



Howard County
Health Department

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 3-7-17 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 560570

APPROVAL DATE: 4/20/17 **PERMIT: CONSTRUCTION**

A

PROPERTY ADDRESS: 713 Weller Drive

SUBDIVISION: Patapsco Overlook

LOT: 51

TAX ID:

04-597016

CONTRACTOR: Dave Tolley

EMAIL:

CONTRACTOR ADDRESS: 11920 Lyn Crest Road, Monrovia, MD 21770

PHONE: 301-748-7725

PROPERTY OWNER: Shawn and Ashley Mullen

EMAIL:

OWNER ADDRESS: 1751 Theale Way, Hanover, MD 21076

PHONE: 443-790-2374

1500 (2)

SEPTIC TANK SIZE (GALLONS): Compartment

TANK MANUFACTURER:

PUMP MODEL:

PUMP SIZE

PUMP TANK CAPACITY:

DISTRIBUTION SYSTEM:



GRAVITY



PRESSURE DOSED

BEDROOMS: 5

APPLICATION RATE:

0.8

TRENCHES:

LINEAR FEET REQUIRED: 112.5

INLET DEPTH: 3

TRENCH WIDTH: 3

MAXIMUM BOTTOM DEPTH: 8

MINIMUM SPACE

BETWEEN TRENCHES: 13

EFFECTIVE AREA BEGINNING DEPTH: 3

LOCATION:

PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.

NOTES:

ISSUED BY: Robert Bricker

ISSUE DATE: 3-8-17

EXPIRATION DATE: 3-8-18

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM



ELECTRICAL PERMIT ISSUED

E

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

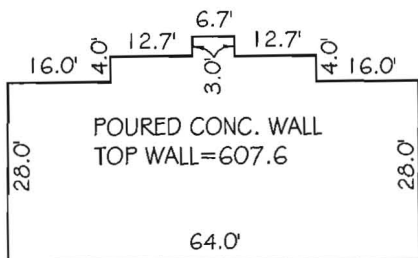
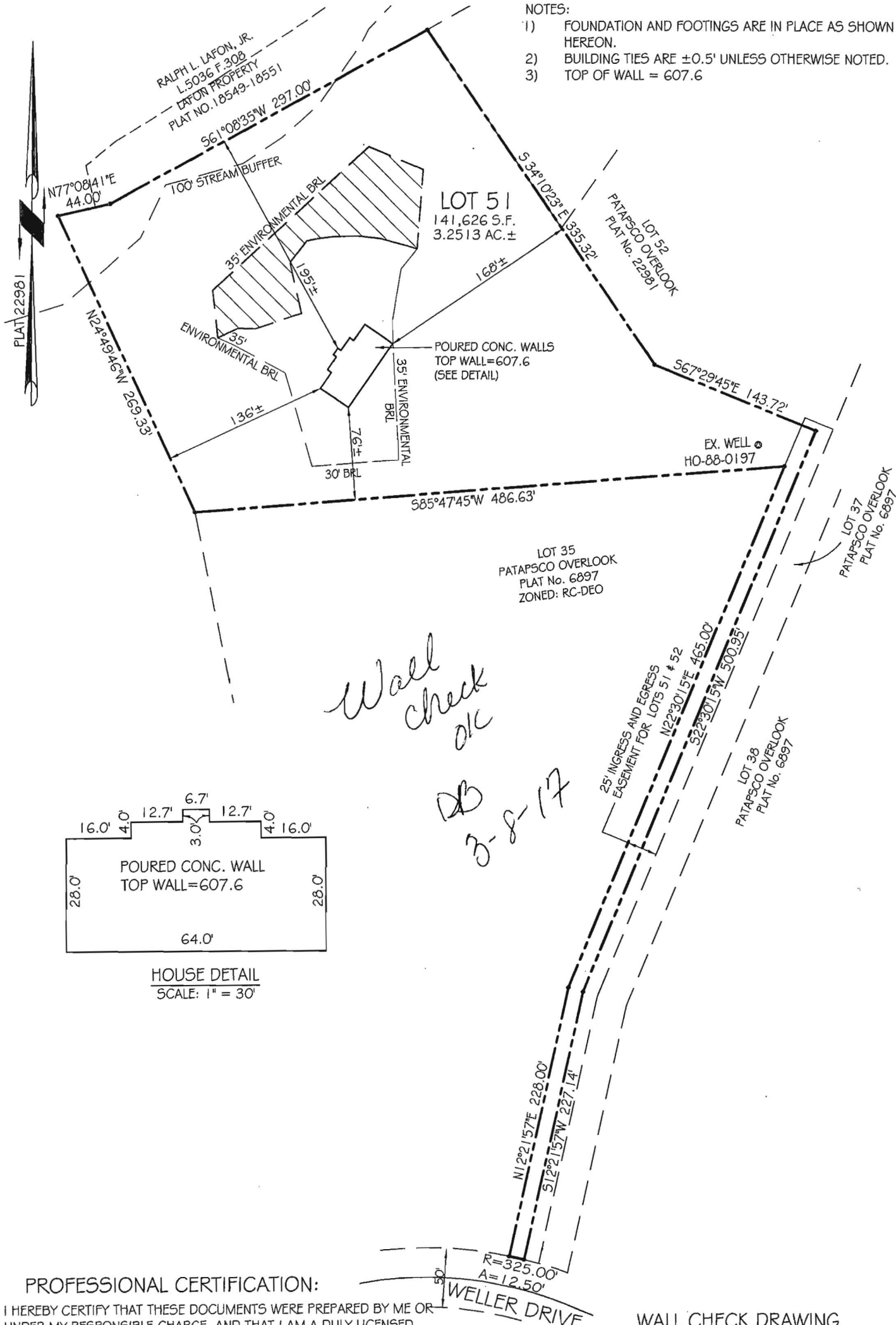
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE
SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOTES:

- 1) FOUNDATION AND FOOTINGS ARE IN PLACE AS SHOWN HEREON.
- 2) BUILDING TIES ARE $\pm 0.5'$ UNLESS OTHERWISE NOTED.
- 3) TOP OF WALL = 607.6



HOUSE DETAIL
SCALE: 1" = 30'

PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21597, EXPIRATION DATE JULY 26, 2017, IN ACCORDANCE WITH COMAR 09.13.06.12.

For VanMar Associates, Inc.
Thomas L. Frazier, Jr., Professional Land Surveyor

1/9/17
Date

WALL CHECK DRAWING
LOT 51
PATAPSCO OVERLOOK

PLAT No. 22981
713 WELLER DRIVE
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100' JANUARY, 2017

I CERTIFY THIS PLAN TO BE CORRECT; IT IS THE RESULT OF AN ACTUAL FIELD SURVEY, BASED ON DATA FOUND AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, AS REFERENCED HEREON.

REFERENCE

PLAT NO. 22981

JOB NO.

88-1954



vanmar.com

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
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Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, October 26, 2016 5:03 PM
To: 'shawnmullen@yahoo.com'
Subject: 713 Weller Drive

Shawn,

After reviewing your floor plans which shows 5 bedrooms, we will have to get your engineer to revise your BAT plan to reflect 5 bedrooms. I have listed below the Howard County Code which classifies your rooms as bedrooms. Perhaps your engineer could change one of your rooms to an office. This change will reduce the amount of bedrooms to 4 and this number will match your BAT plan proposal. I have included the definition for a bedroom below to assist with your revisions.

Howard County Code Section 3.801(b):

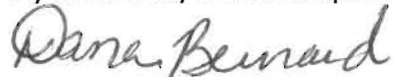
(1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:

- (i) Is 90 square feet or greater in size;
- (ii) May be used as a private sleeping area; and
- (iii) Has at least one window and one interior door.

(2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and

- (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
- (ii) A minimum 4 foot-wide opening, without doors, into another room;
- (iii) A half wall (4 foot maximum height) between the room and another room; or
- (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

If you have any additional questions don't hesitate to send me an e-mail.

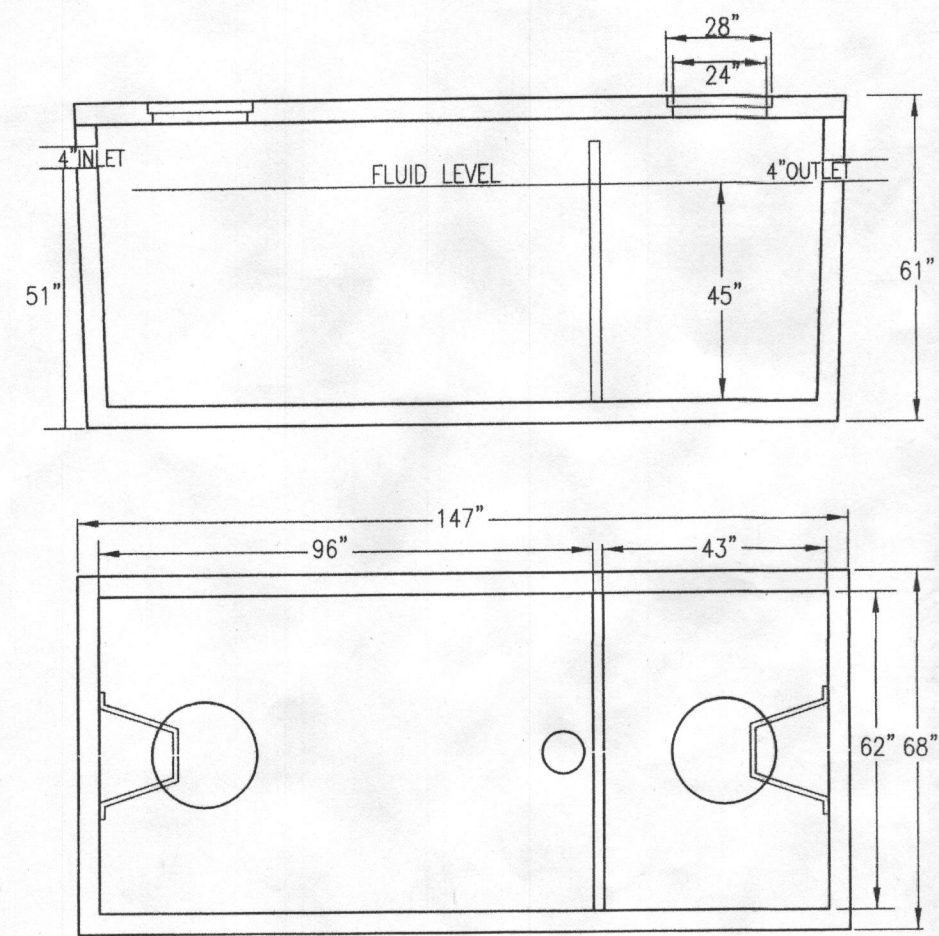


Thank you & Have a*""

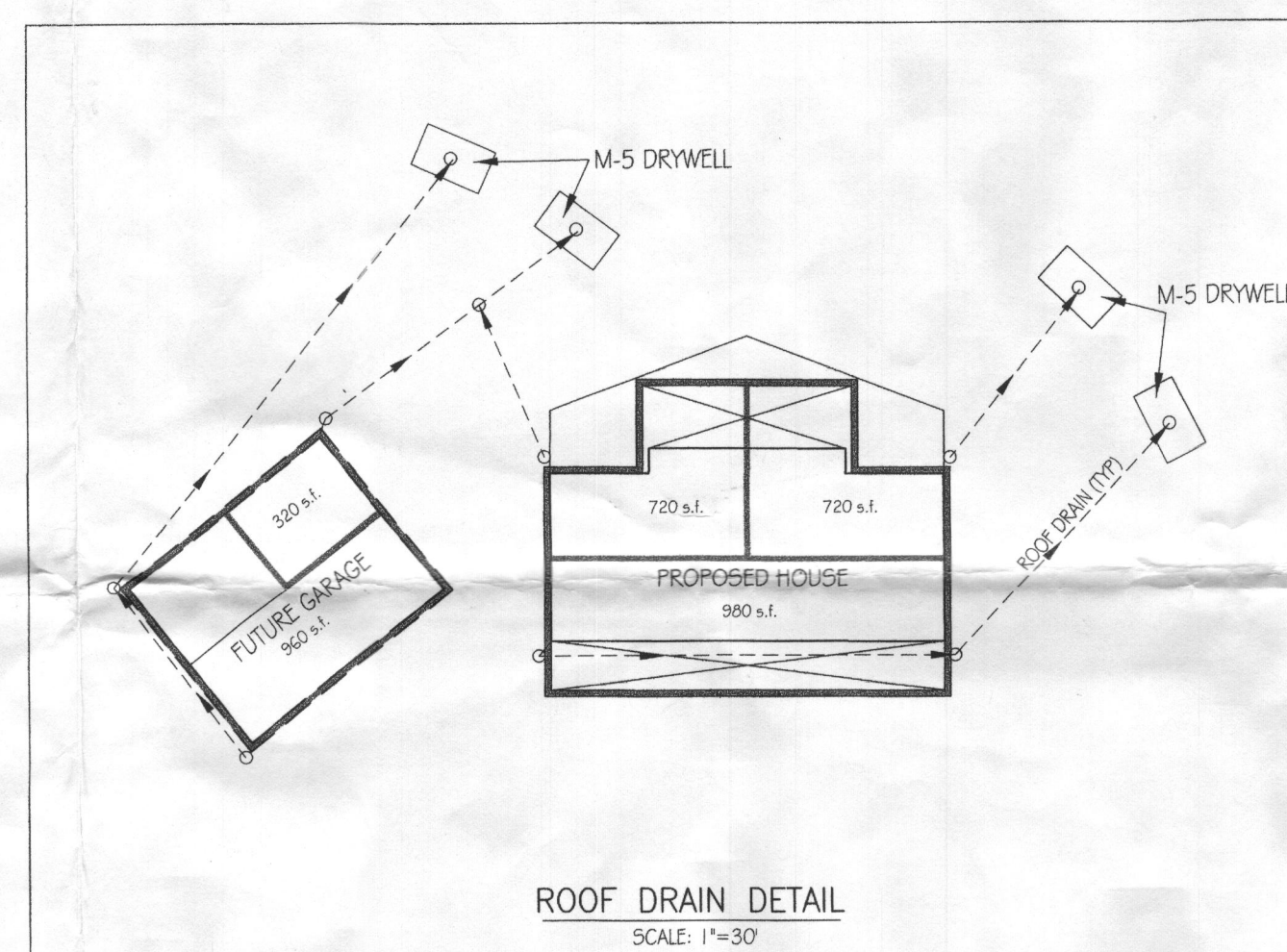
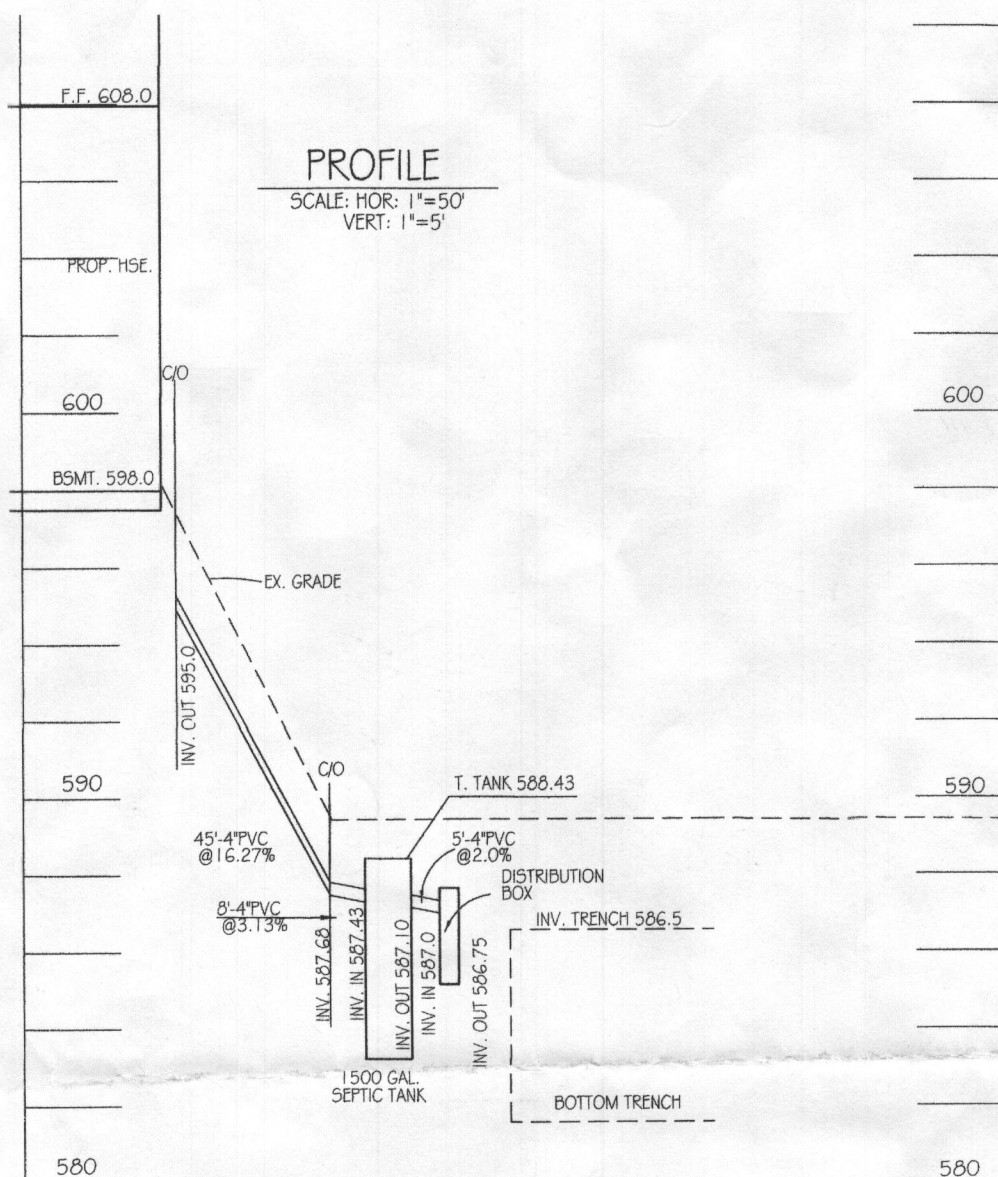
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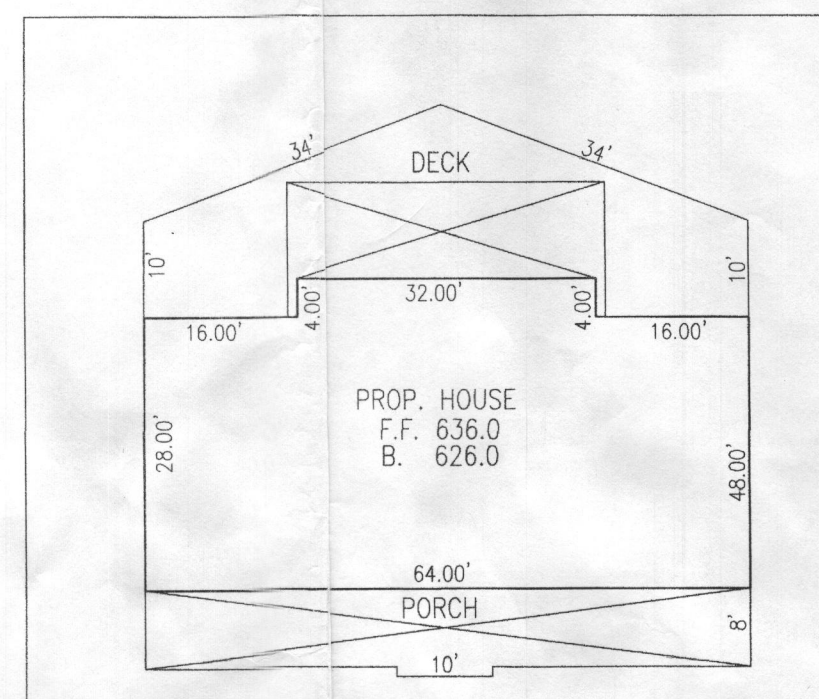
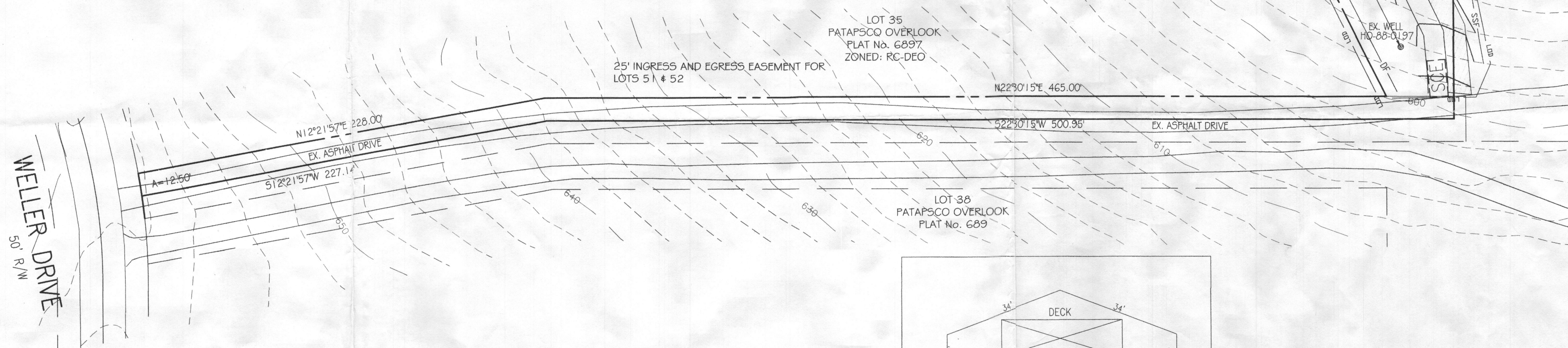
Dana Bernard, R.E.H.S./L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



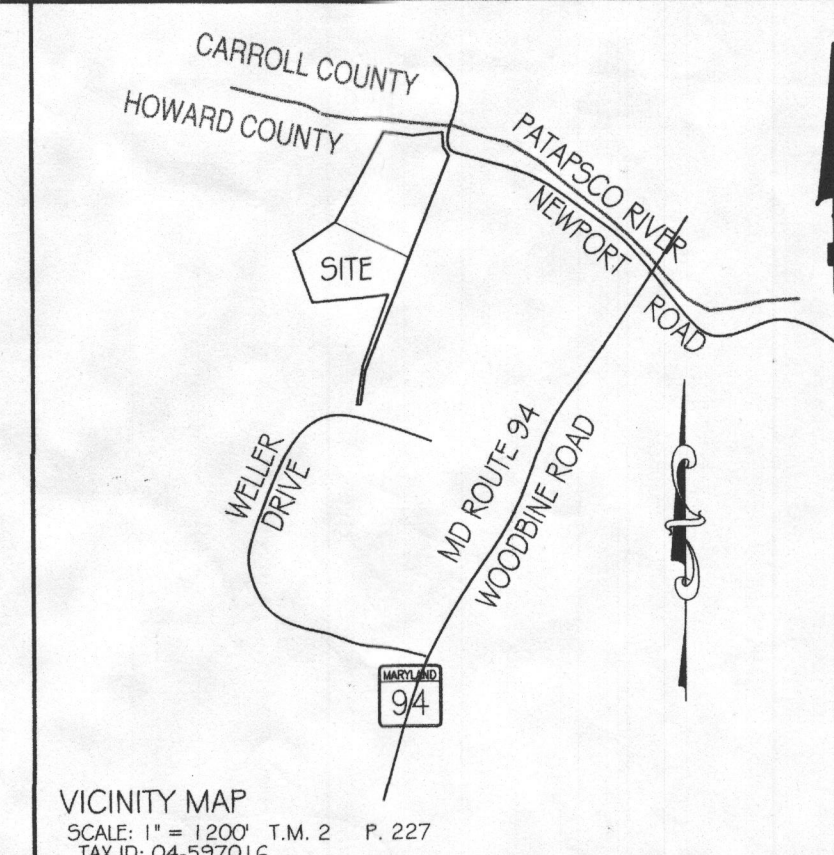
1500 GALLON
2-COMPARTMENT SEPTIC TANK
N.T.S.



ROOF DRAIN DETAIL
SCALE: 1"=30'



HOUSE DETAIL
SCALE: 1"=20'



- GENERAL NOTES:
1. TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
 2. THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.
 3. ZONING DISTRICT: RC-DEO
 4. LIMIT OF DISTURBANCE (LOD) = 50,291 SQ.FT.
 5. THERE ARE NO STREAMS, PONDS, FLOODPLAINS OR WETLANDS ON THIS LOT.
 6. STORMWATER MANAGEMENT REQUIREMENTS FOR LOT 51 WILL BE ADDRESSED BY USING THE 2000 MDE STORMWATER MANAGEMENT REGULATIONS AS AMENDED IN 2009 TO BE USED TO THE MFP. ONLY STORMWATER MANAGEMENT PRACTICES FOR LOT 51 ARE SUBJECT TO THE RECORDED DECLARATION OF COVENANTS.

SEPTIC SYSTEM TRENCH DESIGN

INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.36 REDUCTION CREDIT = 112.5 LF TRENCH
TRENCH 1 (T1) EX. GRD=589.5 - INV. TRENCH=586.5 - B. TRENCH=581.5
TRENCH 2 (T2) EX. GRD=586.5 - INV. TRENCH=583.5 - B. TRENCH=578.5

1st REPLACEMENT
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.36 REDUCTION CREDIT = 112.5 LF TRENCH

SITE PLAN NOTES:

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. MAXIMUM COVER OVER THE TANK IS 3 FEET. GREATER DEPTH WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
4. THE WELL (TAG #HO-BB-0197) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

DEVELOPER'S CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Shawn & Ashley Mullen* DATE: 11/30/2016

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND THE 2011 MARYLAND STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

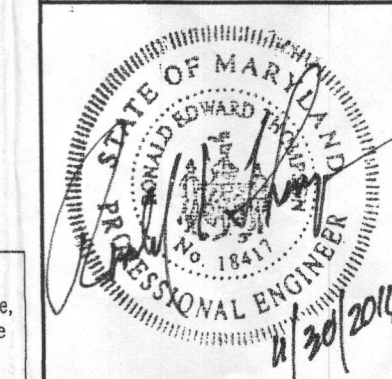
ENGINEER: *Ronald E. Thompson, P.E.* DATE: 11/30/2016

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE:

OWNER / DEVELOPER
SHAWN & ASHLEY MULLEN
751 THE HALE WAY
HANOVER, MD. 21076
443-790-2374

DATE	REVISIONS
09/28/16	FRONT PORCH
10/31/16	5 BEDROOMS
11/30/16	SEPTIC TANK



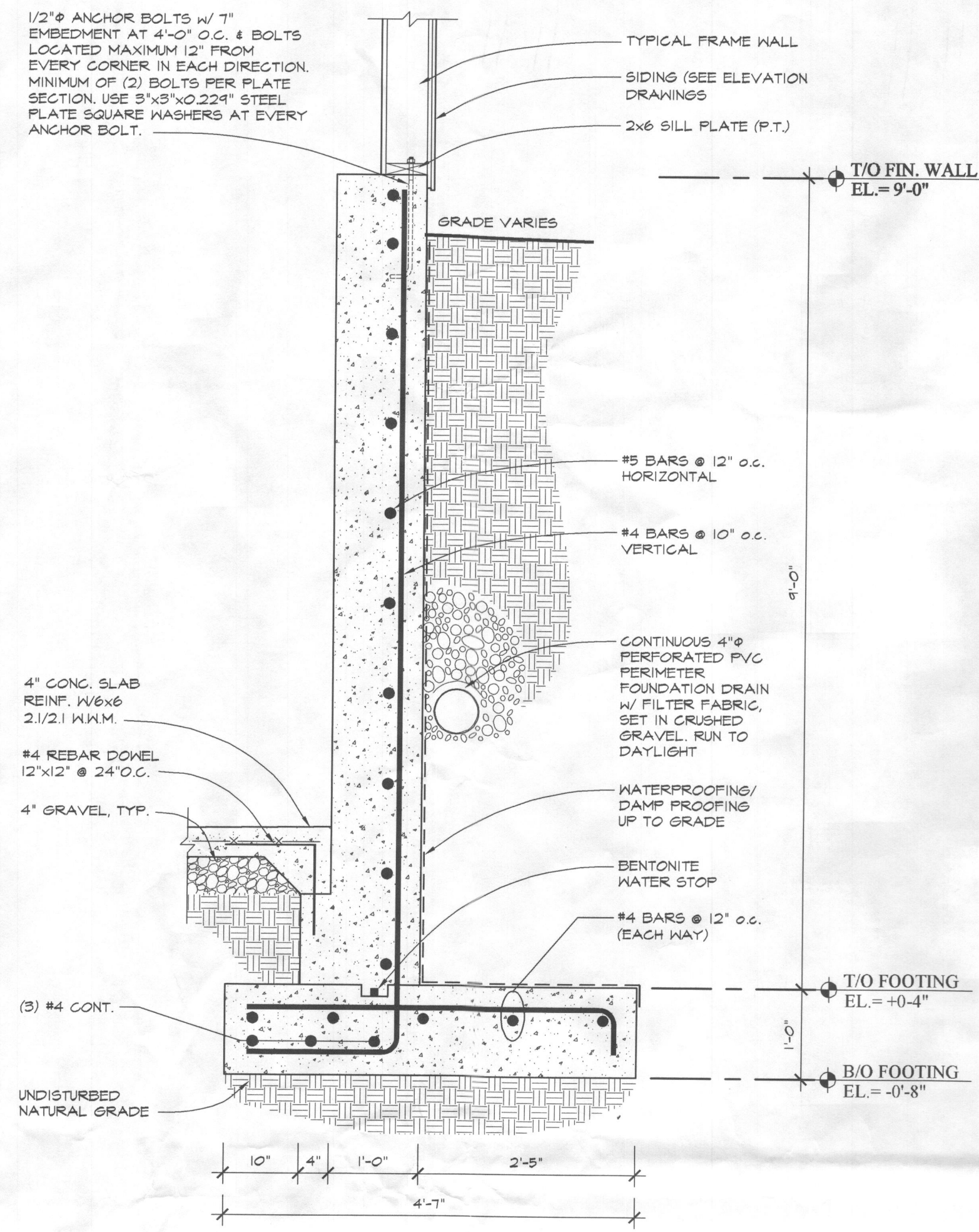
PLOT PLAN
LOT 51
PATAPSCO OVERLOOK
PLAT No. 22981
TAX ID: 04-597016
713 WELER DRIVE
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' MAY, 2016



VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

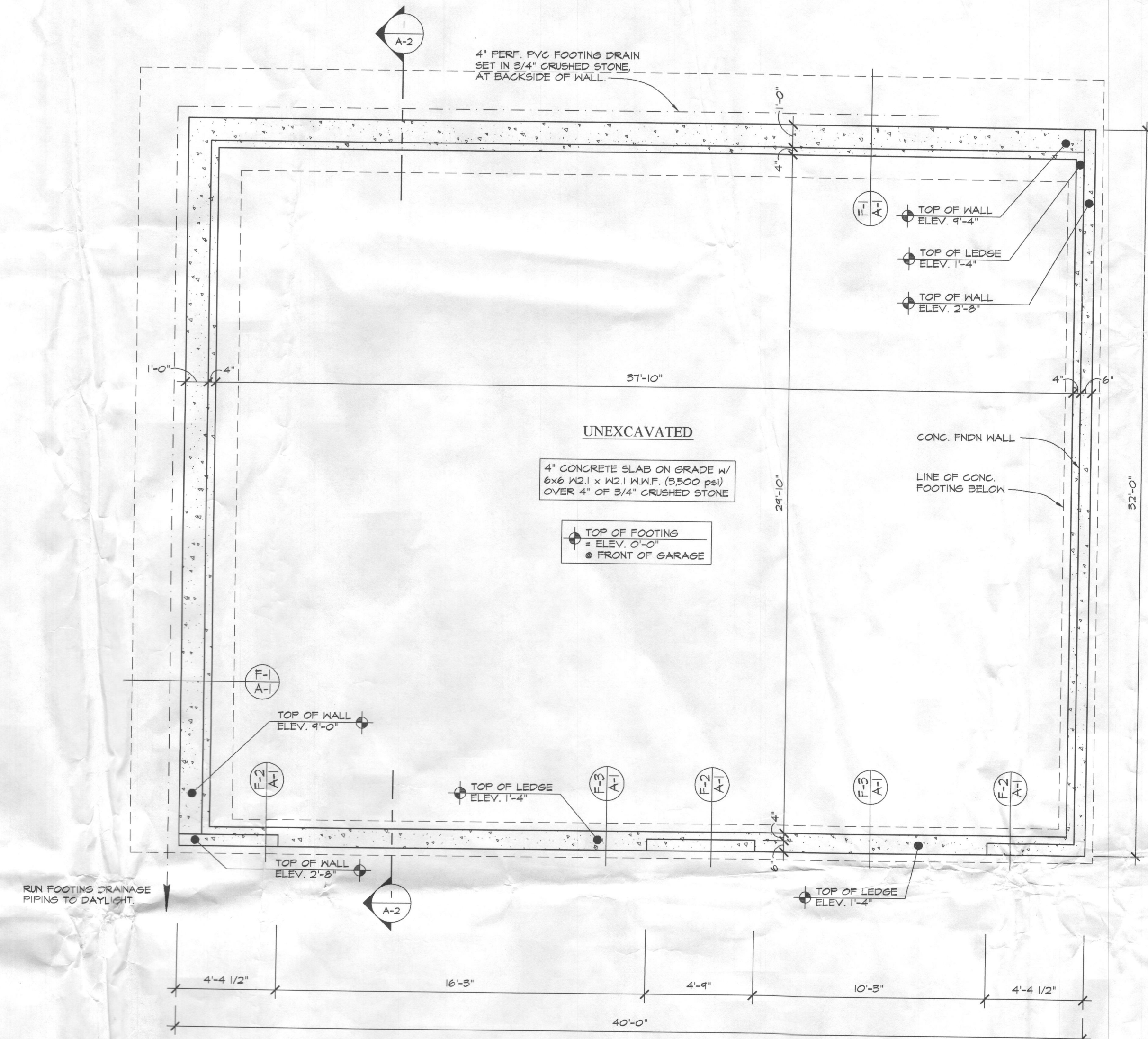
PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-17.

NO.	ISSUED TO:	DATE
1	PERMIT SET	05/05/17



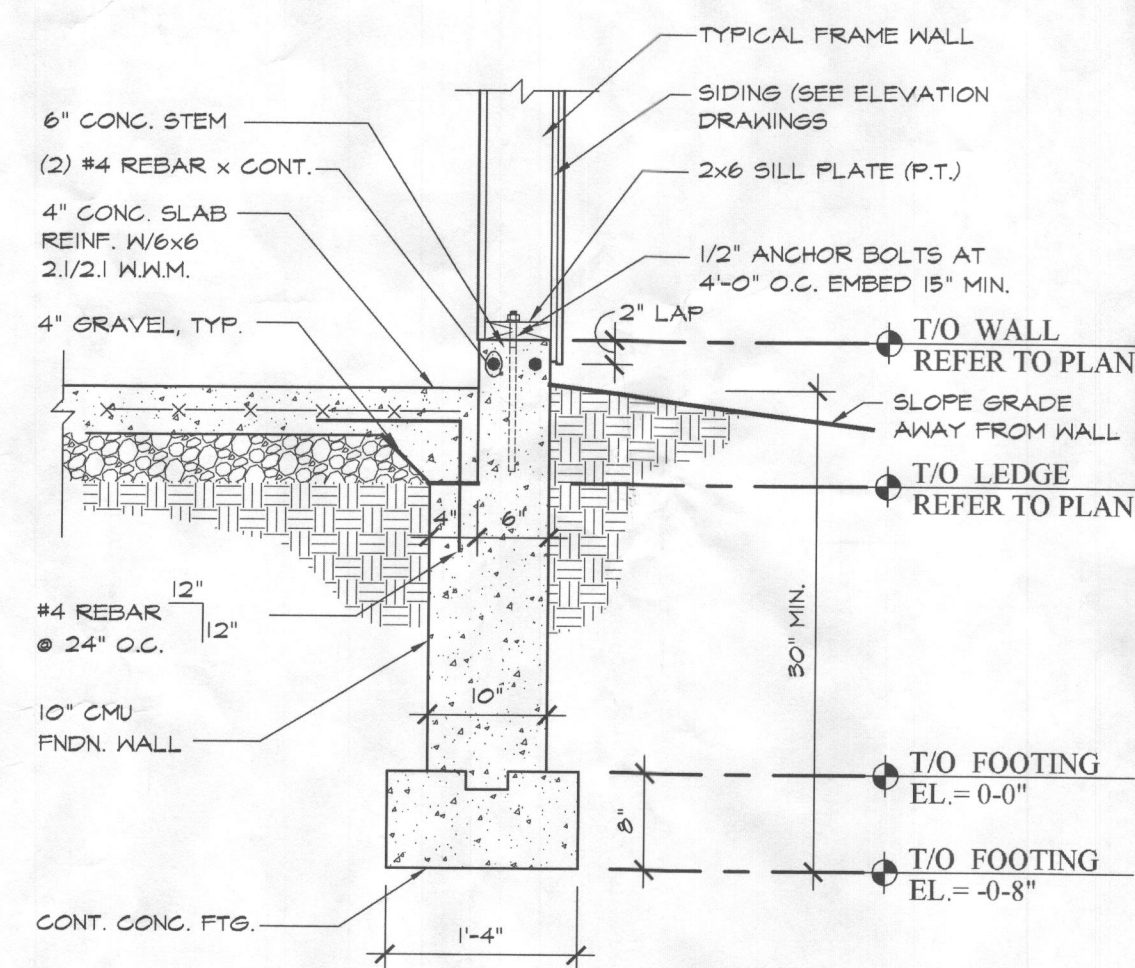
F-1 RETAINING WALL

3/4" = 1'-0"



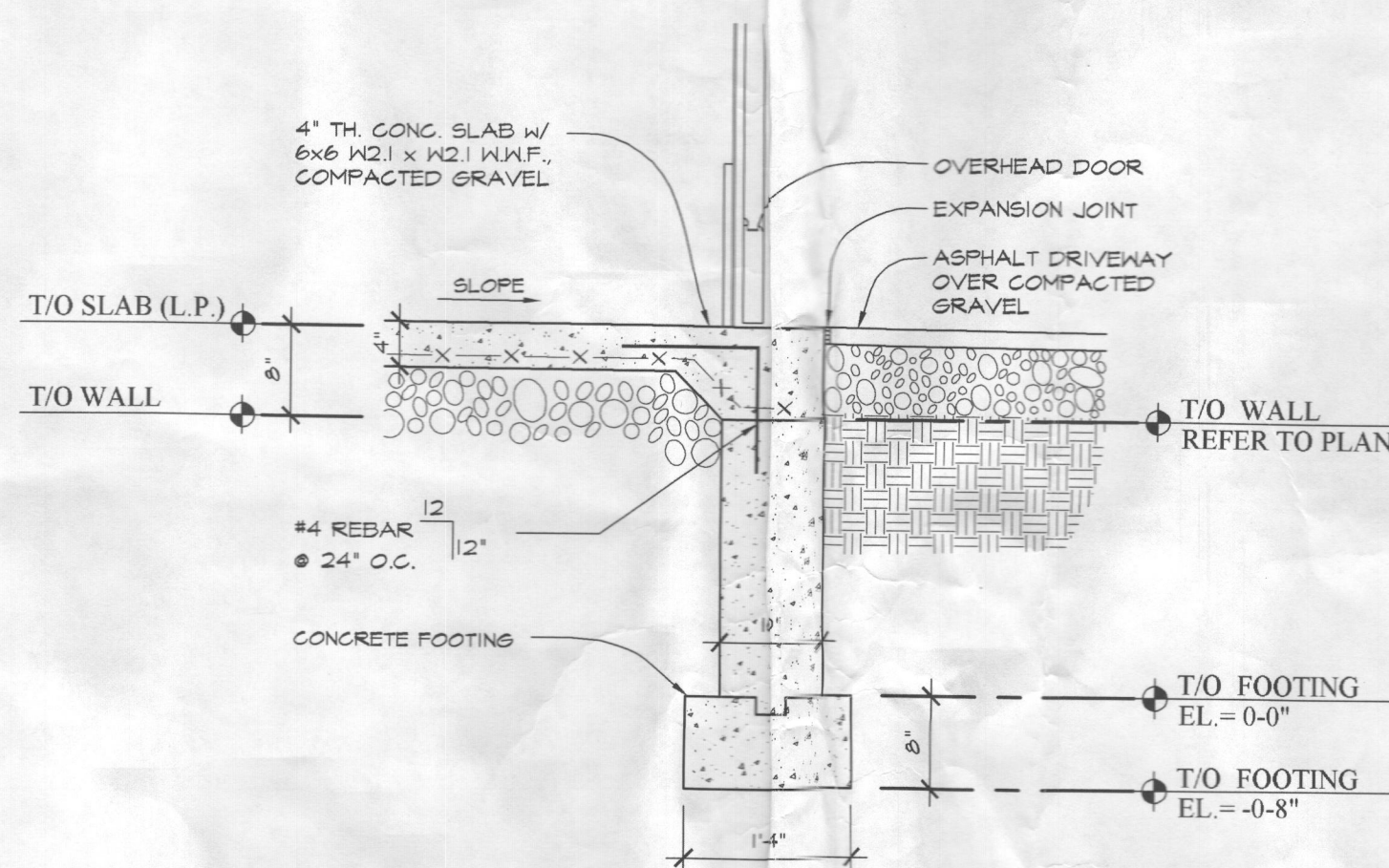
FOUNDATION PLAN

1/4" = 1'-0"



F-2 FOUNDATION WALL

3/4" = 1'-0"



F-3 FOUNDATION DETAIL

3/4" = 1'-0"

Shawn Mullen (Thank you!)
443-790-2374

NOTE:
this drawing is the property of the architectural designer and has been prepared specifically for the owner for this project at this site and is not to be used for any other purpose, location or owner without the written consent of the architect.

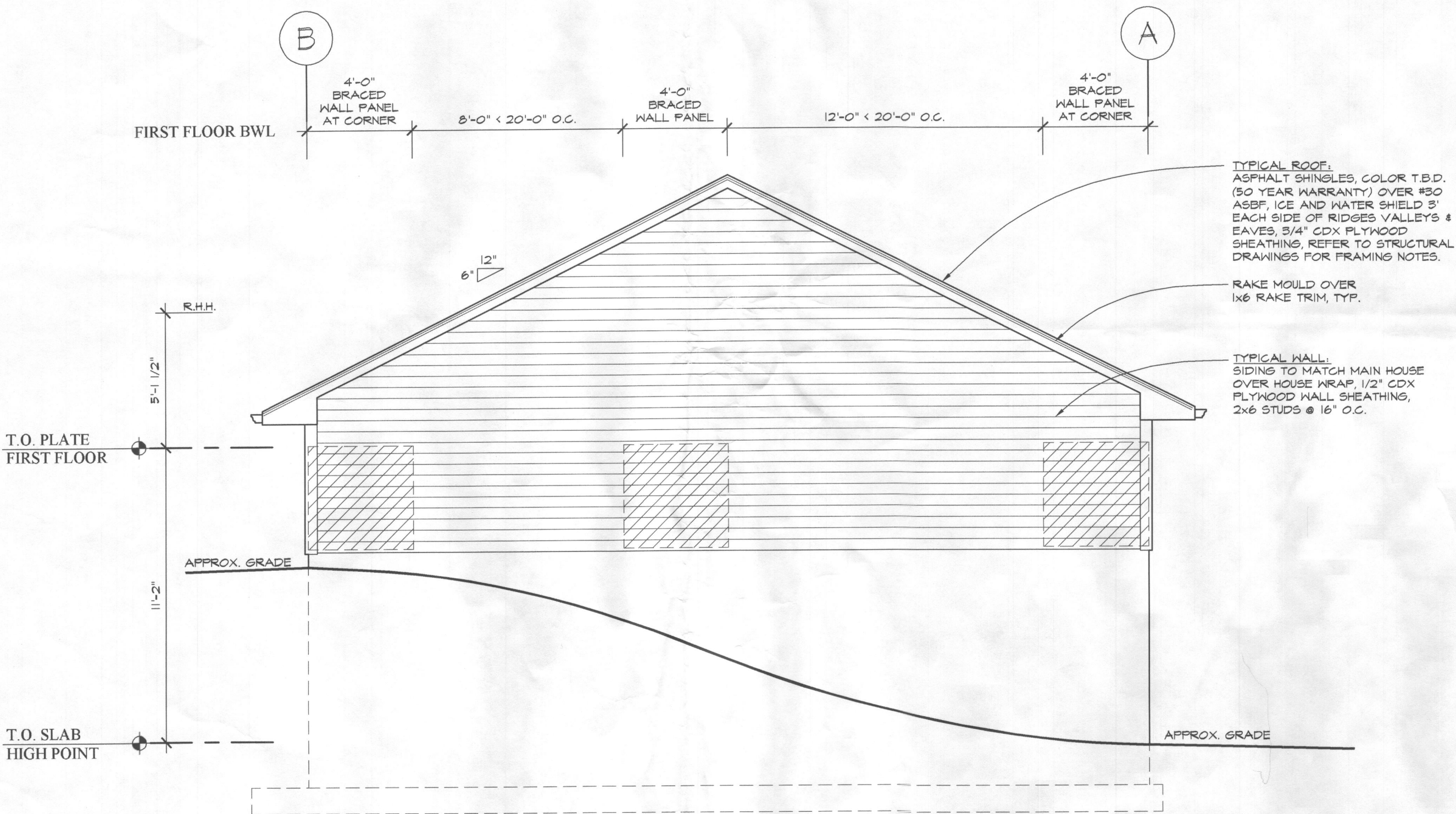
PROPOSED RESIDENCE FOR: 713 Weller Dr.
MULLAN RESIDENCE Mount Airy MD
HOWARD COUTNY MD 21771

FOUNDATION
PLAN & DETAILS

A-1

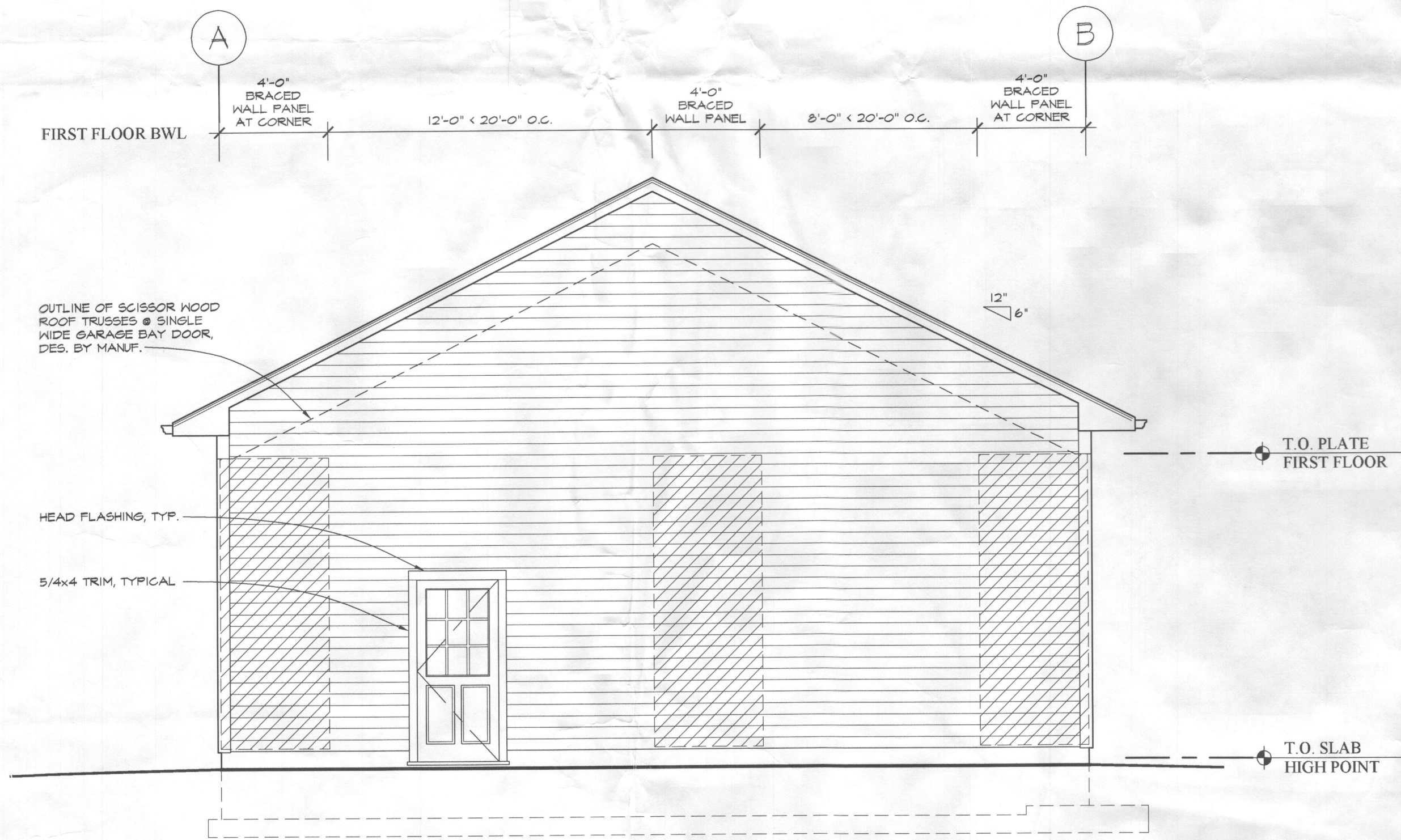
NOTE: DO NOT SCALE DRAWINGS.
REFER TO WRITTEN DIMENSIONS ONLY.

NO.	ISSUED TO:	DATE
1	PERMIT SET	05/05/17



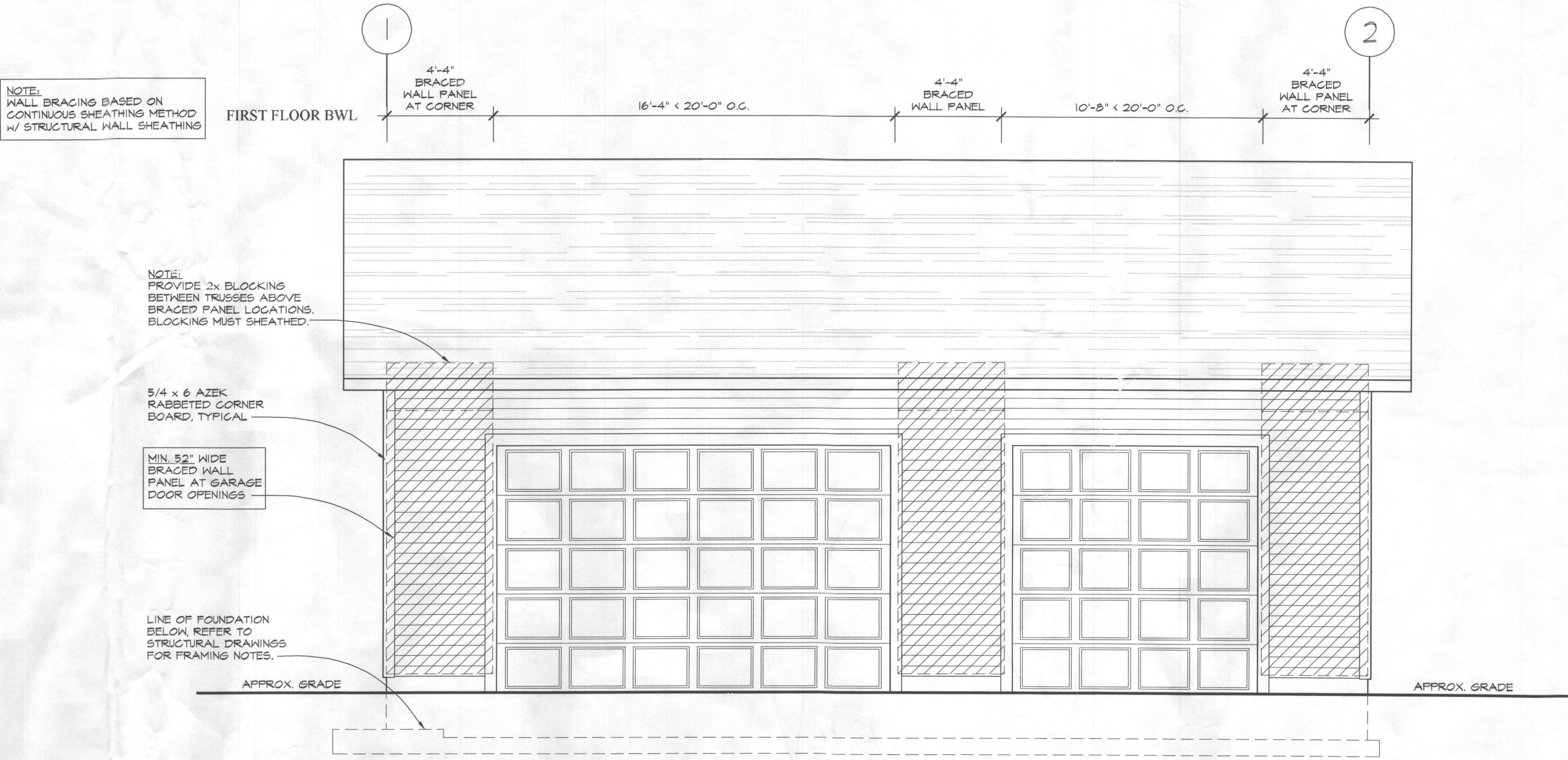
LEFT SIDE ELEVATION

1/4" = 1'-0"



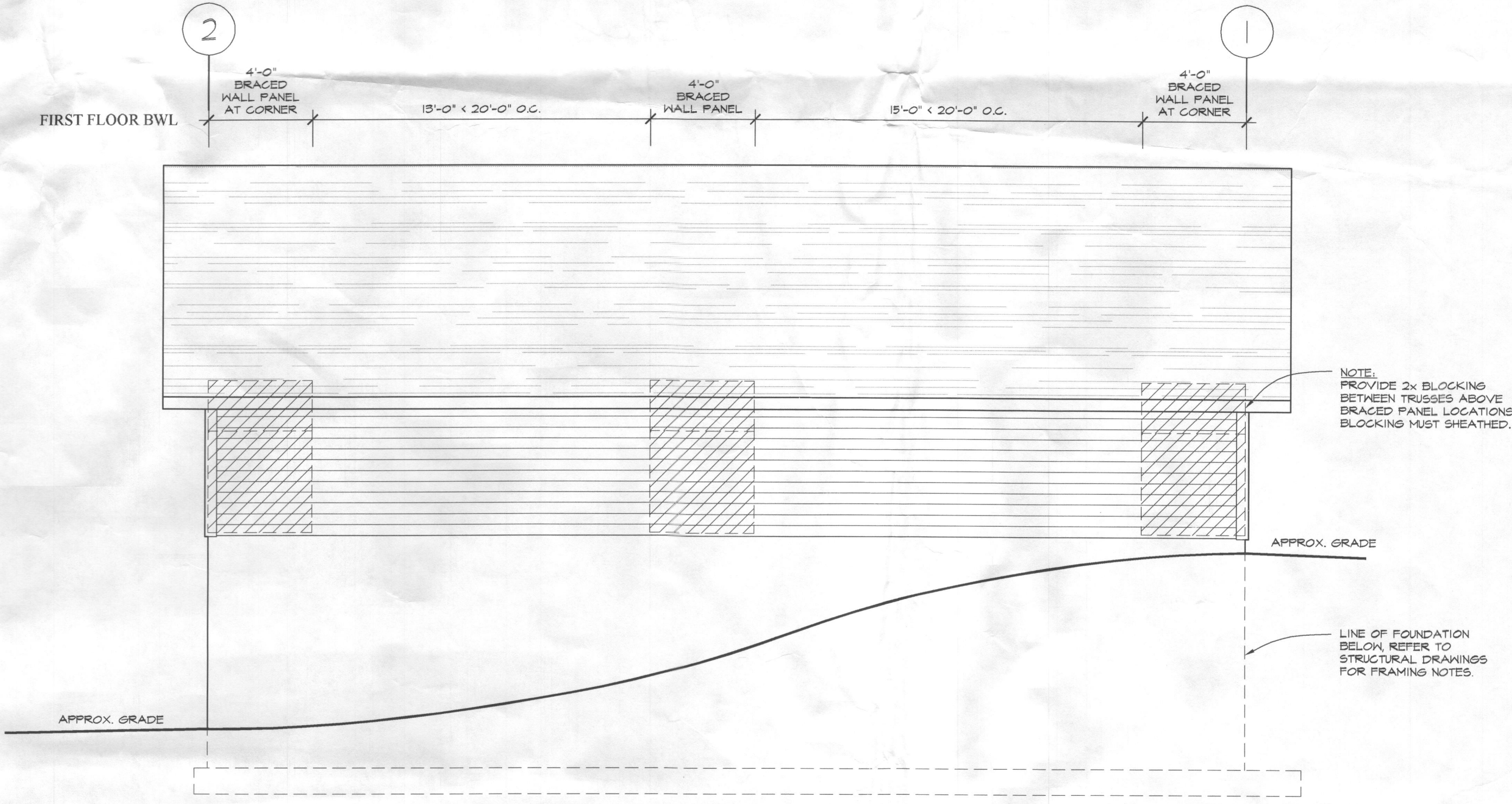
RIGHT SIDE ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

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or owner without the written consent of the architect.

PROPOSED RESIDENCE FOR: 713 Weller Dr.
MULLAN RESIDENCE
HOWARD COUTNY MD Mount Airy MD
21771

ELEVATIONS

A-3

NOTE: DO NOT SCALE DRAWINGS.
REFER TO WRITTEN DIMENSIONS ONLY.

1. LICENSED ELECTRICIAN TO FURNISH AND INSTALL DUPLEX OUTLETS PER CODE
2. LICENSED ELECTRICIAN TO FURNISH AND INSTALL PORCELAIN SOCKETS PER CODE IN UNFINISHED AREAS
3. OPENING SIZES GIVEN IN FEET AND INCHES
4. ALL EXTERIOR WALL DIVERSIONS ARE TO FACE OF STUD UNO.



Architectural floor plan of a two-car garage. The plan shows two cars parked side-by-side. Key dimensions and annotations include:

- Overall Dimensions:**
 - Overall width: 32'-0" (Continuous Sheathed 5'-5" Required - 12'-0" Provided)
 - Overall depth: 20'-0" (Continuous Sheathed 6'-0" Required - 13'-6" Provided)
- Garage Features:**
 - PITCH SLAB 3"** (indicated by an arrow pointing to the right)
 - CARAGE** (labeled in the center)
 - CEILING BEAMS ABOVE** (labeled with an arrow pointing to the ceiling area)
- Structural Details:**
 - CS-NSP 48"** (Continuous Sheathing - Non-Sheathing Panel) along the top and bottom walls.
 - CS-NSP 52"** (Continuous Sheathing - Non-Sheathing Panel) along the side walls.
 - 2x10 POCKET TOP OF SLAB 2 TYP.** (indicated at the top of the side walls).
 - 2000# HOLD-DOWN** (indicated at the corners and along the side walls).
 - 16x1 [2x CHIP]** (indicated at the corners of the garage opening).
 - 8'-0 1/2"** (indicated at the bottom of the garage opening).
 - 25'-5 1/2"** (indicated at the bottom of the garage opening).
 - 4'-6"** (indicated at the bottom of the garage opening).
 - 14'-10"** (indicated at the bottom of the garage opening).
 - 18'-0"** (indicated at the bottom of the garage opening).
 - 20'-10"** (indicated at the bottom of the garage opening).
 - 13'-6"** (indicated at the bottom of the garage opening).
 - 2'-0"** (indicated at the bottom of the garage opening).
 - 12'-0"** (indicated at the bottom of the garage opening).
 - 16'-0"** (indicated at the bottom of the garage opening).
 - 2'-0"** (indicated at the bottom of the garage opening).
- Orientation:**
 - LINE OF CONC. FOUNDATION WALL BELOW** (indicated at the bottom of the garage opening).
 - 1** and **2** (indicated at the bottom of the garage opening).
 - 1** and **2** (indicated at the bottom of the garage opening).

$$1/4'' = 1'-0''$$


NOTE:
Nothing is the property of the architectural designer and has been prepared specifically for the owner for this project at this site and is not to be used for any other purpose, location or owner without the written consent of the architect.

PROPOSED RESIDENCE FOR: 713 wells Dr
MILLAN RESIDENCE
HOWARD COUNTRY MD
21771

FIRST FLOOR
ROOF FRAMING
& SECTION
A-

3/20/15

A-2