



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 643weller Drive
City: MT Airy State: md Zip Code: 21771
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: PATAPO CURELAK
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 3.8AC
Existing Use: 4 Bed Room House
Proposed Use: Sun Room & screened Porch
Estimated Construction Cost: \$ 100,000
Description of Work: Block Foundation
FRAMED WALLS 26' X 19.8'
Porch 12' X 14'
Occupant/Tenant Name: Edward Grim
Was tenant space previously occupied? ☒ Yes ☐ No
Contact Name: Same as above
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Edward Grim
Address: 643weller Dr.
City: MT Airy State: md Zip Code: 21771
Phone: 410-489-4033 Fax: 410-489-5303
Email: egrim643@gmail.com

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: CHARLIE ROSWAY LLC
Contact Person: CHARLIE ROSWAY
Address: 12765 TRIADCPHIA RD
City: ELICOTT State: md Zip Code: 21042
License No.: 133387
Phone: 443-463-7866 Fax: _____
Email: _____

Engineer/Architect Company: Perrine Design
Responsible Design Prof.: HARRY PERRINE
Address: 1111 YORKSHIRE WAY
City: WESTMINSTER State: md Zip Code: 21158
Phone: 410-876-6517 Fax: _____
Email: hperrine47@comcast.net

Commercial Building Characteristics	Residential Building Characteristics
Height: <u>19'</u>	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: <u>1</u>	Depth Width
Gross area, sq. ft./floor: <u>510</u>	1 st floor: <u>26</u> <u>19'6"</u>
	2 nd floor: _____
Area of construction (sq. ft.): <u>751</u>	Basement: <u>11</u> <u>11</u>
	<input type="checkbox"/> Finished Basement
Use group: _____	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Reinforced Concrete	No. of Bedrooms: _____
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input checked="" type="checkbox"/> Masonry	No. of efficiency units: _____
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
➤ Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:

Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name _____

Email Address _____

Date _____

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/21/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

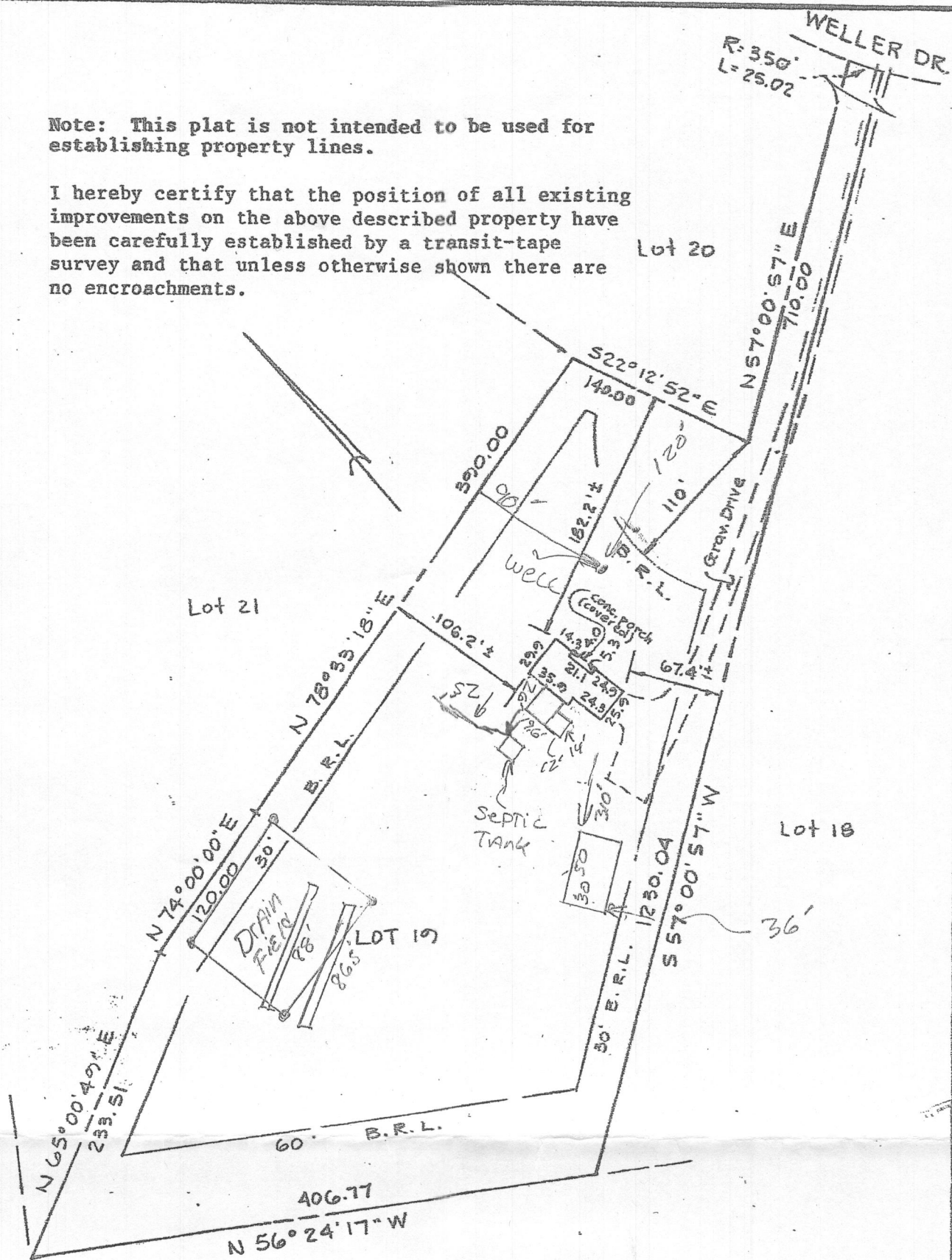
DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

Note: This plat is not intended to be used for establishing property lines.

I hereby certify that the position of all existing improvements on the above described property have been carefully established by a transit-tape survey and that unless otherwise shown there are no encroachments.



Recertified
Correct -
1-7-88

Final 1-7-88

Wall Check 7-14-87

LOCATION SURVEY

LOT 19 "Patapsco Overlook"
Section 2 Plat Ref. #6783

The **RBA** ENGINEERS-ARCHITECTS-PLANNERS
Group

4th Election District

Howard County, Md.

Scale: 1" = 100'

Date: 7-14, 1987
Updated 1-7-88

5485 HARPER'S FARM ROAD
SUITE 200
COLUMBIA, MARYLAND 21044

643 Weller Drive
MT AIRY MD 21771

9009/0036
FB 39

APPROVED

WALK-THRU BUILDING PERMIT

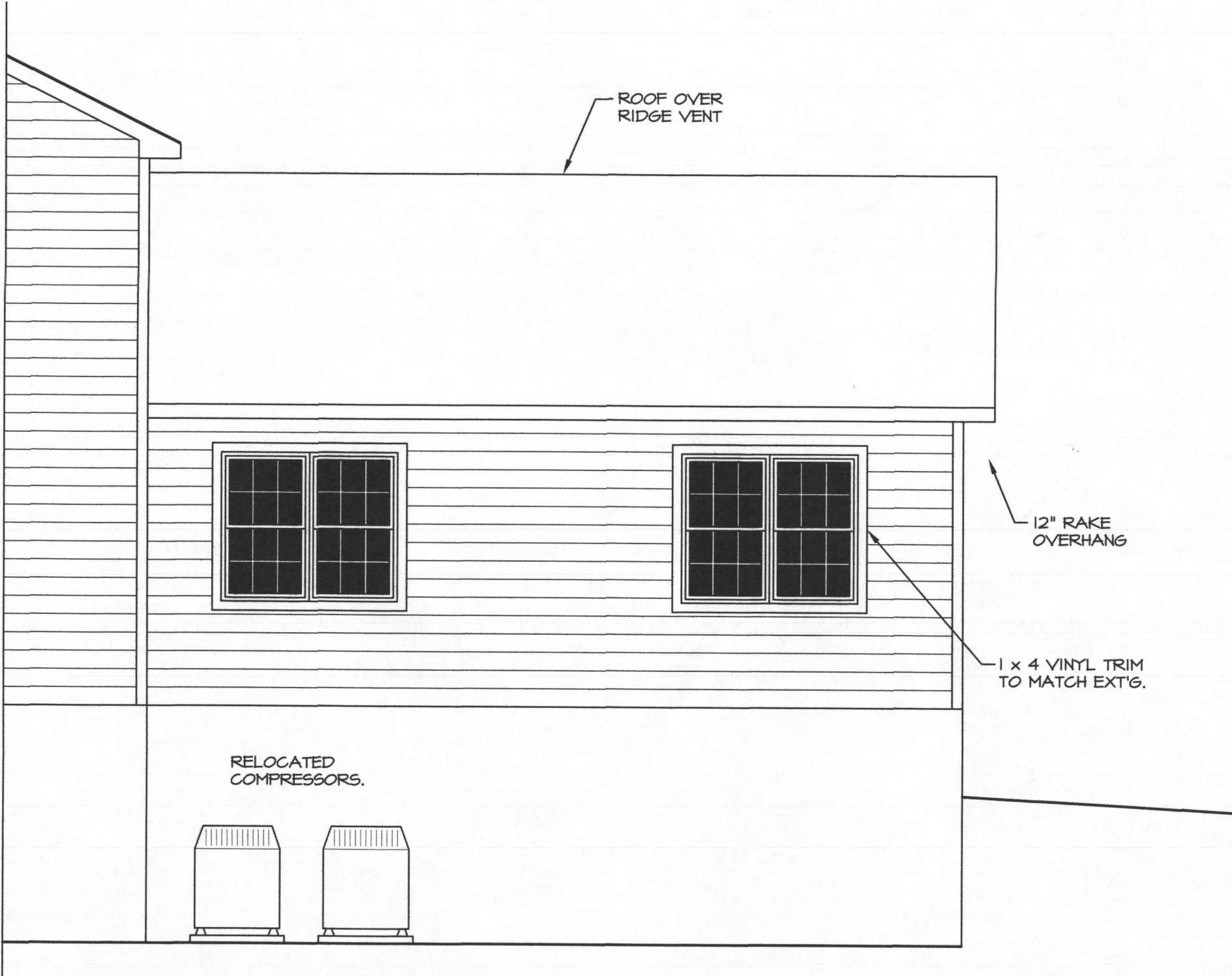
BP# _____ A# _____
APP. SAN *[Signature]* DATE: 2/21/17

DESC. OF WORK: Proposed *[illegible]* w/
Foundation. Equipment plan ok!
No *[illegible]* - Addition, inner
rock curve of edge of Septic system

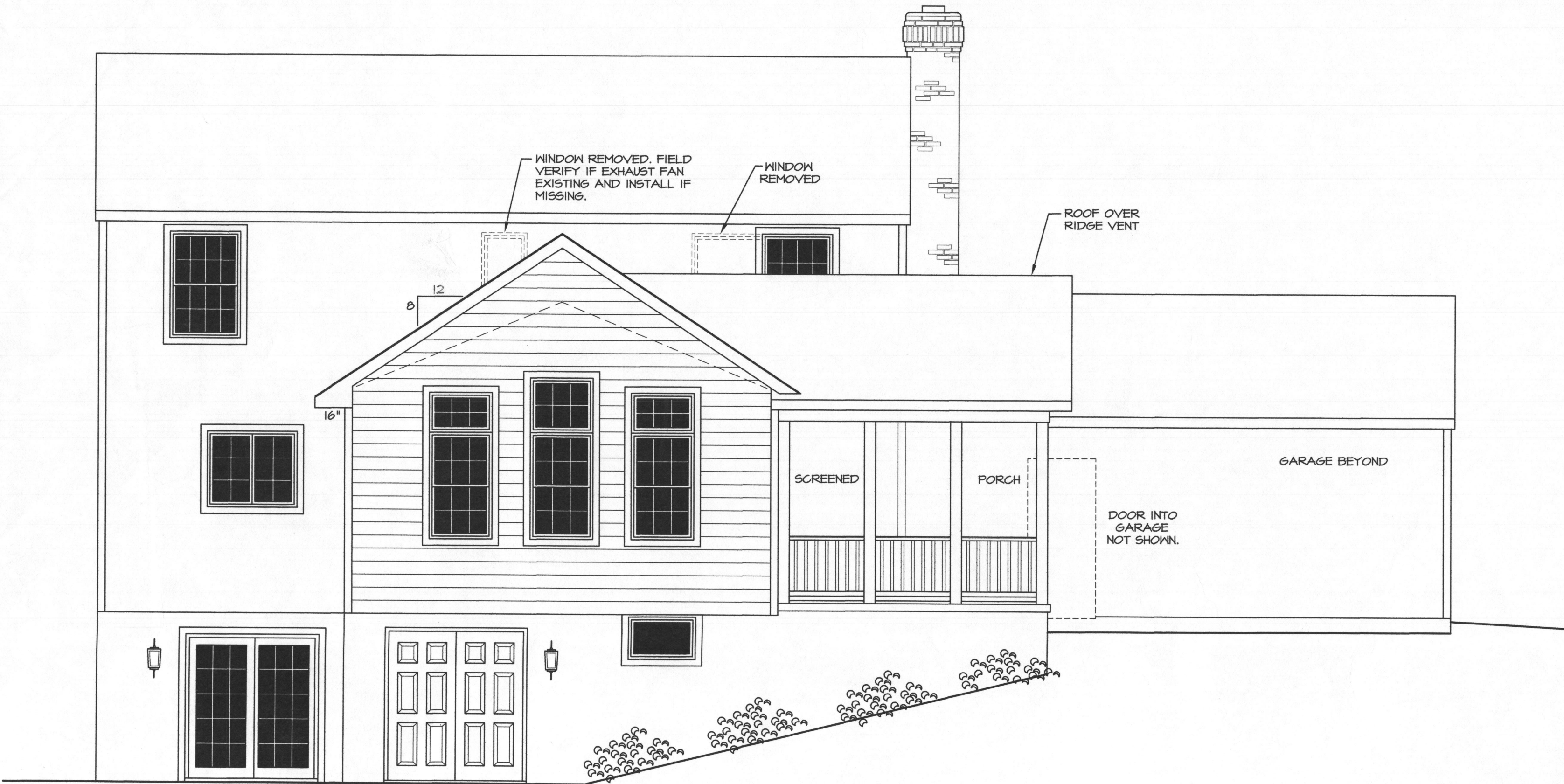
NOTES:

1. PROVIDE GUTTERS, DOWNSPOUTS AND SPLASHBLOCKS.
2. GRADE LINES SHOWN ON DRAWING ARE AN APPROXIMATION OF ACTUAL MEASUREMENTS. FINAL GRADE TO BE DETERMINED AT COMPLETION OF PROJECT AND SUBJECT TO LOCAL CODES AND DRAINAGE PRACTICES.
3. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

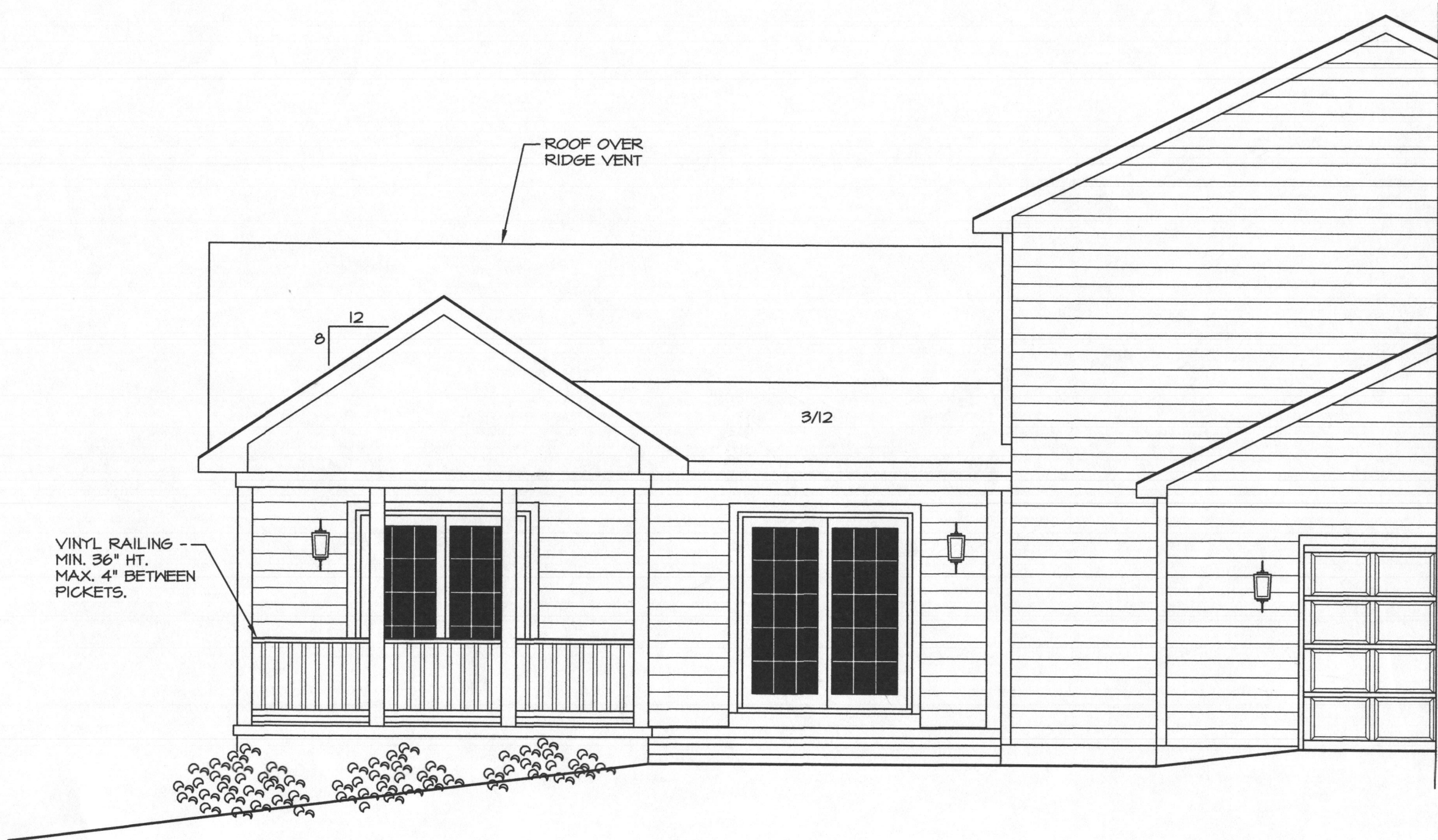
RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS - HOWARD COUNTY, MD IRC 2015										
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
			WEATHERING	FROST LINE DEPTH	TERMITE					
25 PSF	115 MPH	A	SEVERE	30 INCHES	MODERATE TO HEAVY	20° F	YES	SEE FLOOD MAPS	1500	55° F
									RADON PROTECTION REQUIRED	
									YES	



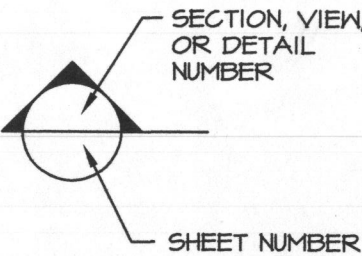
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



END WALL ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



GRIM REMODEL
CONSTRUCTION -1
DECEMBER 28, 2016

SHEET
1 of 5

SCALE
1/4" = 1'-0"

DRAWN BY:
HP

DATE
6-26-16

CADFILE
GRIM-CON2

REVISIONS

NO. DATE REV BY

PROPOSED ADDITION FOR THE
GRIM RESIDENCE
643 WELLER DRIVE
MOUNT AIRY, MARYLAND 21771
HOWARD COUNTY

PERRINE DESIGN
1111 Yorkshire Way
Westminster, MD 21158
410-876-6517

1. ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE OF FINISHED MASONRY WALL.
2. ALL INTERIOR DIMENSIONS TAKEN FROM INSIDE OF FINISHED MASONRY WALL.
3. CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS.
4. CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH ITEM MANUFACTURER.
5. PROVIDE SMOKE DETECTOR IN BASEMENT AS PER CODE.

(E) EXISTING ITEM TO REMAIN
(N) NEW ITEM
(R) RELOCATE EXISTING ITEM
(RN) REPLACE WITH NEW ITEM.

DENOTES NEW CONCRETE FOUNDATION WALL

DENOTES EXISTING CONC. FND. UNLESS NOTED



GRIM REMODEL
CONSTRUCTION -1
DECEMBER 28, 2016

GRIM-CON2

75	REMARKS
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REV BY	
--------	--

DATE _____

NO.

PROPOSED ADDITION FOR THE
GRIM RESIDENCE
643 WELER DRIVE
MOUNT AIRY, MARYLAND
HOWARD COUNTY 21771

**BERRINE
DESIGN**

1111 Yorkshire Way
Westminster, MD 21158
410-876-6517

NOTES:

1. ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE OF SHEATHING TO CENTER LINES.
2. ALL INTERIOR DIMENSIONS TAKEN FROM FINISHED WALL TO FINISHED WALL.
3. PROVIDE SMOKE DETECTOR ON EACH FLOOR.
4. ALL CLOSETS 2'-0" DEEP UNLESS DIMENSIONED OR SHOWN OTHERWISE.
5. ALL EXTERIOR WALLS TO BE 2x6 STUDS, UNLESS NOTED.
6. T.S. = TILE STRIP, C.O. = CASED OPENING, M.T. = MARBLE THRESHOLD
7. CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS, SPECIFICATIONS, LOADS AND SPANS.
8. ALL WINDOWS TO BE ANDERSEN, UNLESS NOTED.
9. CONFIRM ALL FLOOR COVERINGS WITH HOMEOWNER.

NEW CONSTRUCTION NOTES

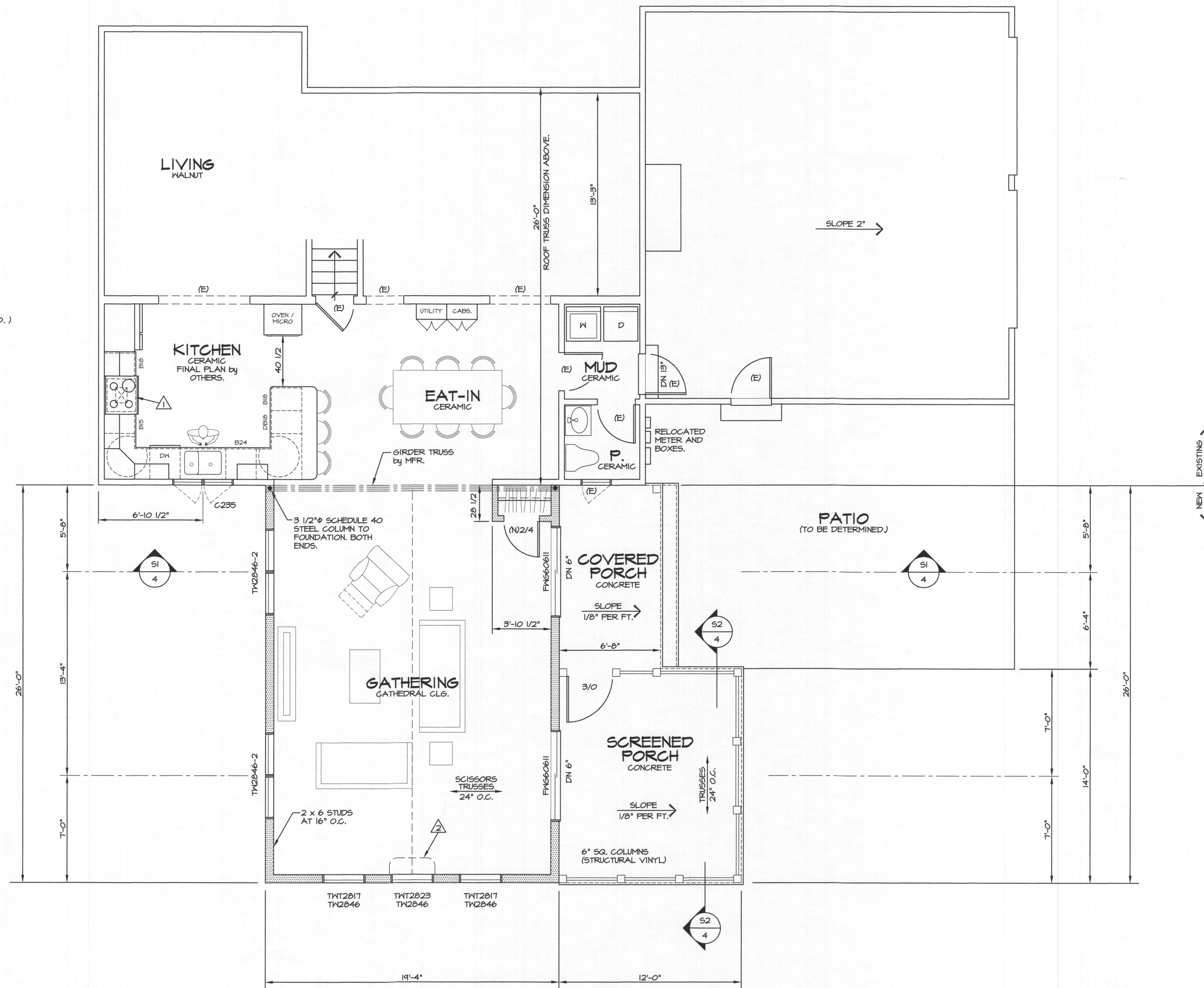
- △ CURVED STAINLESS STEEL RANGE HOOD.
- △ WALL MOUNTED HVAC UNIT - SANYO OR MITSUBISHI (T.B.D.)

ITEM LEGEND

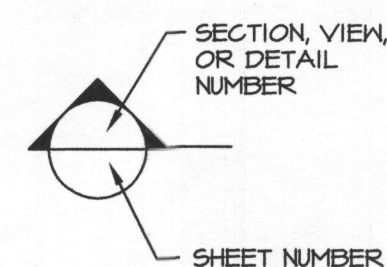
- (E) EXISTING ITEM TO REMAIN
- (N) NEW ITEM
- (R) RELOCATE EXISTING ITEM
- (RN) REPLACE WITH NEW ITEM.

WALL LEGEND

- DENOTES NEW FRAMED WALL UNLESS NOTED.
- DENOTES EXISTING FRAMED WALL UNLESS NOTED.



PARTIAL 1ST FLOOR PLAN
NEW CONSTRUCTION
SCALE: 1/4" = 1'-0"



**GRIM REMODEL
CONSTRUCTION -1**
DECEMBER 28, 2016

SHEET
3 of 5

SCALE
1/4" = 1'-0"

DRAWN BY:
HP

DATE
6-26-16

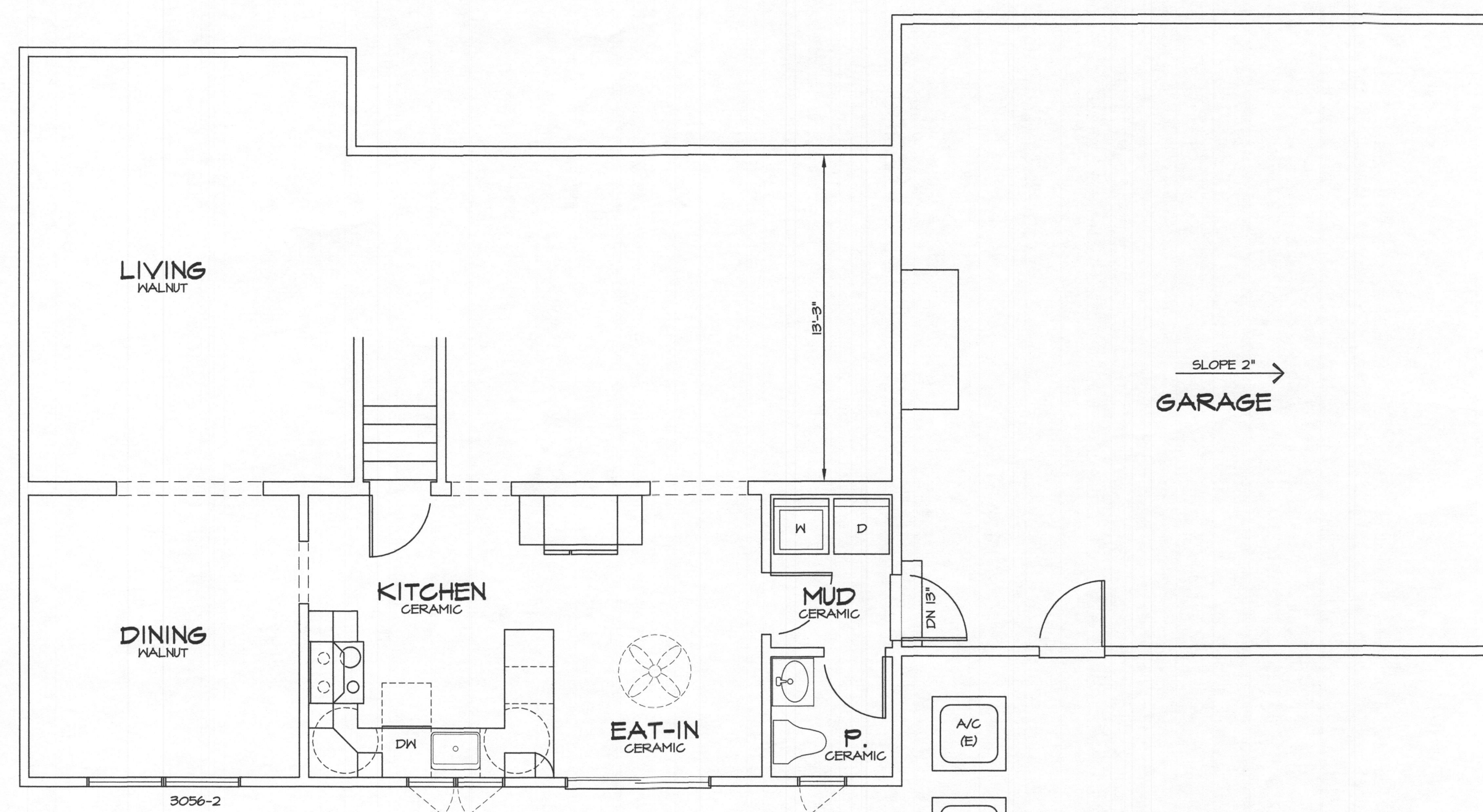
CADFILE
GRIM-CON2

REVISIONS

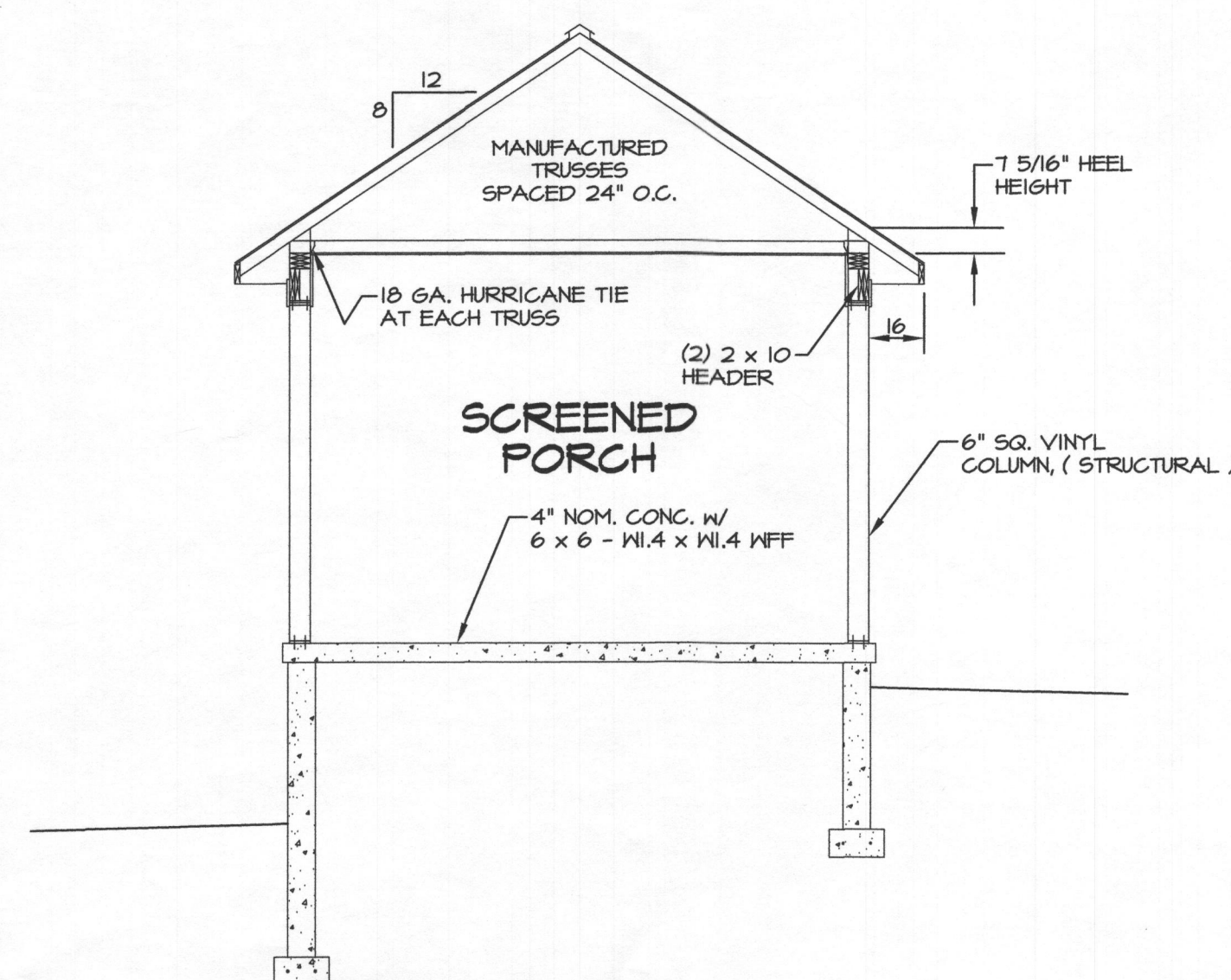
REV BY
DATE
NO.

PROPOSED ADDITION FOR THE
GRIM RESIDENCE
643 WELLER DRIVE
HOWARD COUNTY
MOUNT AIRY, MARYLAND
21771

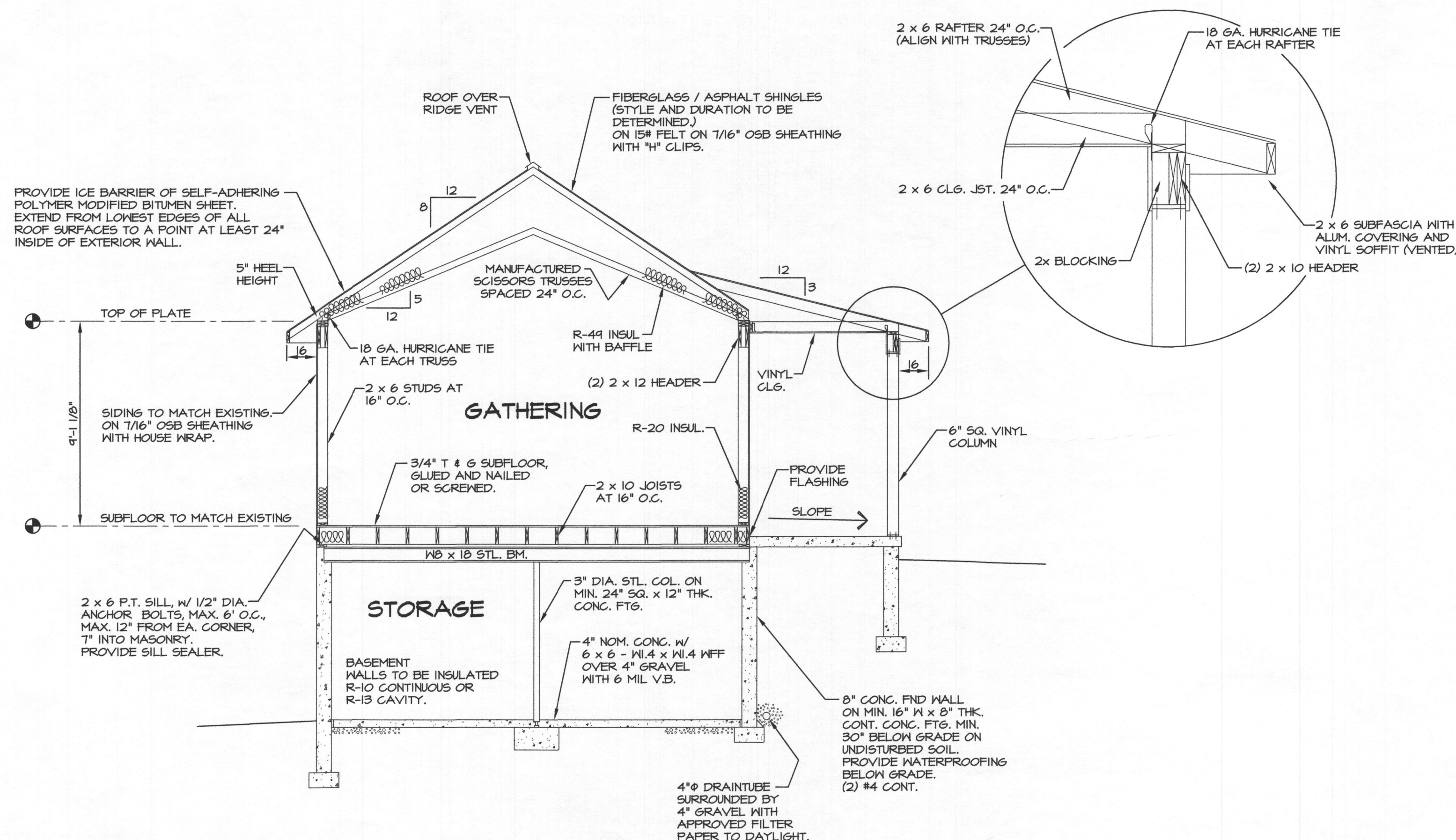
**PERRINE
DESIGN**
1111 Yorkshire Way
Westminster, MD 21158
410-876-6517



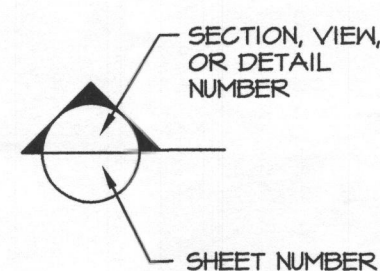
PARTIAL 1ST FLOOR PLAN
EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"



SECTIONAL -S2
SCALE: 1/4" = 1'-0"



SECTIONAL -S1
SCALE: 1/4" = 1'-0"



BRACED WALL TABLE				
BRACED WALL LINE	BRACED WALL LINE SPACING	METHOD	MINIMUM LENGTH REQUIRED	LENGTH PROVIDED
LINE #1	19'-4"	CS-WSP	5.0'	4.0'
LINE #2	19'-4"	CS-WSP	5.0'	4.5'
LINE #3	26'-0"	CS-WSP	6.2'	7.0'

CS-WSP = CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL

WALL BRACING DESIGN INFORMATION:

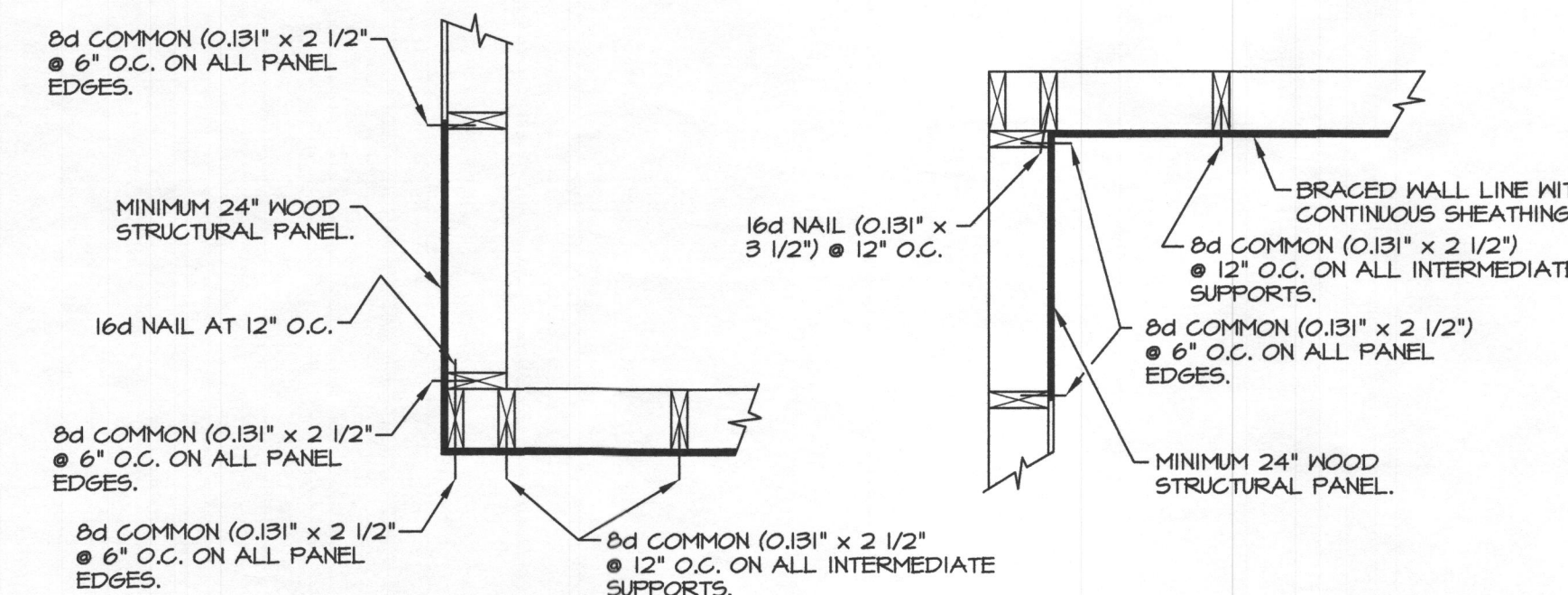
1. LOCATION: HOWARD COUNTY, MARYLAND
2. SEISMIC CATEGORY: B
3. WIND SPEED: 115 MPH
4. METHOD: CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS.

WALL BRACING DIAGRAMS

CONTINUOUS SHEATHING METHOD OF WIND BRACING.
(ALL AREAS TO BE SHEATHED WITH 1/16" OSB SHEATHING, INCLUDING AREAS ABOVE DOORS AND WINDOWS.)

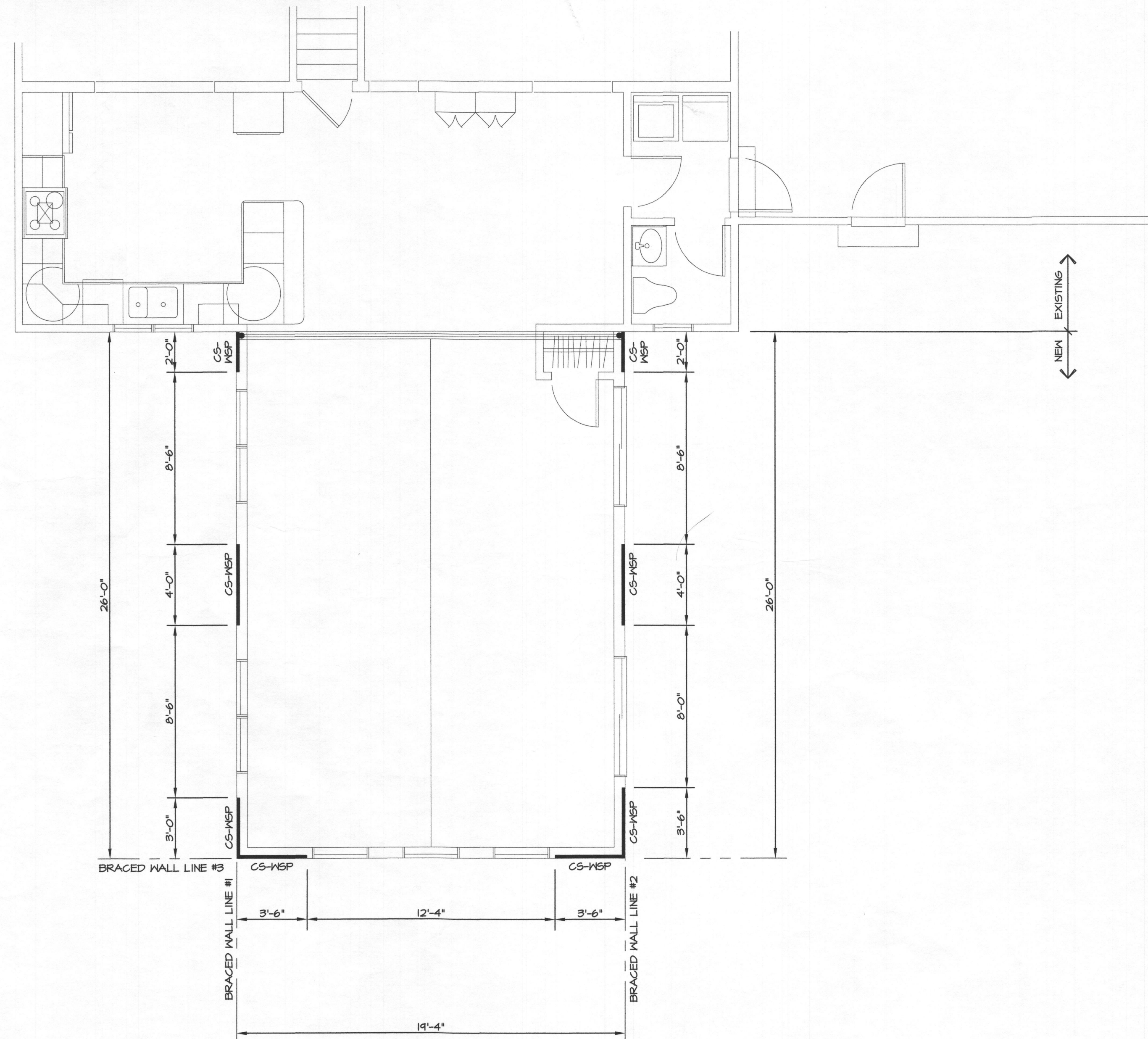
CONNECTION CRITERIA

8d COMMON (2 1/2" x 0.131") NAILS AT 6" SPACING (PANEL EDGES) AND 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1 3/4" STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS).



INSIDE AND OUTSIDE FRAMING DETAIL

SCALE: 3/4" = 1'-0"



WALL BRACING PLAN

SCALE: 1/4" = 1'-0"