover seed with soil.

i. Catapulting devices are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be firm after planting.

ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.

c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).

i. Fertilizer is being applied at the time of seeding, the application rates must not exceed the following: nitrogen, 100 pounds per acre and of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorus), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.

ii. Line: Use only good agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, this rate of 3 tons per acre is applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.

iii. Mix seed and fertilizer on site and seed immediately and without interruption.

iv. When hydroseeding do not incorporate seed into the soil.

1. Mulching

i. Mulch Materials (in order of preference)

a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably light in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, culled, decayed, or excessively dirty. Note: Use only straw straw mulch in areas where species of grass is desired.

b. Wood Cullage Fiber Mulch (WCFM) consisting of specially prepared wood cullage processed into a uniform fiber mulch.

i. WCFM is to be dry and green or contain a green dye in the packaging that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.

ii. WCFM materials are to be uniform in composition and presented in such a manner that the wood cullage fiber mulch will remain in uniform suspension in water under agitation and will stand with soil, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a fibrous-like ground cover, on application, having suitable absorption and retention properties and must cover and hold ground in contact with the soil without visible clumping or gaps.

iii. WCFM material must not contain elements or compounds at concentrations levels that will be phytotoxic.

iv. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, wet weight of 1.6 percent maximum and water holding capacity of 90 percent minimum.

2. Application

a. Apply mulch to all seeded areas immediately after seeding.

b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply straw to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch machine, use the application rate to 2.5 tons per acre.

c. Wood cullage fiber used as mulch must be applied at a net weight of 1500 pounds per acre. Mix the wood cullage fiber with water to make a slurry with a maximum of 50 pounds of wood cullage fiber per 100 gallons of water.

3. Anchoring

a. Mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:

i. A mulch anchoring net is a trapezoidal implement designed to anchor and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on larger areas, but is limited to three days after equipment on open slope. If used on sloping land, this practice should follow the contour.

ii. Wood cullage fiber may be used for anchoring straw. Apply the fiber blower at a dry rate of 100 pounds per acre. Mix the wood cullage fiber with water at a maximum of 30 pounds of wood cullage fiber per 100 gallons of water.

iii. Synthetic blades such as Anvil DLR (Aqua-Tek), DOCA-Tek, Permatex, Term Tex II, Term Tack AR or other approved rapid may be used. Follow application rates as specified by the manufacturer. Application of liquid blades needs to be heavier at the edges where wind can catch the blades in a valley and on cracks. Use of liquid blades is strictly prohibited.

iv. Lightweight plastic netting may be applied over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 foot long.

5. Chemical Treatment: Use of chemical treatment require approval by the appropriate plan review authority.

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