



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 1711 UNDERWOOD ROAD  
City: SPRINGVILLE State: MD Zip Code: 21154  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: ALANCALE  
Section: 1 Area: \_\_\_\_\_ Lot: 4  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: REAR PORCH  
Proposed Use: SCREEN PORCH  
Estimated Construction Cost: \$ 45,000  
Description of Work: CONSTRUCT 15'7" x 17'3" REAR PORCH

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: JEFF LEWIS  
Address: SPRINGVILLE  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: 301 523 1857 Fax: \_\_\_\_\_  
Email: JLEWIS@MPTV.COM

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: MATTHEW SHANLEY  
Address: 4633 ROCKY HILL DRIVE  
City: ELICOTT CITY State: MD Zip Code: 21043  
Phone: 443 786 1583 Fax: \_\_\_\_\_  
Email: MATTHEW@JBLCONTRACTORS.COM

Contractor Company: JBL CONTRACTORS  
Contact Person: MATTHEW SHANLEY  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
License No.: 177846  
Phone: 443 786 1583 Fax: \_\_\_\_\_  
Email: MATTHEW@JBLCONTRACTORS.COM

Engineer/Architect Company: GBL DESIGN GROUP INC  
Responsible Design Prof.: GREG LITTLE  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: 410-883-8310 Fax: \_\_\_\_\_  
Email: GBL@GBLDESIGN.COM

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<b>Depth</b> <b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
	2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input checked="" type="checkbox"/> Masonry	No. of efficiency units:
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<b>▶ Roadside Tree Project Permit</b>	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Water Supply</b>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Matthew Shanley  
Applicant's Signature  
MATTHEW@JBLCONTRACTORS.COM  
Email Address  
JBL CONTRACTORS - OWNER  
Title/Company

MATTHEW SHANLEY  
Print Name  
8/7/17  
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

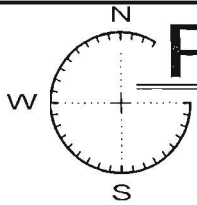
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>8/18/17</u>	<u>R. Buckler</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>2500</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check #	<u>6093</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

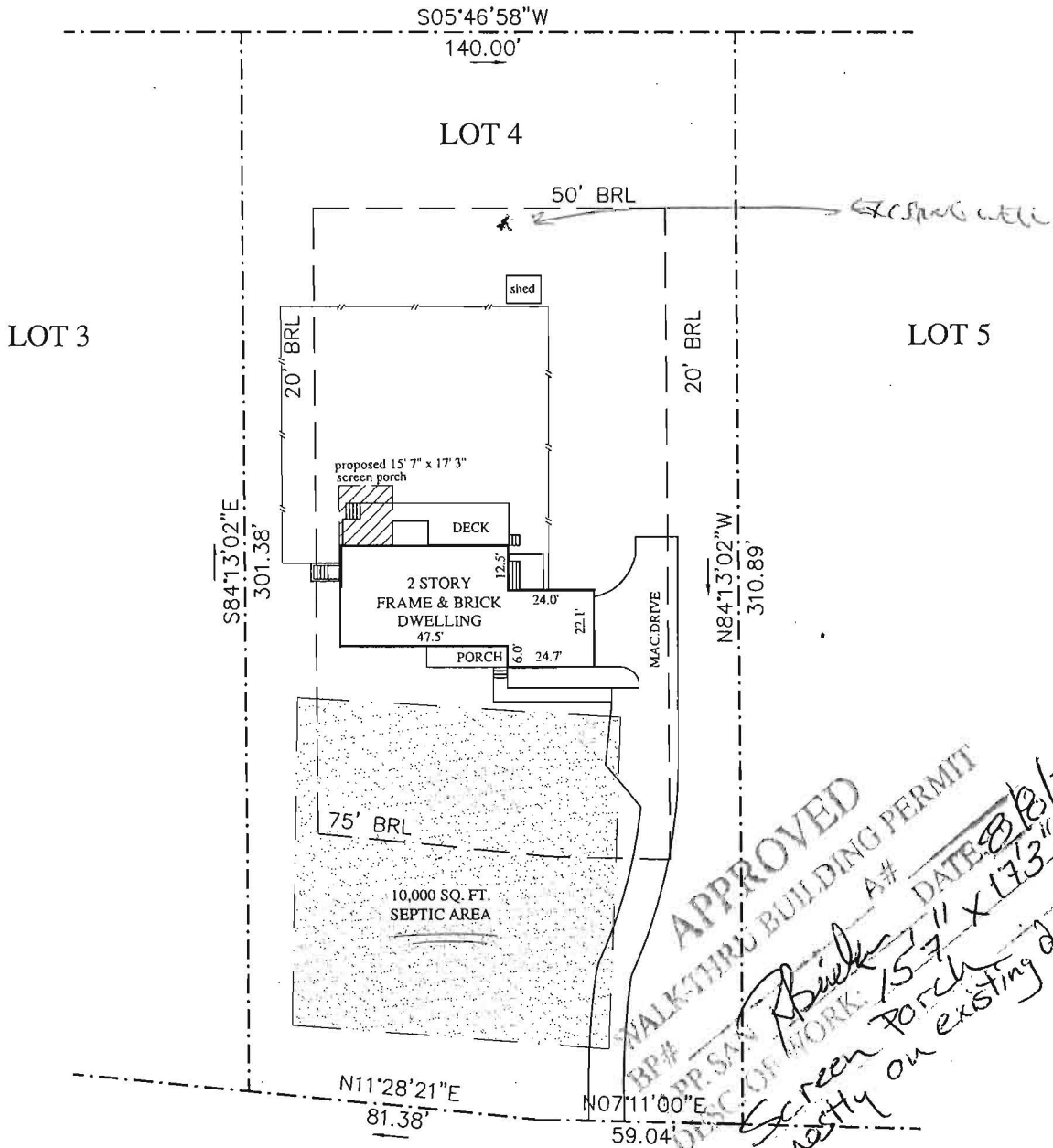


# Placek & Associates, Inc.

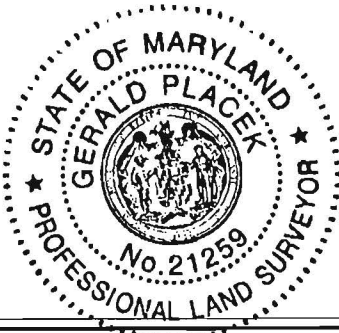
Engineers & Surveyors

Email: JMPlacek@Comcast.net

10319 CITATION WAY, LAUREL, MD, 20723  
FAX 410-880-4752, Office: 301-362-1031  
Cell: 410-302-4194



## UNDERWOOD ROAD



PROPERTY LINE SURVEY IS RECOMMENDED

### LOCATION DRAWING FOR: 1711 UNDERWOOD ROAD

1. This plat is of benefit to the consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for transfer of title, securing financing, or refinancing.
4. A property line survey is necessary to determine the exact location of improvements and encroachments, if any.
5. Distances to property lines are accurate to within 2-foot, unless otherwise shown.
6. All fences shown hereon are approximately located.
7. No title report furnished.

**CERTIFICATION:**

I hereby certify this drawing and survey work reflected in it, is in compliance with the requirements set forth in the COMAR 06.12.13 and the improvements as shown are correct to the best of my knowledge.

*Gerald A. Placek*

Gerald A. Placek L.S. NO. 21259 Exp Date: 6/13/2019

LIBER	15480	FOLIO	185
LOT	4	BLOCK	
SECT.	1	PLAT	
SUBD.	ANNANDALE		
PLAT BOOK	3704	FOLIO	
COUNTY	HOWARD		
SCALE	1"=50'	CASE NO.	SHANLEY
DATE	8-02-17	JOB NO.	MSC17-017