

Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

January 17, 2008

Mr. Eric B. Broderick
3620 Woodbine Road
Woodbine, MD 21797

RE: **Variance request**
3620 Woodbine Road
Woodbine, MD 21797

Dear Mr. Creath:

The Health Department received your letter dated December 21, 2007 requesting a variance to waive the Percolation Certification Plan required for the construction of an addition and variance to allow the construction of an addition eight feet from the existing well. The *Howard County Code Subtitle 8, Section 3.805* requires a Perc Certification Plan for the construction of an additional living space to an existing home. The plan is required to designate area available for on site sewage disposal repair in the future. Your letter indicates that perc results are not available for the property. Perc records are available and may be used to develop the perc certification plan. Your request to waive the perc certification plan has been denied and the Howard County Health Department does not offer a variance to allow a well closer than 20 feet to a proposed addition.

In order to move forward with the project as proposed, a new well must be drilled and a perc certification plan must be developed prior to building permit release.

Any questions regarding this decision may be directed to the Well and Septic Program of the Howard County Health Department.

Respectfully,

Michael J. Davis, R.S.
Well and Septic Program Manager

c: File

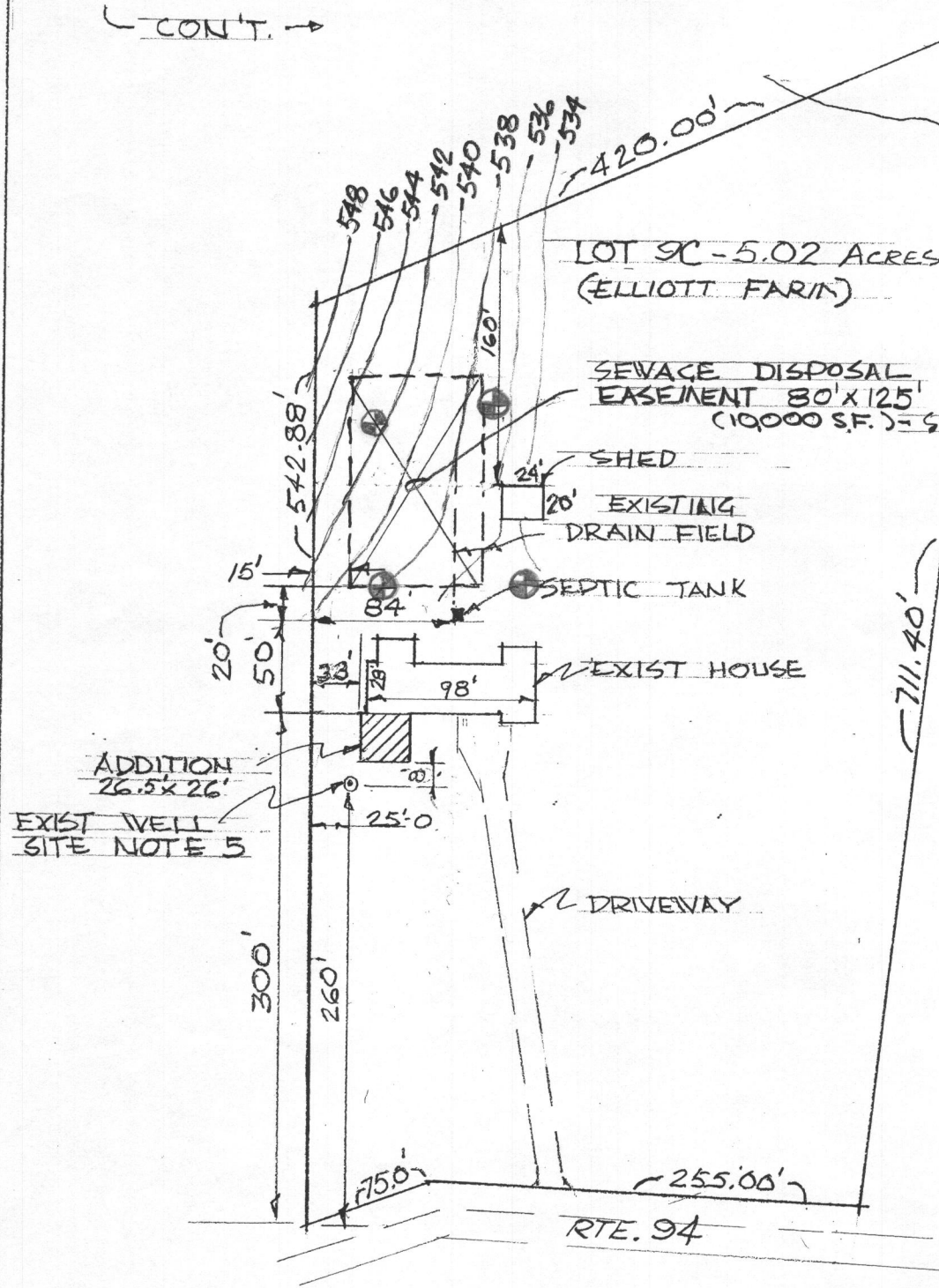
SITE NOTES:

1. Parcel 38- #3620 Rte. 94, Howard County, MD, 4th Election District, Recorded in Liber: 0836/Folio: 114.
2. Proposed Building-26 ft by 26.5 ft addition including porch and entry.
3. No public water or sewer at site.
4. Zoned residential.

5. Pesticide application to the foundation for termite control is expressly forbidden henceforth on this lot to safeguard the well from groundwater contamination.
6. This area designates a private sewage easement of at least 10,000 square feet as required by the Maryland Department of Environment. Improvements of any nature in this area are restricted. This easement shall become null and void upon connection to a public sewerage system.

CONT. →

⊕ passed perc 11-13-73



NOTES:

1. All work to be performed in accordance with the International Residential Code and amendments and ordinances as adopted by Howard County MD.
Live Loads:
Living Area: 40 PSF
Sleeping Area: 30 PSF
Roof: 30 PSF
2. All dimensions shall be read or calculated and never scaled.
3. Exterior wall to use 2x6 studs except dormer areas adjacent to attic where 2x4 wall studs can be used.
4. Existing steps and entry slab to be removed to allow construction of the addition.
5. Concrete to be regular aggregate design with minimum strength of 2500 psi at 28 days.
6. Soil Bearing Capacity—
-2000 PSF on undisturbed soil
-2500 PSF on compacted granular soil
7. Exterior footings to be a minimum of 2 ft below finished grade and shall step one vertical unit to two horizontal units when required.
8. Excavations greater than 3 ft depth shall be braced or maintain a 2:1 slope on the sidewalls.
9. Use concrete masonry units (CMUs), hollow type, grade N type 1, per ASTM C90.
10. Provide gutters and downspouts to drain SE and SW of the addition.
11. Provide access and platforms in attic for compact HVAC units, see detail sheet.
12. Properties of LVL Beams
-Extreme Fibre Bending 2,250 psi
-Horizontal Shear 285 psi
-Compression 405 psi
-Modulus of Elasticity 1,500,000 psi
13. Framing Lumber-Use S. Pine#2 or Hemlock/Pine #1 or equivalent as follows:
-Extreme Fibre Bending 1200/1400psi
-Horizontal Shear 75 psi
-Compression 405 psi
-Modulus of Elasticity 1,400,000 psi
14. There are no existing wells or septic systems within 100 feet of the property boundary.
15. Any changes to the private sewage easement shall require a revised percolation certification plan.
16. I certify that the information shown hereon is based on field work performed by me and is correct, to the best of my knowledge and belief.

J.J. Carter Date 10/07 Ph# 301 540 7207

PERCOLATION CERTIFICATION PLAN
SITE PLAN / NOTES
SCALE 1"=100'-0"

P. Nye for Peter Beilensen 6/17/08
Approved for private water and private sewer systems-
Howard County Health Department *HS 10/07*
E. BRODERICK
3620 WOODBINE
10/07 JJC 10F9

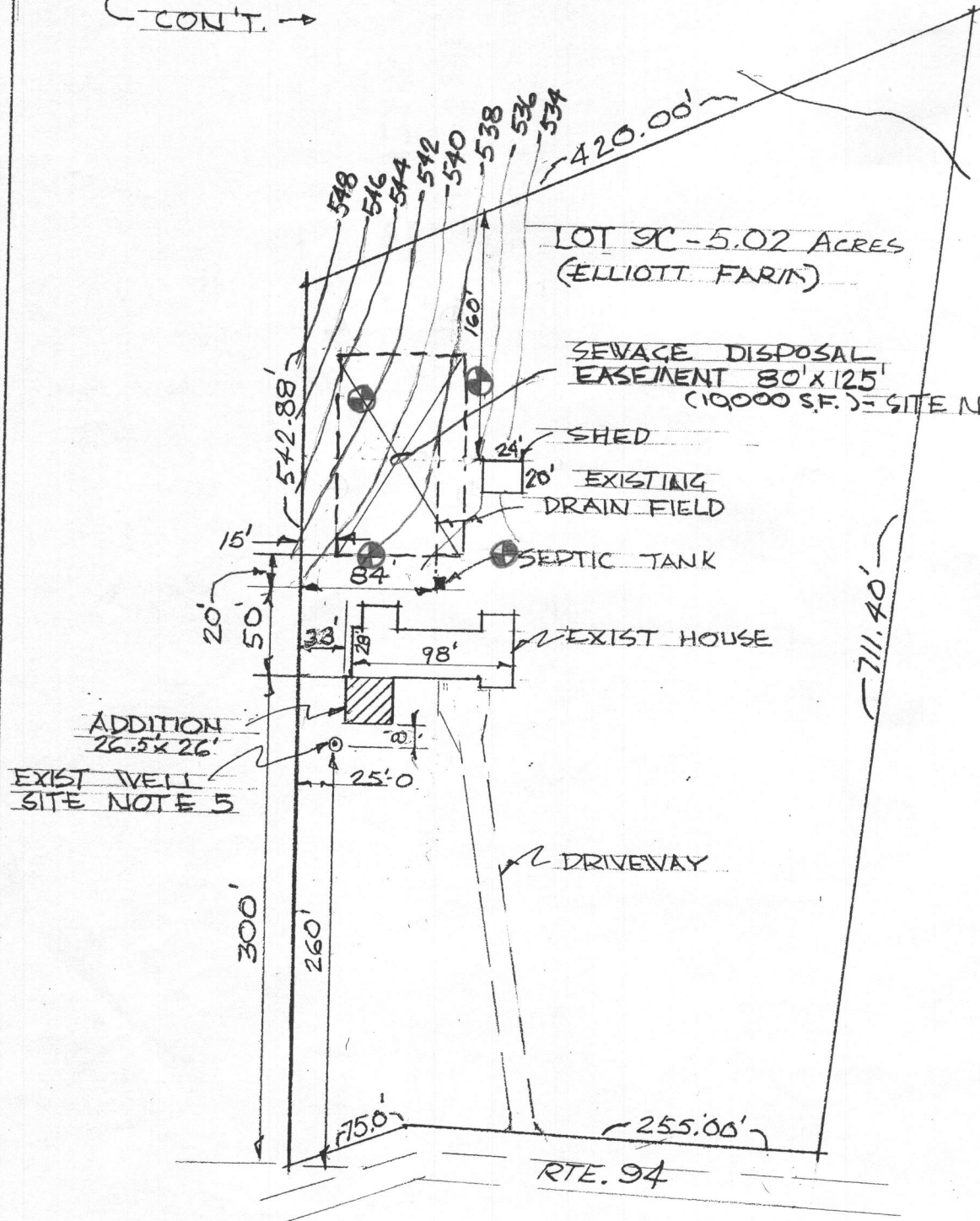
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<i>B. Wilson for Peter Brilensen</i> 6/17/08	E. BRODERICK
Approved for private water and private sewer systems- Howard County Health Department <i>IB</i> <i>1190</i>	3620 WOODBINE 10/07 <i>JJC</i> 10F9