



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 9/12/17

Permit No.: B17003419

Building Address: 5019 Grape Myrtle Ct.  
City: Ellicott City State: MD Zip Code: 21042  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: GP-17-049  
Census Tract: \_\_\_\_\_ Subdivision: Walnut Creek  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 139  
Tax Map: \_\_\_\_\_ Parcel: 49 Grid: 17+18  
Zoning: RC-DEO Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Property Owner's Name: NVR Inc  
Address: 9720 Patuxent Woods Drive  
City: Columbia State: MD Zip Code: 21046  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: Decatur Building Services  
Address: PO Box 552  
City: Woodbine State: MD Zip Code: 21797  
Phone: 443-309-7792 Fax: \_\_\_\_\_  
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes  
Contact Person: Taylor Facis  
Address: 9720 Patuxent Woods Drive  
City: Columbia State: MD Zip Code: 21046  
License No.: 56  
Phone: 410-379-5956 Fax: \_\_\_\_\_  
Email: Tfacis@NVHOMES.com

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Existing Use: Vacant lot  
Proposed Use: Single Family house  
Estimated Construction Cost: \$ 250,000  
Description of Work: New 2 story "Clifton Park II" with 3 car garage, morning room, suite 1st floor and unfinished lower level  
Occupant or Tenant: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: <u>617000283</u>	

**RECEIVED**  
SEP 12 2017  
LICENSSES & PERMITS  
DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin  
Applicant's Signature  
Jim@DecaturbuildingServices.com  
Email Address  
AGENT NV Homes  
Title/Company

Jim Kerwin  
Print Name  
9/12/2017  
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE-USE ONLY-

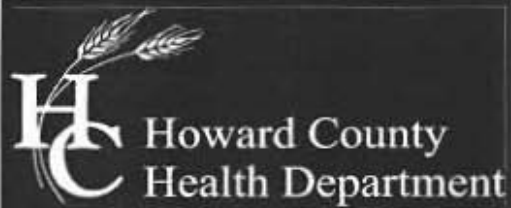
AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>9/12/17</u>	<u>Print Name</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>118906</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Clint Cagle  
NVR Inc.  
9720 Patuxent Woods Dr.  
Columbia, MD, 21046

FROM: Robert Freemon *RIF*  
Well & Septic Program

RE: Walnut Creek, Lot 139  
5019 Crape Myrtle Ct.  
Ellicott City, MD 21049  
*"Potential Basement Bedroom"*

DATE: 9/27/17

I have reviewed the floor plans in support of Building Permit **B17003419** for a new home at **5019 Crape Myrtle Ct.** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space. As this lot is connected to the shared sewage system with a **five** bedroom per lot limitation, any future building permit for converting all or a portion of the basement into finished living space may be denied by the Health Department if the total number of proposed bedrooms in the dwelling is above five.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities

## Freemon, Robert

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**From:** Cagle, Clint <ccagle@nvrinc.com>  
**Sent:** Wednesday, September 27, 2017 2:29 PM  
**To:** Freemon, Robert  
**Cc:** Hanauer, Brent  
**Subject:** RE: Walnut Creek, Lot 139

Hello Robert,

Yes, we would like to move forward with the BP(as is) and I have read and understand the memo attached. Yes, you are correct about Taylor pre-filling out.

Thanks,

Clint Cagle | NVHomes | 301-237-5776  
-----

**From:** Freemon, Robert [<mailto:rfreemon@howardcountymd.gov>]  
**Sent:** Wednesday, September 27, 2017 1:45 PM  
**To:** Cagle, Clint <ccagle@nvrinc.com>  
**Cc:** Hanauer, Brent <[bhanauer@nvrinc.com](mailto:bhanauer@nvrinc.com)>  
**Subject:** RE: Walnut Creek, Lot 139

Hey Clint,

Please read the attached memo and let me know what you decide. If you would like to move forward with the BP (as is) all I need is an email back confirming you read and understood the memo and would like to proceed. If you would like to revise the building permit let me know as well.

Side Note: I am assuming these Walnut Creek BP were all pre filled out and that is why Taylors name is still on them?

*Robert Freemon*  
*Howard County Health Department*  
*8930 Stanford Blvd. Columbia, MD 21045*  
*Well and Septic Program*  
*Bureau of Environmental Health*  
*Phone: 410-313-6357*  
*Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)*  
*<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>*

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**From:** Cagle, Clint [<mailto:ccagle@nvrinc.com>]  
**Sent:** Tuesday, September 26, 2017 2:01 PM  
**To:** Freemon, Robert  
**Cc:** Hanauer, Brent  
**Subject:** RE: Walnut Creek, Lot 139

Hello Robert,

Yes, the house will have a unfinished basement, but there will be a 3pc. rough-in installed. I crossed out the basement bathroom drawing, but I didn't make note of the 3pc. rough-in still being installed.

Thanks,

Clint Cagle | NVHomes | 301-237-5776  
-----

**From:** Freemon, Robert [<mailto:rfreemon@howardcountymd.gov>]  
**Sent:** Tuesday, September 26, 2017 12:45 PM  
**To:** Cagle, Clint <[ccagle@nvrinc.com](mailto:ccagle@nvrinc.com)>  
**Cc:** Faris, Taylor <[tfaris@NVHomes.com](mailto:tfaris@NVHomes.com)>  
**Subject:** Walnut Creek, Lot 139

Hi,  
Can you confirm for me there will not be a rough-in for a full bath in the unfinished basement? The floor plans show the Opt. Bsmt. Bath crossed out however I would like confirmation on this.

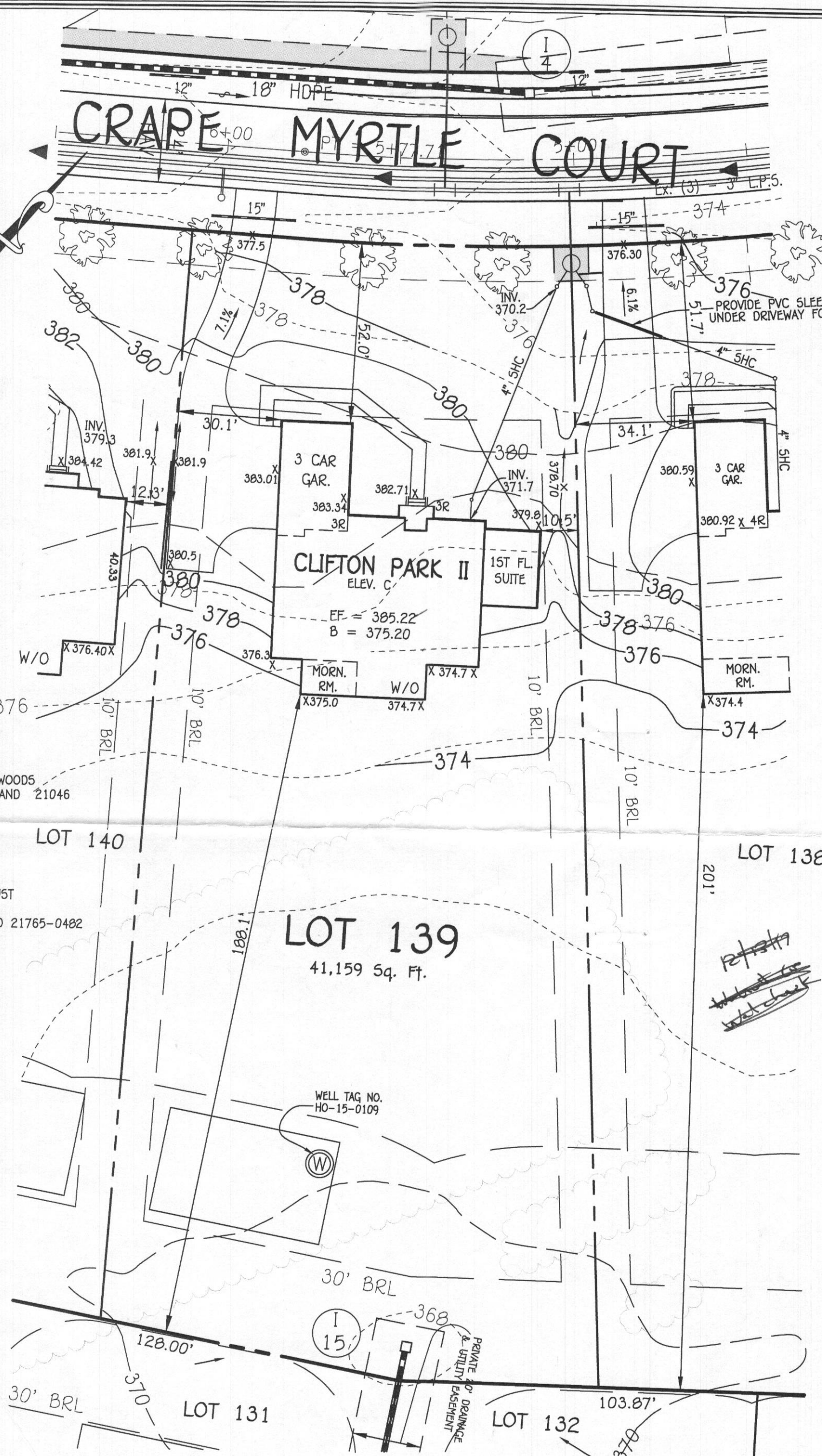
B17003419  
Walnut Creek, Lot 139  
5019 Crape Myrtle Ct.

**Robert Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Well and Septic Program**  
**Bureau of Environmental Health**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

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# CRAPE MYRTLE COURT



PROVIDE PVC SLEEVING UNDER DRIVEWAY FOR SHC

*Retain  
W/lot 138  
W/lot 139*

**BUILDER**  
 NV HOMES INC.  
 9720 PATUXENT WOODS  
 COLUMBIA, MARYLAND 21046

**OWNER**  
 BV BUSINESS TRUST  
 P.O. BOX 482  
 LISBON, MARYLAND 21765-0482

**LOT 139**  
 41,159 Sq. Ft.

WELL TAG NO.  
 HO-15-0109

**PLAN**  
 SCALE: 1"=30'

Approved 1517003419 PERMIT SITE PLAN  
 RAY 9/27/17  
**LOT 139**  
 5019 CRAPE MYRTLE CT.  
**WALNUT CREEK**

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 461 - 2955

**WELL CERTIFICATION:**  
 THE EXISTING WELL, TAG NO. HO-15-0109, HAS BEEN  
 FIELD LOCATED AND IS ACCURATELY SHOWN.

ZONED: RC-DEO  
 TAX MAP NO.: 28 PARCEL NO. 49 GRID NO.: 17 & 18  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: SEPT. 5, 2017

Approved B17003419 9/27/17 RJE  
 (5 Finished Bedrooms w/ unfinished basement containing a full bath rough in)

B17003419

# CLIFTON PARK II

HEALTH DEPT



NVR, Inc.  
 Architectural Services  
 Architects  
 21 Byte Court, Suite A  
 Frederick, MD 21702

	FULL BASEMENT						CRAWL SPACE						ATTACHED GARAGES		OPTIONAL ROOMS				DETAILS STANDARD
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	THREE CAR SIDE ENTRY TWO CAR SIDE ATTACHED	CONSERVATORY	SUITE FIRST FLOOR	MORNING ROOM	
NOTE SHEET	2						2												
FRONT ELEVATIONS - SIDING		3						3											D-1
FRONT ELEVATIONS - BRICK		4						4											D-2
FRONT ELEVATIONS - SIDING/STONE		5	6	7	8	10.1	10.2		5	6	7	8	10.1	10.2					D-3
RIGHT SIDE ELEVATIONS - SIDING OR SIDING/STONE		11	13	14	16	18.1	18.2		11	13	14	16	18.1	18.2					D-4
RIGHT SIDE ELEVATIONS - BRICK		12							12										D-5
LEFT SIDE ELEVATIONS - SIDING OR SIDING/STONE		19	21	22	24	26.1	26.2		19	21	22	24	26.1	26.2					D-5a
LEFT SIDE ELEVATIONS - BRICK		20							20										D-6
REAR ELEVATIONS - SIDING		27	24	30	32	34.1	34.2		27	24	30	32	34.1	34.2					D-7
REAR ELEVATIONS - BRICK		28							28										D-8c
FOUNDATION		35	36	37.1	37.2	37.1	41.2		39	40	40	41.1	41.1	41.2	36	36	36	36	D-11
HOLD DOWN DETAILS		43							43						36	36	36	36	D-12
PLUMBING GROUND WORKS		44							45										D-12b
BASEMENT PLAN		46.1	46.1	46.1	46.2	46.2	46.3		47	48	48	49.1	49.1	49.2					D-12c
FIRST FLOOR PLAN		47							47	48	48	49.1	49.1	49.2					D-13
FIRST FLOOR PLAN PARTIALS		50							50						50	53			D-14
SECOND FLOOR PLAN		54							54	56	56	56	56	56				55	D-15
SECOND FLOOR PLAN PARTIALS		57							57										D-15a
BUILDING SECTION AT FOYER		58							58										D-16
BUILDING SECTION AT GARAGE		60							60									61	D-16a
STAIR SECTION (FRONT STAIR) - STANDARD		62							60									60	D-17
STAIR SECTION (FRONT STAIR) - UPGRADE		64							62										D-17a
STAIR SECTION (FRONT STAIR) - UPGRADE W/ METAL		66, 67.1							64										D-18c
STAIR SECTION (FRONT STAIR) - UPGRADE W/CRAFTSMAN		67.2, 67.3							66, 67.1										D-20
STAIR SECTION (REAR STAIR) - STANDARD		68							67.2, 67.3										D-21
STAIR SECTION (REAR STAIR) - UPGRADE		69.1							68										D-22
STAIR SECTION (REAR STAIR) - UPGRADE W/ CRAFTSMAN		69.2							69.1										D-22a
KITCHEN PLANS - CABINET HOOD 'B'		70							69.2										D-27
KITCHEN PLANS - CABINET HOOD 'C'		72							70										D-28
KITCHEN PLANS - GOURMET		74							72										D-28a
KITCHEN PLANS - ISLANDS		76							74										D-29
WET BAR, LAUNDRY, CHARGING CENTER		77.1							76										D-30
INTERIOR DETAILS - BATH ELEVATIONS		78							77.1										D-34
INTERIOR DETAILS - COLUMNS / BULKHEAD		79							78										D-35
INTERIOR DETAILS - FOYER AND FAMILY ROOM WINDOWS		80	80	80	80	80	81		79										D-36
INTERIOR DETAILS - FIREPLACE DETAILS		82							80	80	80	80	80	81					D-37
INTERIOR DETAILS - FIREPLACE DETAILS W/ BONUS RM.		83							82										D-40
INTERIOR MISC. DETAILS		84							83										D-40b
EXTERIOR ELEVATION DETAILS				85	85	86.1	86.2		84										D-44
EXTERIOR MISC. DETAILS		87							85	85	86.1	86.2							D-45
BASEMENT ELECTRICAL		88.1	88.1	88.2	88.2	88.3	88.3		87										WB-1
FIRST FLOOR ELECTRICAL		90							88.1	88.1	88.2	88.2	88.3	88.3					WB-2
FIRST FLOOR ELECTRICAL PARTIALS		92							90	90	91.1	91.1	91.2						F-1
SECOND FLOOR ELECTRICAL		96							92	95									SP-1
SECOND FLOOR ELECTRICAL PARTIALS		99							96	98	98	98	98	98				97	SP-2
FIRST FLOOR JOIST LAYOUT		100							99										SEP-1
SECOND FLOOR JOIST LAYOUT		106							100	104	104	105	105	105	100	103	103	103	SEP-2
ROOF FRAMING		110							106	108	108	109	109	109				107	SEP-3
TRUSS BRACING		114							110	111	112	113	114.1	114.2	115	115	112		SEP-4
BRACED HALL		121							114	120									
ROOF VENTILATION		123	124	125	126	127.1	127.2		121	122									
BASEMENT HVAC PLAN		128.1							123	124	125	126	127.1	127.2					
CRAWL SPACE HVAC PLAN		129							128.1	128.2									
FIRST FLOOR HVAC PLAN		130							129										
SECOND FLOOR HVAC PLAN		131							130										
		131							131										
									132										

**BASE SQUARE FOOTAGE**

FIRST FLOOR	GROSS SQ. FT.	2480
SECOND FLOOR	GROSS SQ. FT.	1987
HOUSE TOTAL	GROSS SQ. FT.	4467

**ELEVATIONS SQ. FT.**

ELEVATION 'A'	GROSS SQ. FT.	+0
ELEVATION 'B'	GROSS SQ. FT.	+20
ELEVATION 'C'	GROSS SQ. FT.	+120
ELEVATION 'D'	GROSS SQ. FT.	+219
ELEVATION 'K'	GROSS SQ. FT.	+32
ELEVATION 'L'	GROSS SQ. FT.	-146

**ADDITIONAL SQ. FT.**

MORNING ROOM	GROSS SQ. FT.	+160
CONSERVATORY OR SUITE FIRST FLOOR	GROSS SQ. FT.	+352
SIDE ATTACHED GARAGE	GROSS SQ. FT.	+137
SIDE ATTACHED GARAGE W/ FAMILY OFFICE	GROSS SQ. FT.	+233
5TH BEDROOM LAYOUT	GROSS SQ. FT.	+352
SITTING AREA	GROSS SQ. FT.	+165
BONUS ROOM / BEDROOM	GROSS SQ. FT.	+348
2ND FLOOR LAUNDRY		
- ELEVATION 'A'	GROSS SQ. FT.	+105
- ELEVATION 'B'	GROSS SQ. FT.	+125
- ELEVATION 'C'	GROSS SQ. FT.	+123
- ELEVATION 'D'	GROSS SQ. FT.	+141
- ELEVATION 'K'	GROSS SQ. FT.	+82
- ELEVATION 'L'	GROSS SQ. FT.	+82

**MAXIMUM FINISHED SQ. FT.**

HOUSE TOTAL	GROSS SQ. FT.	6349
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\*\*MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT

**FINISHED BASEMENT SQ. FT.**

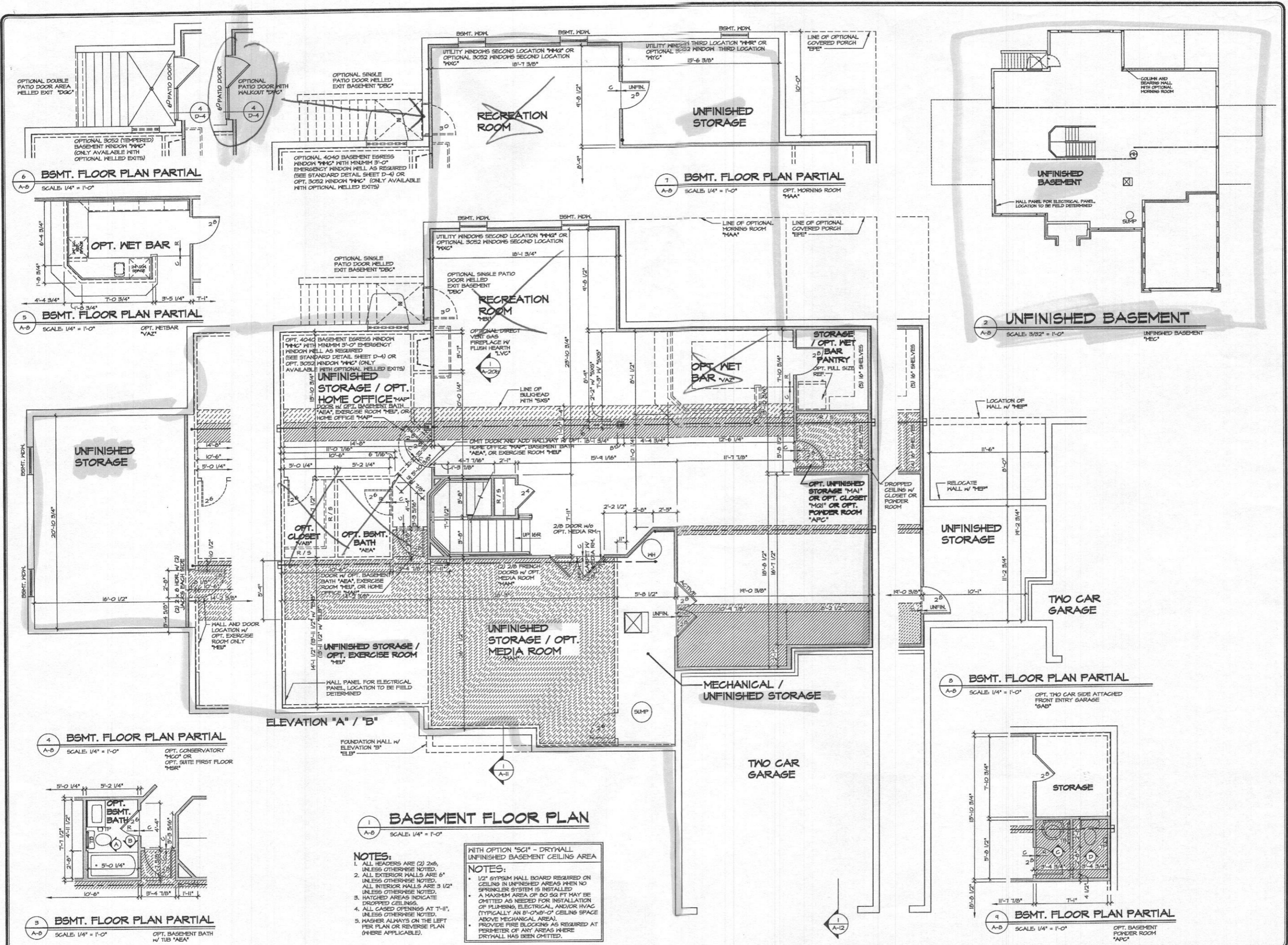
RECREATION ROOM	GROSS SQ. FT.	+1294
MEDIA ROOM	GROSS SQ. FT.	+317
HOME OFFICE	GROSS SQ. FT.	+293
BASEMENT BATH	GROSS SQ. FT.	+68
BASEMENT CLOSET	GROSS SQ. FT.	+44
EXERCISE ROOM	GROSS SQ. FT.	+219

**FOOTPRINT**

BASE HOUSE:	
WIDTH:	60'-4"
DEPTH:	68'-4"
MAXIMUM:	
WIDTH:	110'-8"
DEPTH:	78'-8"

SET - VERSION  
**10300-01** CS-1

J:\Dwg\ATTACHED\CLIFTON PARK II\_10300\_01\CS1.DWG 12/28/14 - 6:36 PM



**NOTES:**

1. ALL HEADERS ARE (2) 2x6 UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 3/2" UNLESS OTHERWISE NOTED.
4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

**NOTES:**

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 90 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

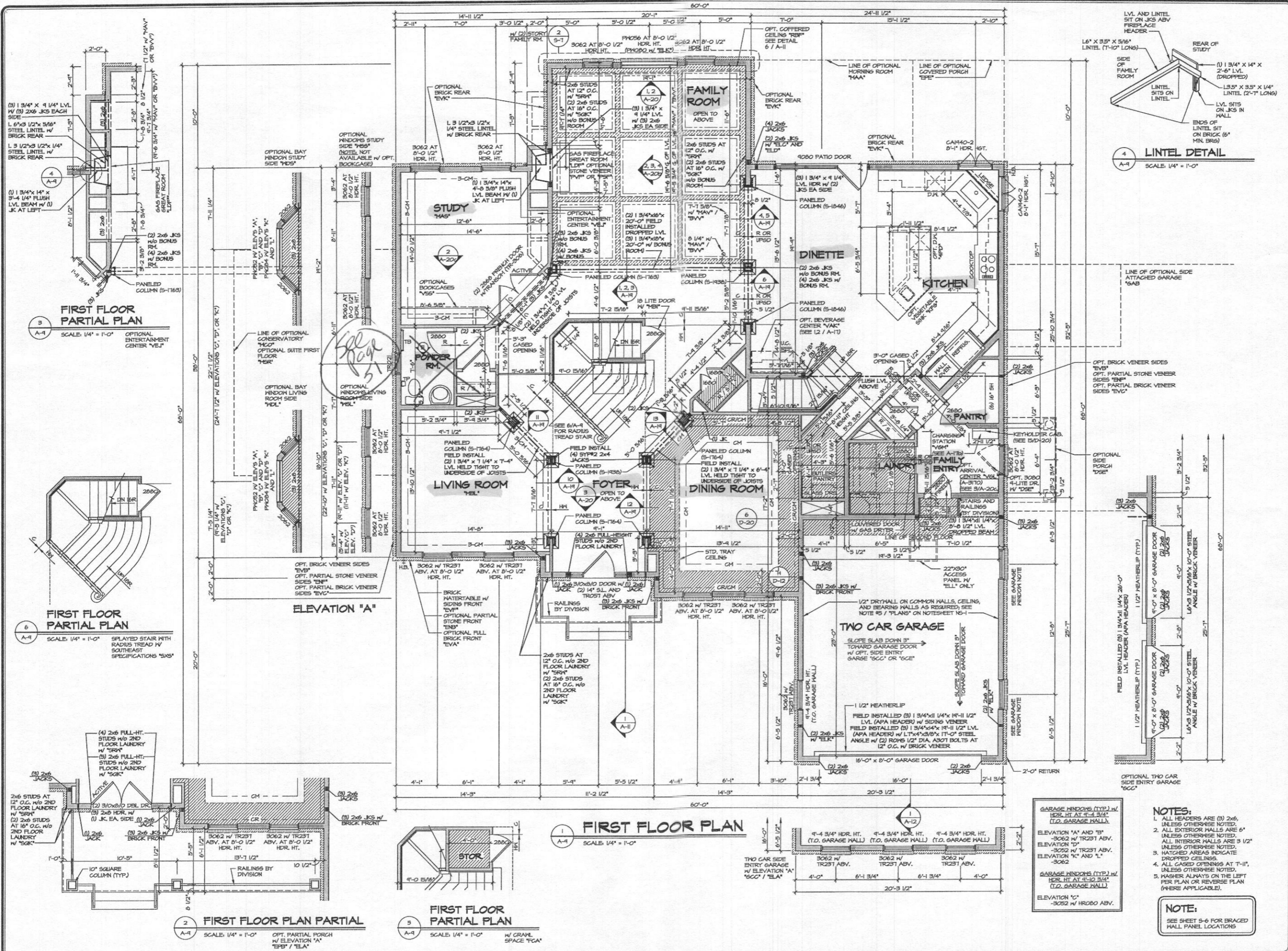
SHEET NO.	MODEL	DATE	REVISIONS
A-8	CLIFTON PARK II	1/10/15	1. 07/20/14 GEL - REVISED GRAPHICAL ERROR
46.1	BASEMENT FLOOR PLAN		2. 02/20/14 BFL - ADDED REVISIONS
	OPTION DESCRIPTION		3. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
	FULL BASEMENT		4. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			5. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			6. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			7. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			8. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			9. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186
			10. 02/20/14 BFL - ADDED THE NUMBER OR TO (B) OPTION AT POWER ROOM FOR 24186



SET NO. 10300  
 VERSION 01  
 DRAWN BY A-H  
 DATE: 1/10/15  
 OPTION: FBA

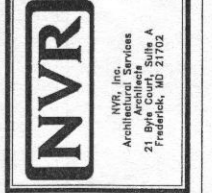
3: Drive to Attached Clifton Park II 10300-01 BSMT.dwg 08/14/17 1:20 PM





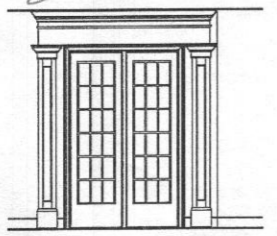
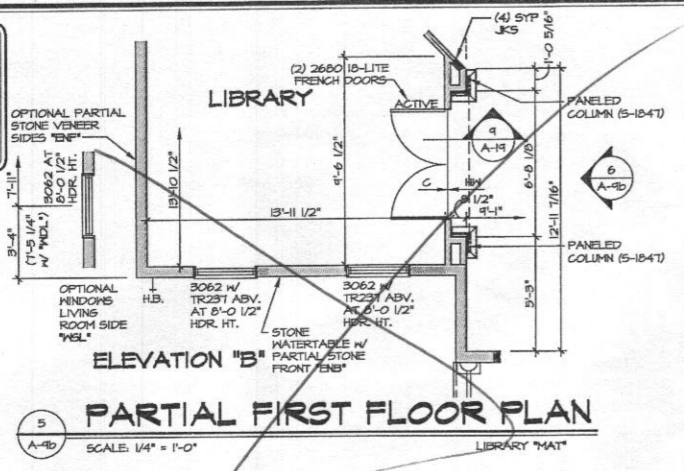
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING.
  5. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
  6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
- NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
20	7/6/19	ARS - MOVED RIGHT REAR LOSE RIB TO SIDE (B-044)
21	8/4/19	CL-5 - REVISED FIREDOOR INTO GARAGE TO A 2880 (PAR ID 34928)
22	8/6/19	ARS - REVISED CHASE BEHIND BUTLERS PANTRY TO BE 3" DEEPER (R-498)
23	8/6/19	SPM - REVISED BLUE "X" W/ BEP PORCH COLUMNS TO SQUARE PER DFR #102
24	9/7/19	SPM - PAX #93994 - REVISED GARAGE BLIND HEIGHT
25	9/16/19	JSS - ADDED JACKS FOR BLK GARAGE SIDERS (PAR #1602)
26	9/16/19	JSS - PAR #42961 - REVISED FIREPLACES TO BE CENTERED ON OFFERED CEILING
27	2/10/21	KCAD - ADJUST WALL LOCATION AT KITCHEN SINK LEASE
28	6/10/21	ISE - PLANT BUILT LAYOUT CENTER PROJECT



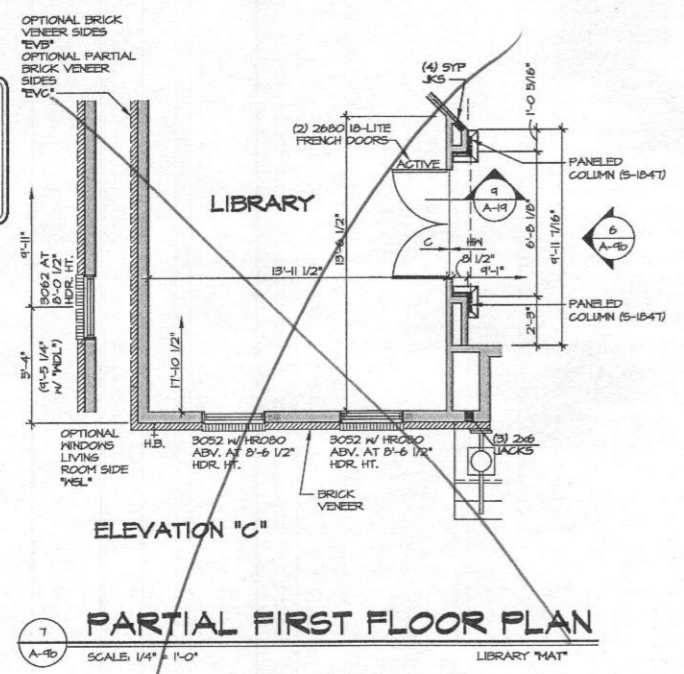
SHEET NO.	MODEL	CLIFTON PARK II
VERSION 01	DRAWING TITLE	FIRST FLOOR PLAN
DRAWN BY: A-JH	DATE:	12/7/12
OPTION		
47		

**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-1  
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-4C

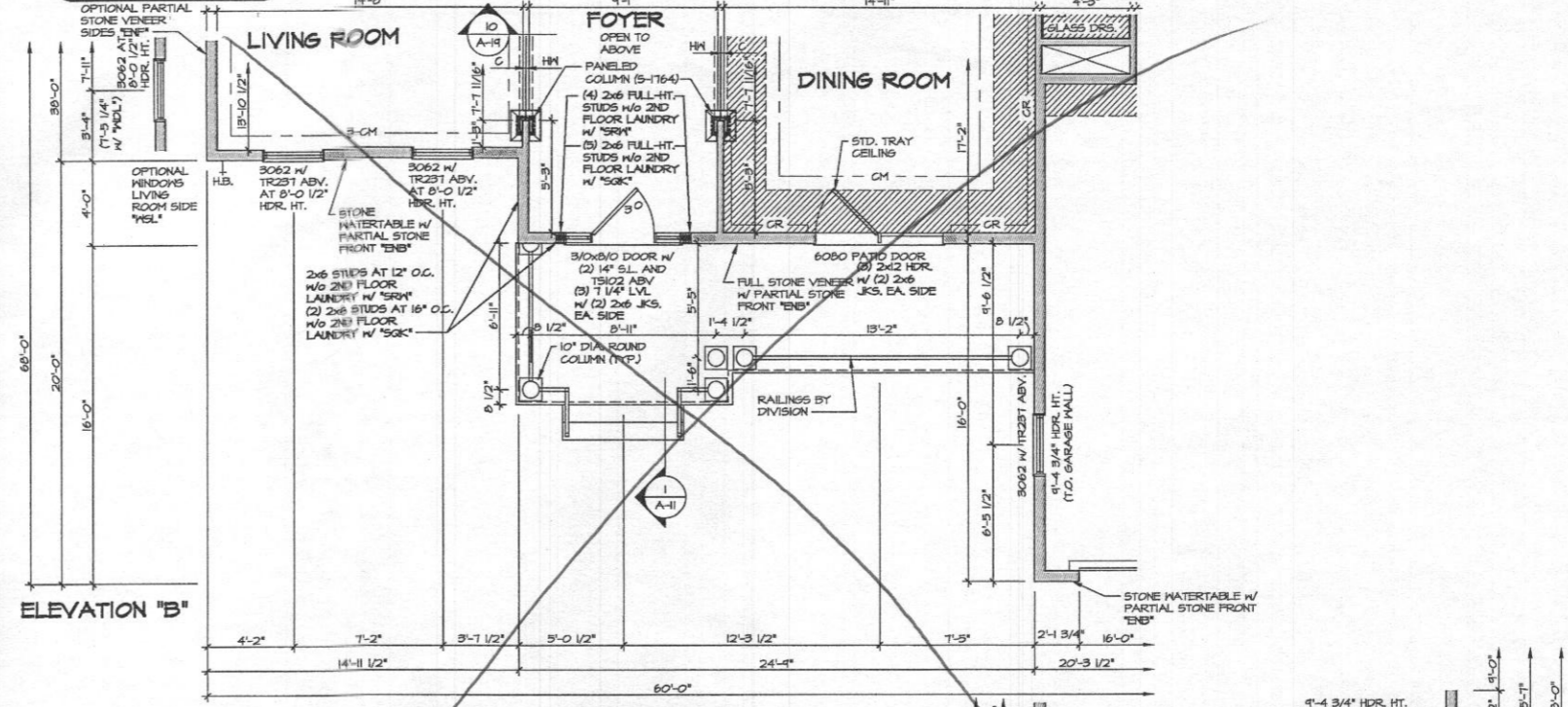


**PARTIAL ELEVATION**  
SCALE: 1/4" = 1'-0"  
LIBRARY "MAT"

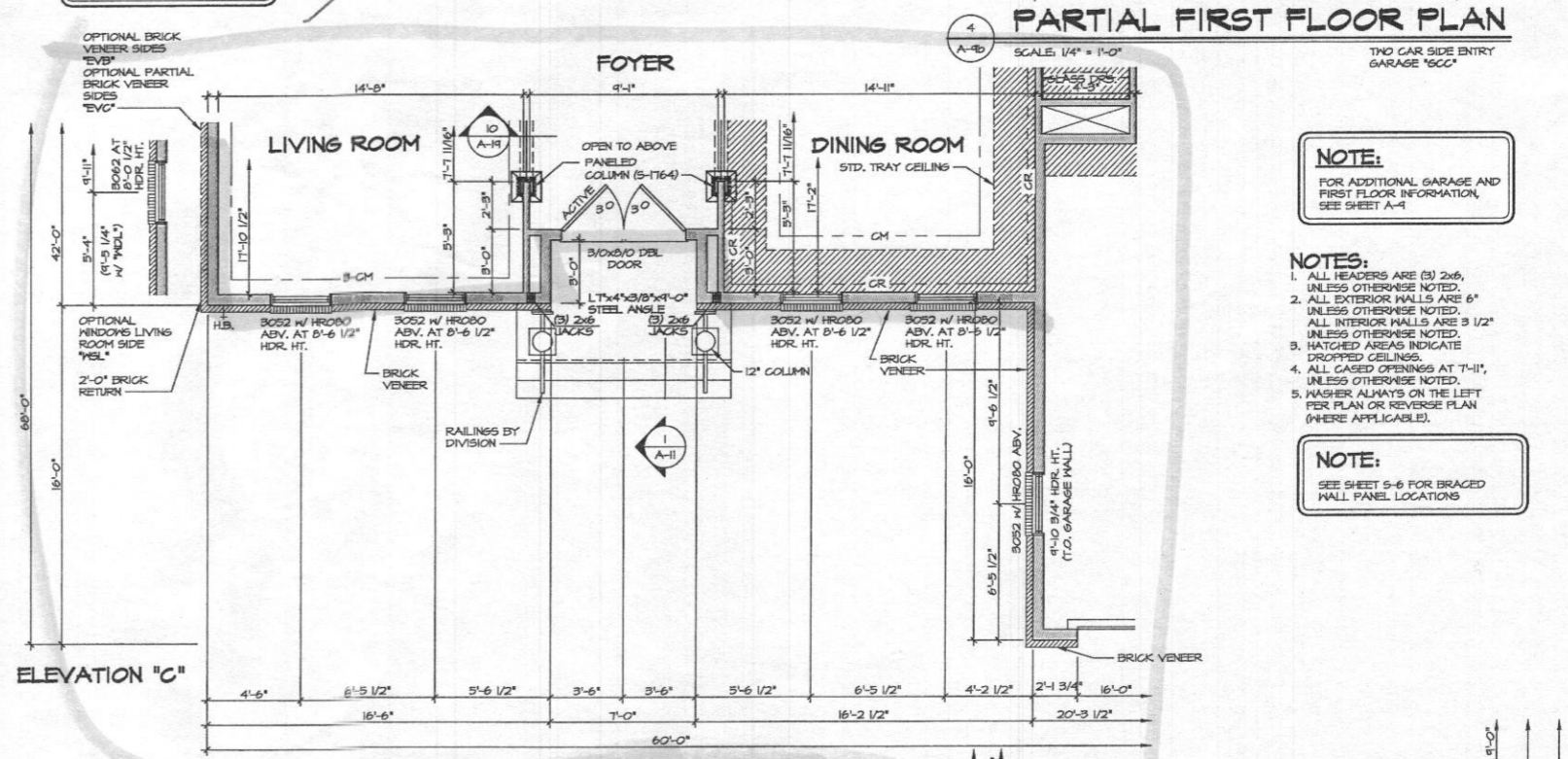
**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-1  
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-4C



**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4



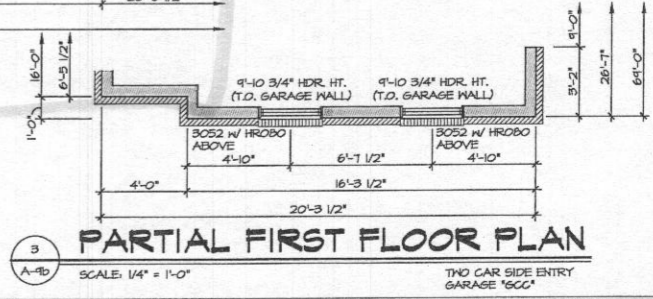
**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4



**NOTE:**  
FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-4

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING.
  5. ALL CASED OPENINGS AT "TH", UNLESS OTHERWISE NOTED, (WHERE APPLICABLE).

**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS



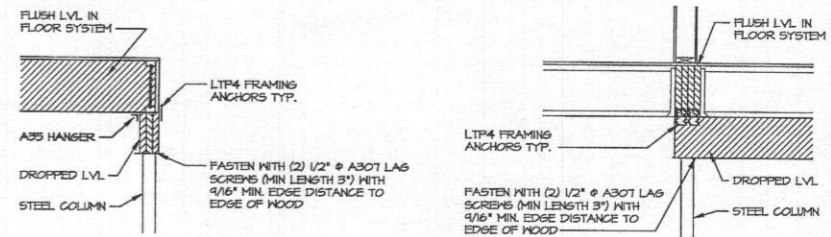
REV. NO.	DATE	REMARKS
1	5/28/14 A-J-I - ADJUST RY BY 001	
2	5/29/14 JAS - REVISED CHASE BEHIND BUTLERS PANTRY TO BE 3" DEEPER (MURPHY)	
3	12/16/15 - PARK ROUGH - REVISED GARAGE SLAB HEIGHT	

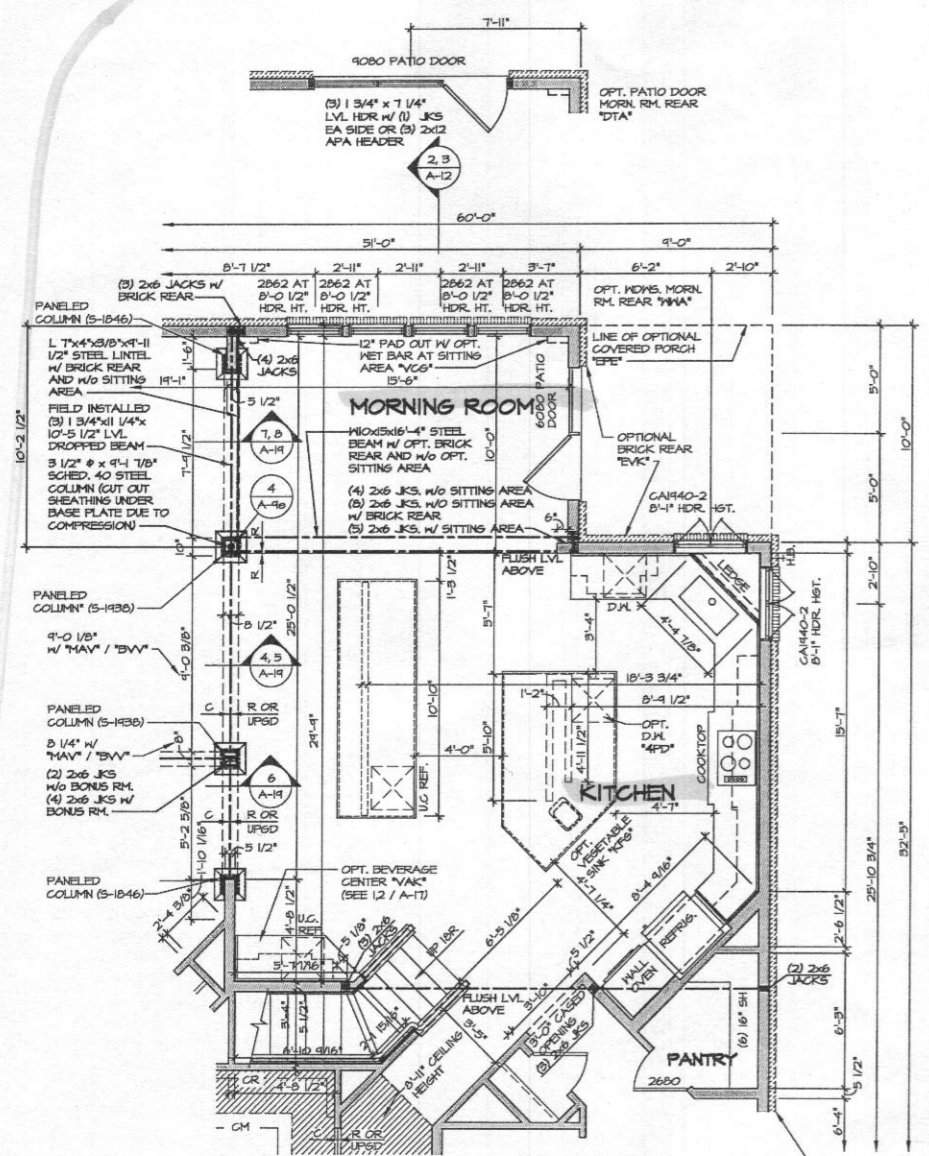
SET NO. 10500 VERSION 01 DRAWN BY A-J DATE: 12/21/12 OPTION: ELB ELC	MODEL: CLIFTON PARK II DRAWING TITLE: FIRST FLOOR PARTIAL PLANS SHEET NO. A-9D OPTION DESCRIPTION: ELEVATION "B" ELEVATION "C" 48
---	---



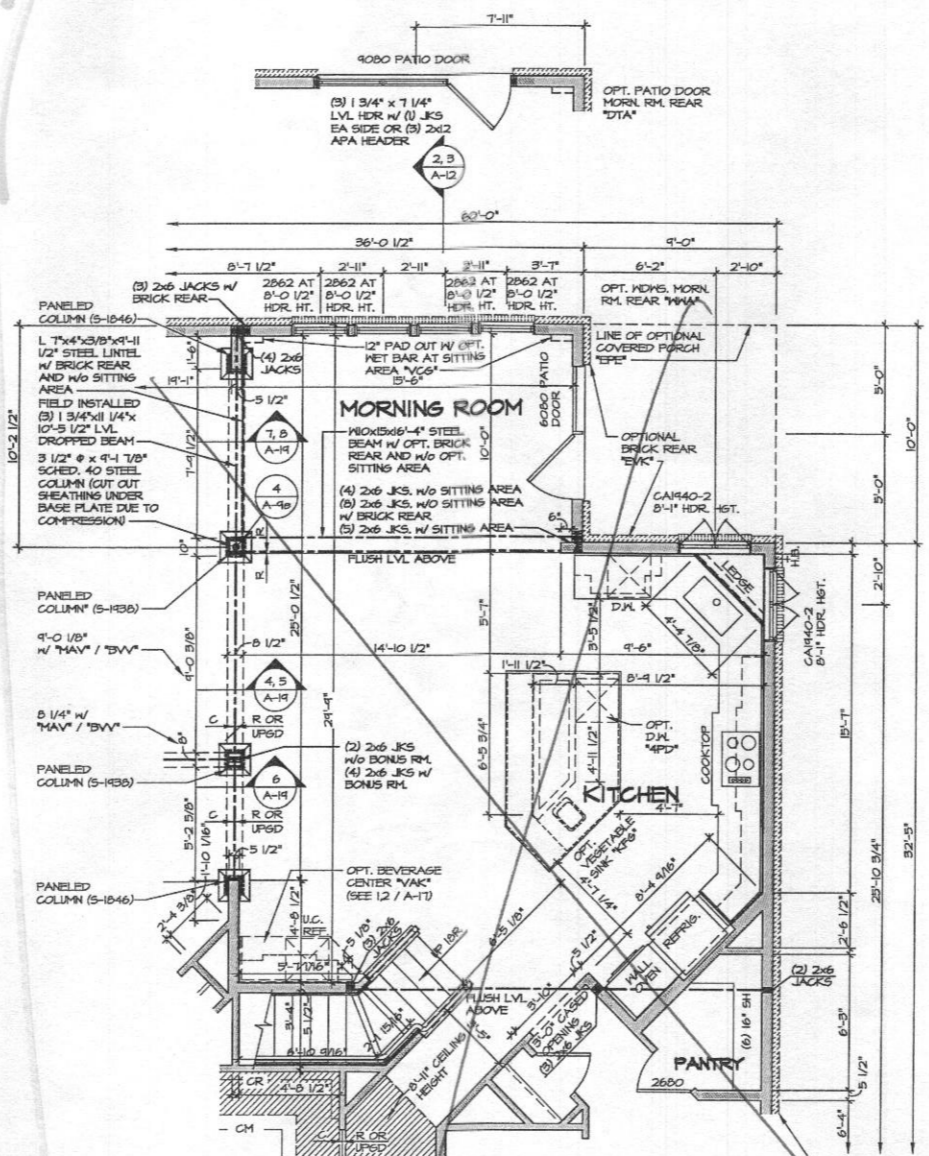




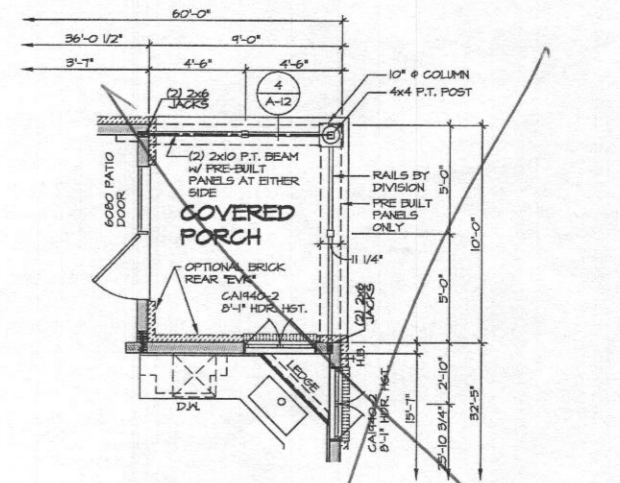
4 ATTACHMENT DETAIL  
SCALE: 1/2" = 1'-0"



2 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
MORNING ROOM W/ SCOURNET ISLAND 'MAA' / 'KFP'



1 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
MORNING ROOM 'MAA'



3 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
COVERED PORCH  
NOTE: ONLY AVAILABLE W/ 'MAA'

**NOTE:**  
1. PARTIAL PLANS SHOWN W/ ELEVATION 'A'. SEE SHEET A-4 AND A-5 FOR ADDITIONAL INFORMATION.  
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

**NOTES:**  
1. ALL HEADERS ARE (5) 2x6, UNLESS OTHERWISE NOTED.  
2. ALL EXTERIOR WALLS ARE 6\"/>

**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	DESCRIPTION
1	10/21/14	CEL - ADDED DIMENSION FOR 6080 PATIO DOOR
2	11/21/14	CLS - ADDED ATTACHMENT DETAIL 4 / A-96 (PAR ID 20596)
3	11/26/14	CLS - ADJUST REVISIONS
4	12/15/14	CLS - REVISED UNRAIL IN REAR STAIR (PAR 24669)
5	12/15/14	CLS - REVISED HALL CABINET LAYOUT AND ADDED 6\"/>
6	1/16/15	CLS - FIELD ADJUST REVISIONS
7	2/10/15	CLS - ADJUST HALL LOCATION AT KITCHEN SINK LEDGE
8	10/29/14	CLS - REVISED HEADER HEIGHT OF GARAGE-3 STUBBY INDOOR (PAR ID 20212)

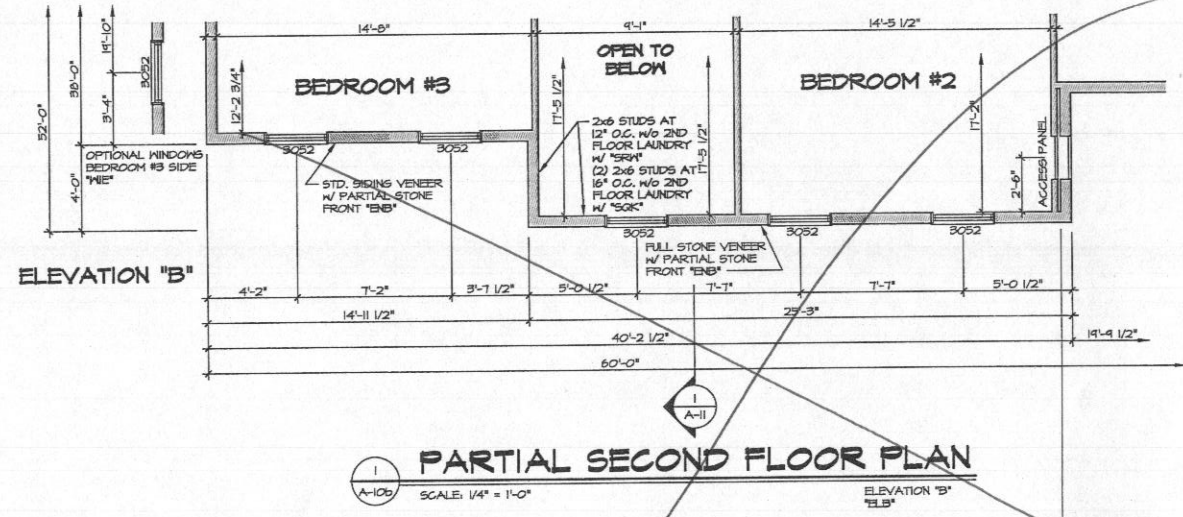
NVR, Inc. hereby warrants that the information contained in this drawing is true and correct to the best of our knowledge and belief. This warranty is limited to the information shown on this drawing and does not extend to any other property, digital or physical. These plans are to be used for informational purposes only and are not to be used for construction without the expressed written consent of NVR, Inc.



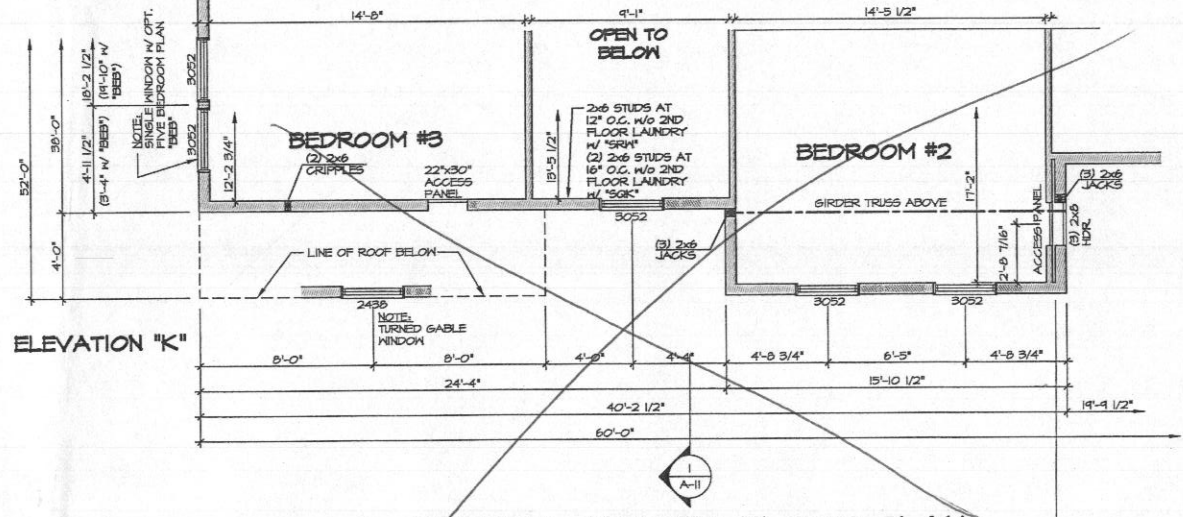
SET NO. C800  
VERSION 01  
DRAWN BY A.J.H.  
DATE: 1/4/15  
OPTION: MAA

SHEET NO. A-96  
MODEL: CLIFTON PARK II  
DRAWING TITLE: FIRST FLOOR PARTIAL PLANS  
OPTION DESCRIPTION: MORNING ROOM  
52

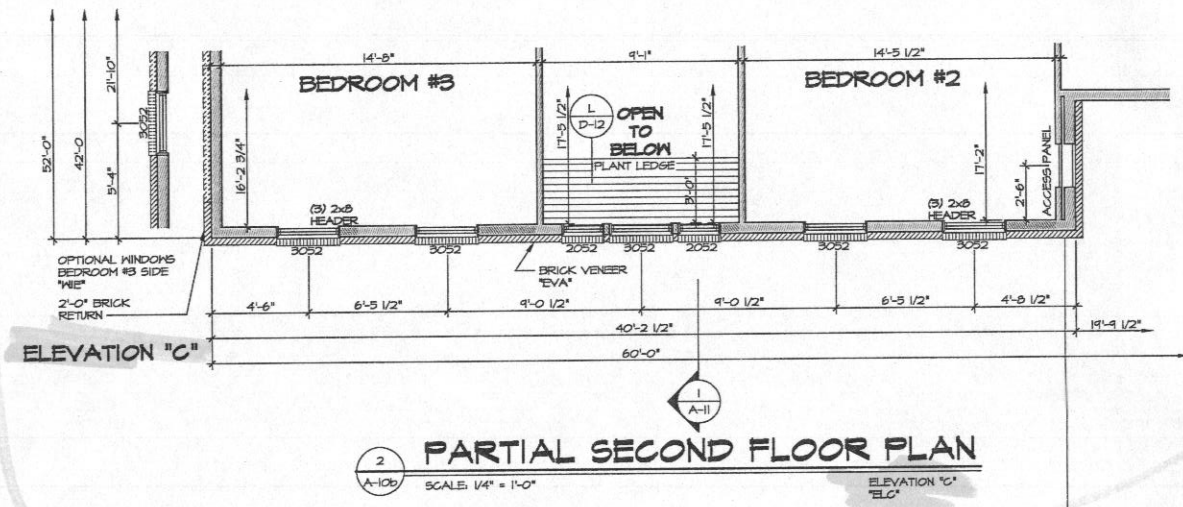




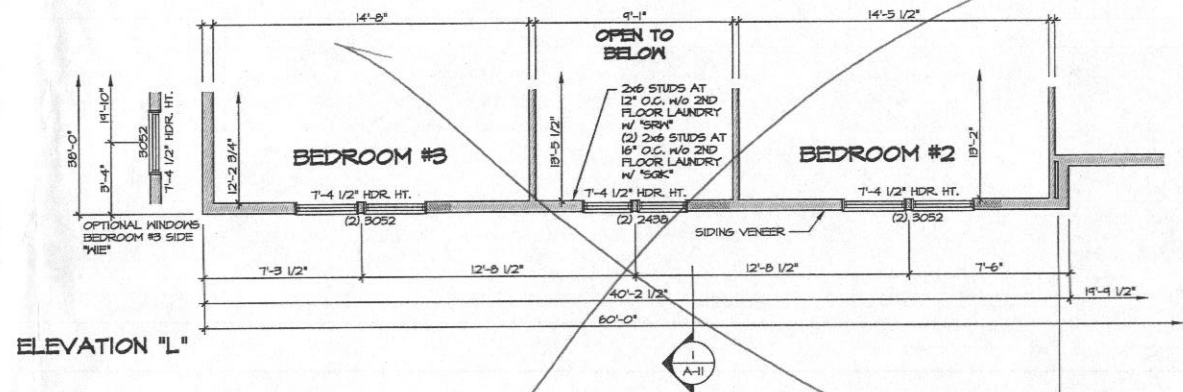
1 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ELEVATION 'B' 'ELB'



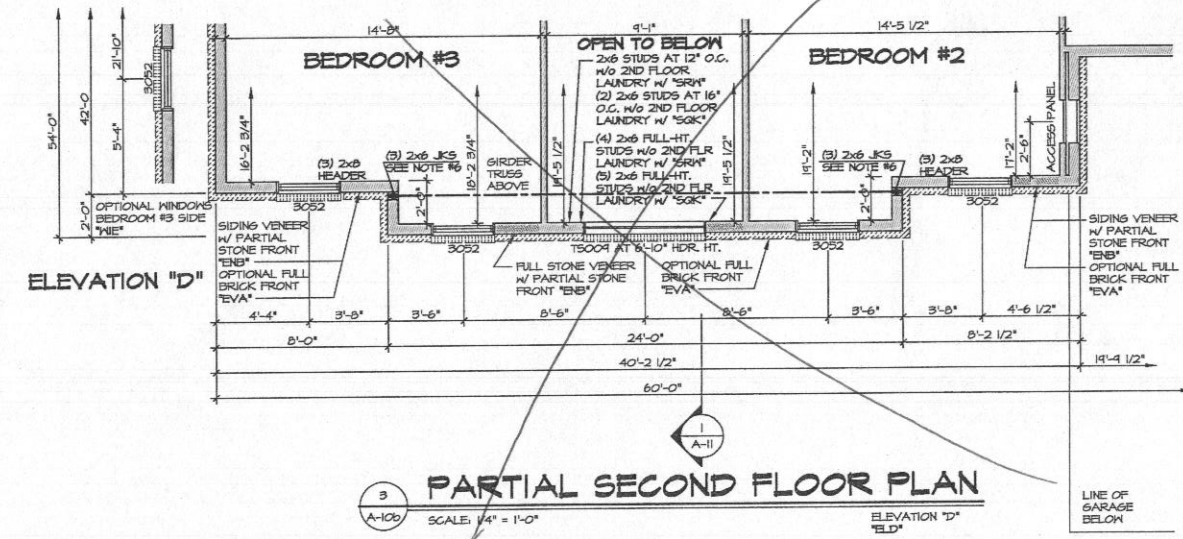
4 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ELEVATION 'K' 'ELK'



2 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ELEVATION 'C' 'ELC'



5 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ELEVATION 'L' 'ELL'



3 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
ELEVATION 'D' 'ELD'

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 8 1/2" UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING.
  5. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
  6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
  7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

**NOTE:**  
FOR GARAGE GABLE WINDOW AND ADDITIONAL INFORMATION, SEE SHEET A-10

**NOTE:**  
SEE SHEET S-7 FOR BRACED HALL PANEL LOCATIONS

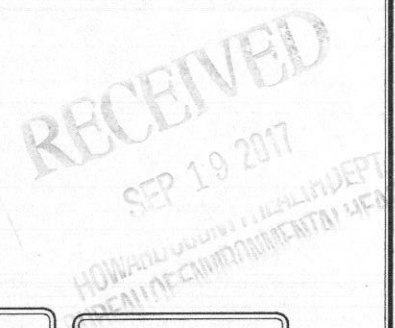
REV. NO.	DATE	REMARKS
1	7/17/15	1904 - ADDED FLAT LEDE DETAIL
2	8/26/15	A-11 - ADDED ELEVATION 'L', ADDED ATTIC ACCESS PANEL
3	10/20/14	CEL - REVISED GEOMETRICAL ERROR WITH SIDE WINDOWS
4	10/20/14	ASB - ADDED ATTIC ACCESS TO FRONT HALL OF BEDROOMS WITH 'ELC', (2)A-11
5	1/15/15	BLK - REVISED WINDOW LOCATION FOR 'ELB', LEFT SIDE WINDOW 'ELB' (PAR. 3024)

Will the owner, contractor, architect, engineer, or other professional responsible for the design and construction of the project, or any part thereof, be responsible for the accuracy of the information contained herein, without first obtaining the approval of NVR, Inc.



SHEET NO.	10500
VERSION	01
DRAWN BY	AJH
DATE	12/27/12
OPTION	ELB, ELC, ELD, ELK, ELL

SHEET NO.	A-10b
MODEL	CLIFTON PARK II
DRAWING TITLE	SECOND FLOOR PARTIAL PLANS
OPTION DESCRIPTION	ELEVATION 'B', ELEVATION 'C', ELEVATION 'D', ELEVATION 'K', ELEVATION 'L'
56	





Approved B17003419 9/27/17 RJE  
 (5 Finished Bedrooms w/ unfinished basement containing a full bath rough in)

B17003419

# CLIFTON PARK II

HEALTH DEPT



NVR, Inc.  
 Architectural Services  
 Architects  
 21 Byte Court, Suite A  
 Frederick, MD 21702

	FULL BASEMENT						CRAWL SPACE						ATTACHED GARAGES		OPTIONAL ROOMS				DETAILS STANDARD
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'K'	ELEV. 'L'	THREE CAR SIDE ENTRY TWO CAR SIDE ATTACHED	CONSERVATORY SUITE FIRST FLOOR	MORNING ROOM	BONUS ROOM	
NOTE SHEET	2						2												
FRONT ELEVATIONS - SIDING		3						3										D-1	
FRONT ELEVATIONS - BRICK		4						4										D-2	
FRONT ELEVATIONS - SIDING/STONE		5	6			10.1	10.2											D-3	
RIGHT SIDE ELEVATIONS - SIDING OR SIDING/STONE		11	13	14	16	18.1	18.2											D-4	
RIGHT SIDE ELEVATIONS - BRICK		12			15	17												D-5	
LEFT SIDE ELEVATIONS - SIDING OR SIDING/STONE		19	21	22	24	26.1	26.2											D-5a	
LEFT SIDE ELEVATIONS - BRICK		20			23	25												D-6	
REAR ELEVATIONS - SIDING		27	24	30	32	34.1	34.2											D-7	
REAR ELEVATIONS - BRICK		28			31	33												D-8c	
FOUNDATION		35	36	37.1	37.2	37.1	41.2											D-11	
HOLD DOWN DETAILS	43							39	40	40	41.1	41.1	41.2	38	38	42			D-12
PLUMBING GROUND WORKS	44							43											D-12b
BASEMENT PLAN	46.1	46.1	46.1	46.2	46.2	46.3	46.3											D-12c	
FIRST FLOOR PLAN	47		48	48	49.1	49.1	49.2		47	48	48	49.1	49.1	49.2					D-13
FIRST FLOOR PLAN PARTIALS	50							50											D-14
SECOND FLOOR PLAN	54		56	56	56	56	56		54	56	56	56	56	56					D-15
SECOND FLOOR PLAN PARTIALS	57							57									55		D-15a
BUILDING SECTION AT FOYER	58							58											D-16
BUILDING SECTION AT GARAGE	60							60											D-16a
STAIR SECTION (FRONT STAIR) - STANDARD	62							60											D-17
STAIR SECTION (FRONT STAIR) - UPGRADE	64							62	63										D-17a
STAIR SECTION (FRONT STAIR) - UPGRADE W/ METAL	66, 67.1							64	65										D-18c
STAIR SECTION (FRONT STAIR) - UPGRADE W/CRAFTSMAN	67.2, 67.3							66, 67.1											D-20
STAIR SECTION (REAR STAIR) - STANDARD	68							67.2, 67.3											D-21
STAIR SECTION (REAR STAIR) - UPGRADE	69.1							68											D-22
STAIR SECTION (REAR STAIR) - UPGRADE W/ CRAFTSMAN	69.2							69.1											D-22a
KITCHEN PLANS - CABINET HOOD 'B'	70							69.2											D-27
KITCHEN PLANS - CABINET HOOD 'C'	72							70											D-28
KITCHEN PLANS - GOURMET	74							72									71		D-28a
KITCHEN PLANS - ISLANDS	76							74									73		D-29
WET BAR, LAUNDRY, CHARGING CENTER	77.1							76											D-30
INTERIOR DETAILS - BATH ELEVATIONS	78							77.1											D-34
INTERIOR DETAILS - COLUMNS / BULKHEAD	79							78											D-35
INTERIOR DETAILS - FOYER AND FAMILY ROOM WINDOWS	80	80	80	80	80	80	81		79										D-36
INTERIOR DETAILS - FIREPLACE DETAILS	82							80	80	80	80	80	81						D-37
INTERIOR DETAILS - FIREPLACE DETAILS W/ BONUS RM.	83							82											D-40
INTERIOR MISC. DETAILS	84							83											D-40b
EXTERIOR ELEVATION DETAILS			85	85	86.1	86.2		84											D-44
EXTERIOR MISC. DETAILS	87							85	85	86.1	86.2								D-45
BASEMENT ELECTRICAL	88.1	88.1	88.2	88.2	88.3	88.3													WB-1
FIRST FLOOR ELECTRICAL	90	90	90	91.1	91.1	91.2		87											WB-2
FIRST FLOOR ELECTRICAL PARTIALS	92							90	90	91.1	91.1	91.2							
SECOND FLOOR ELECTRICAL	96	96	96	96	96	96		92	95										
SECOND FLOOR ELECTRICAL PARTIALS	99							96	96	96	96	96							
FIRST FLOOR JOIST LAYOUT	100	101	101	102	102	102		99											F-1
SECOND FLOOR JOIST LAYOUT	106	108	108	109	109	109		100	103	103	103	103							
ROOF FRAMING	110	111	112	113	114.1	114.2		106	108	108	109	109	109						
TRUSS BRACING	118	120				120.2		110	111	112	113	114.1	114.2	115	115	112			
BRACED HALL	121	122						118	120										
ROOF VENTILATION	123	124	125	126	127.1	127.2		121	122										
BASEMENT HVAC PLAN	128.1	128.2						123	124	125	126	127.1	127.2						
CRAWL SPACE HVAC PLAN								128.1	128.2										
FIRST FLOOR HVAC PLAN	130							129											
SECOND FLOOR HVAC PLAN	131							130											
								131											
								132											

**BASE SQUARE FOOTAGE**

FIRST FLOOR	GROSS SQ. FT.	2480
SECOND FLOOR	GROSS SQ. FT.	1987
HOUSE TOTAL	GROSS SQ. FT.	4467

**ELEVATIONS SQ. FT.**

ELEVATION 'A'	GROSS SQ. FT.	+0
ELEVATION 'B'	GROSS SQ. FT.	+20
ELEVATION 'C'	GROSS SQ. FT.	+120
ELEVATION 'D'	GROSS SQ. FT.	+219
ELEVATION 'K'	GROSS SQ. FT.	+32
ELEVATION 'L'	GROSS SQ. FT.	-146

**ADDITIONAL SQ. FT.**

MORNING ROOM	GROSS SQ. FT.	+160
CONSERVATORY OR SUITE FIRST FLOOR	GROSS SQ. FT.	+352
SIDE ATTACHED GARAGE	GROSS SQ. FT.	+137
SIDE ATTACHED GARAGE W/ FAMILY OFFICE	GROSS SQ. FT.	+233
5TH BEDROOM LAYOUT	GROSS SQ. FT.	+352
SITTING AREA	GROSS SQ. FT.	+165
BONUS ROOM / BEDROOM	GROSS SQ. FT.	+348
2ND FLOOR LAUNDRY		
- ELEVATION 'A'	GROSS SQ. FT.	+105
- ELEVATION 'B'	GROSS SQ. FT.	+125
- ELEVATION 'C'	GROSS SQ. FT.	+123
- ELEVATION 'D'	GROSS SQ. FT.	+141
- ELEVATION 'K'	GROSS SQ. FT.	+82
- ELEVATION 'L'	GROSS SQ. FT.	+82

**MAXIMUM FINISHED SQ. FT.**

HOUSE TOTAL	GROSS SQ. FT.	6349
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\*\*MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT

**FINISHED BASEMENT SQ. FT.**

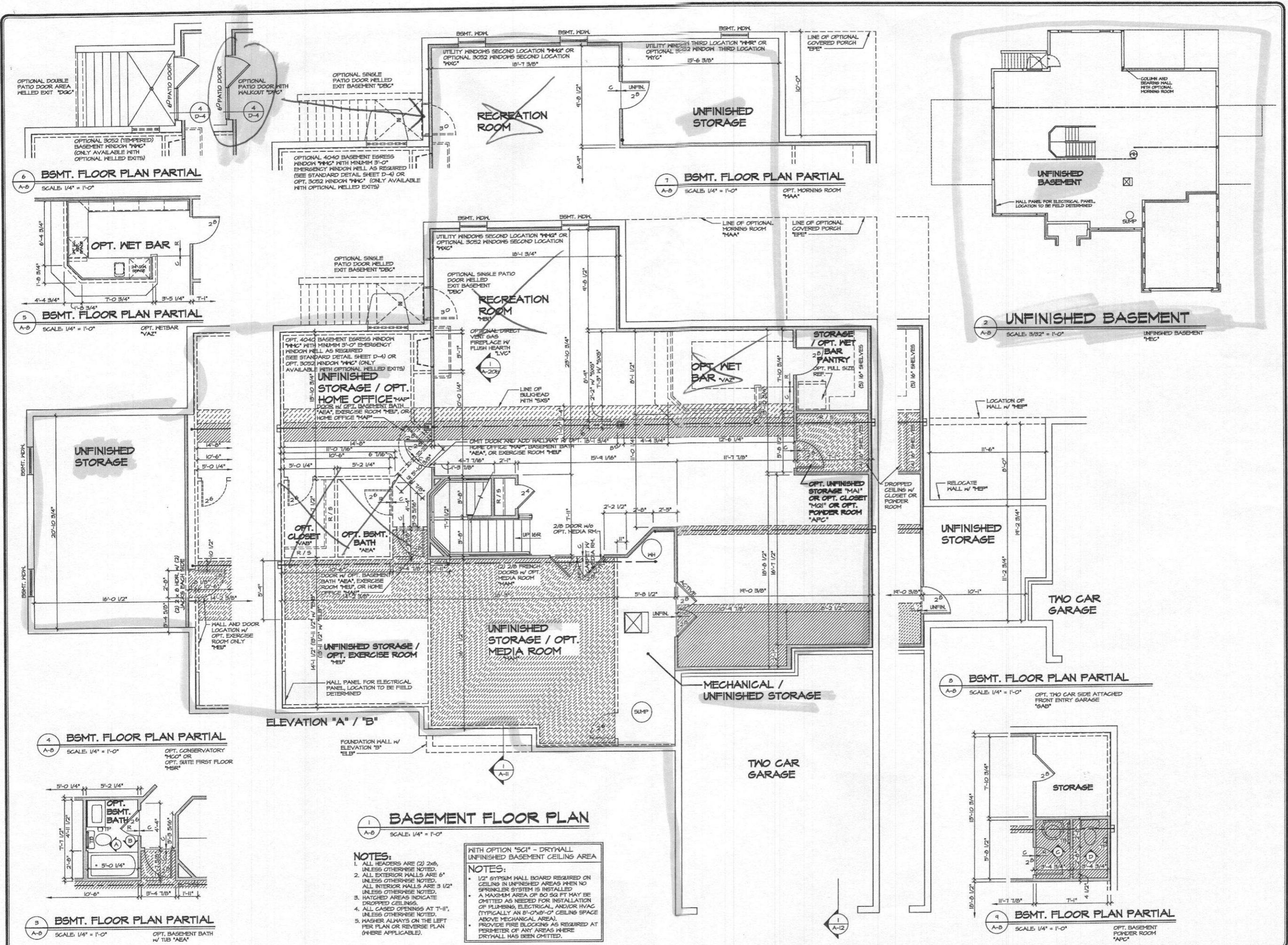
RECREATION ROOM	GROSS SQ. FT.	+1294
MEDIA ROOM	GROSS SQ. FT.	+317
HOME OFFICE	GROSS SQ. FT.	+293
BASEMENT BATH	GROSS SQ. FT.	+68
BASEMENT CLOSET	GROSS SQ. FT.	+44
EXERCISE ROOM	GROSS SQ. FT.	+219

**FOOTPRINT**

BASE HOUSE:	
WIDTH:	60'-4"
DEPTH:	68'-4"
MAXIMUM:	
WIDTH:	110'-8"
DEPTH:	78'-8"

SET - VERSION  
**10300-01** CS-1

J:\Dwg\ATTACHED\CLIFTON PARK II\_10300\_01\CS1.DWG 12/28/14 - 6:36 PM



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL HEADERS ARE (2) 2x6 UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
  5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
  - A MAXIMUM AREA OF 90 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
  - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

SHEET NO.	A-8	DATE	1/10/15
MODEL	CLIFTON PARK II	VERSION	01
DRAWING TITLE	BASEMENT PLAN	DRAWN BY	A-H
OPTION DESCRIPTION	FULL BASEMENT	DATE	1/10/15
	46.1	OPTION	FBA

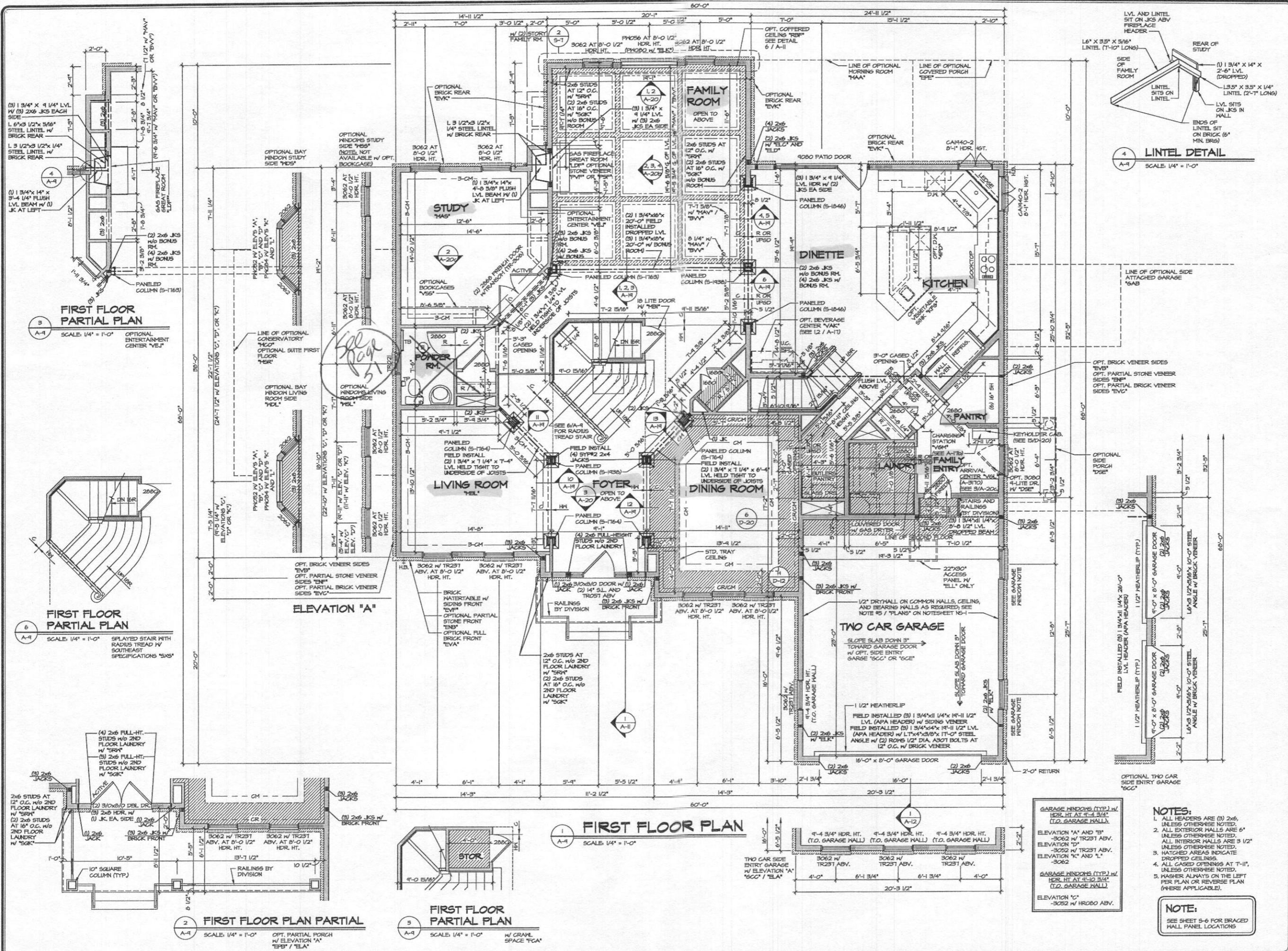
REV. NO.	DATE	REMARKS
1	07/20/14	CEL - REVISED GRAPHICAL ERROR
2	12/29/14	SCA - ADD'D REVISIONS
3	02/20/14	SPFL - ADDED THE NUMBER 09 TO (B) OPTION AT POWER ROOM FOR 241806
4	3/27/14	195B - ADD'D RVT-30-COOL
5	4/29/14	1746 - TIB CONVERSION
6	4/29/14	1746 - ADD'D "SC1" NOTE
7	3/20/14	195B - ADDED "SC5" BALRHEAD
8	6/29/14	145B - REPLACED (7) JAS AT MORNING ROOM W/ COLUMN (PAR 241854)
9	6/29/14	145B - TURNED ON LAYERS THAT SHOW DOOR SIZE AND DIMENSIONS

FOR THIS OWNER, I HEREBY ASSUME THE COMMON LAW OBLIGATION AND LIABILITY OF AN ARCHITECT AND I AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT, WHICH IS INCORPORATED BY REFERENCE INTO THIS CONTRACT. I AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT, WHICH IS INCORPORATED BY REFERENCE INTO THIS CONTRACT.

**NVR**  
NVR, Inc.  
Architectural Services  
21 Bye Court, Suite A  
Frederick, MD 21702

3-DWG: NVA-DETACHED CLIFTON PARK II 03300-011 BSMT.dwg 08/14/17 - 1:20 PM





**LINTEL DETAIL**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PLAN PARTIAL**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**ELEVATION "A"**

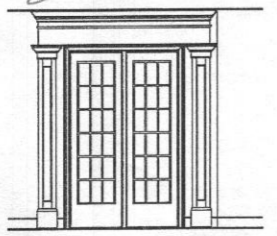
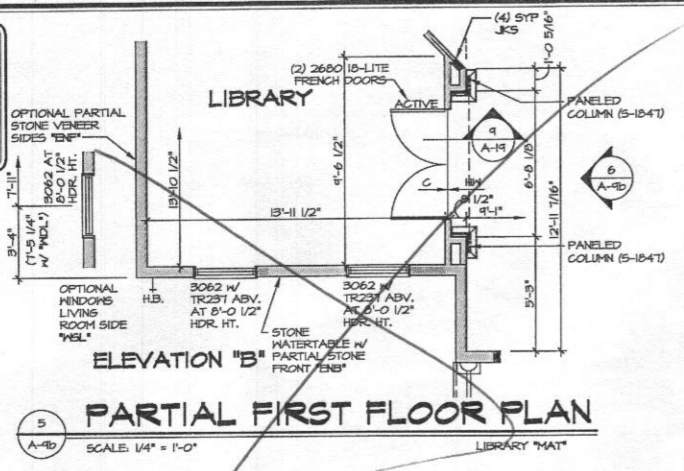
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
  5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
- NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	04/15/15	ISSUED FOR PERMITS
2	04/15/15	REVISED PER COMMENTS FROM PERMITS
3	04/15/15	REVISED PER COMMENTS FROM PERMITS
4	04/15/15	REVISED PER COMMENTS FROM PERMITS
5	04/15/15	REVISED PER COMMENTS FROM PERMITS
6	04/15/15	REVISED PER COMMENTS FROM PERMITS
7	04/15/15	REVISED PER COMMENTS FROM PERMITS
8	04/15/15	REVISED PER COMMENTS FROM PERMITS
9	04/15/15	REVISED PER COMMENTS FROM PERMITS
10	04/15/15	REVISED PER COMMENTS FROM PERMITS
11	04/15/15	REVISED PER COMMENTS FROM PERMITS
12	04/15/15	REVISED PER COMMENTS FROM PERMITS
13	04/15/15	REVISED PER COMMENTS FROM PERMITS
14	04/15/15	REVISED PER COMMENTS FROM PERMITS
15	04/15/15	REVISED PER COMMENTS FROM PERMITS
16	04/15/15	REVISED PER COMMENTS FROM PERMITS
17	04/15/15	REVISED PER COMMENTS FROM PERMITS
18	04/15/15	REVISED PER COMMENTS FROM PERMITS
19	04/15/15	REVISED PER COMMENTS FROM PERMITS
20	04/15/15	REVISED PER COMMENTS FROM PERMITS
21	04/15/15	REVISED PER COMMENTS FROM PERMITS

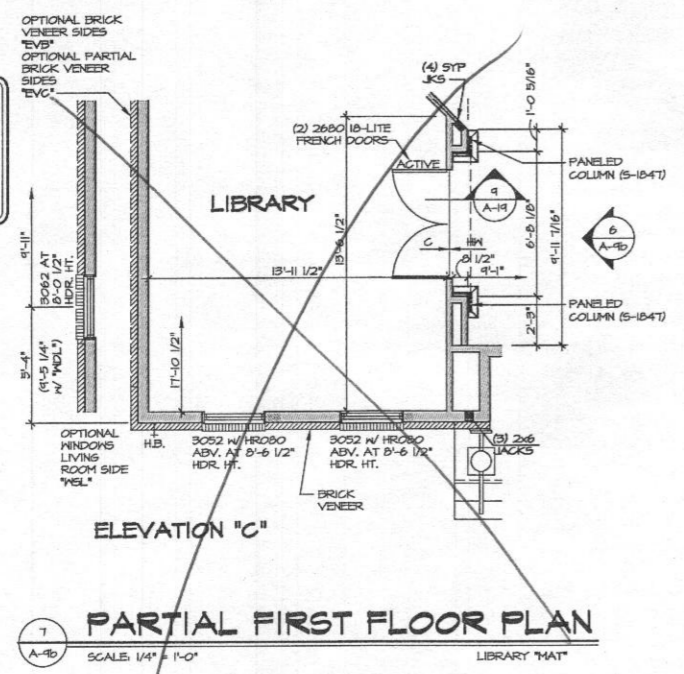
SHEET NO. <b>A-9</b> MODEL <b>CLIFTON PARK II</b> DRAWING TITLE <b>FIRST FLOOR PLAN</b> DRAWN BY <b>A-JH</b> DATE <b>12/7/12</b> OPTION	NVR, Inc. Architectural Services 21 Blye Court, Suite A Frederick, MD 21702
--	--

**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-1  
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-4C



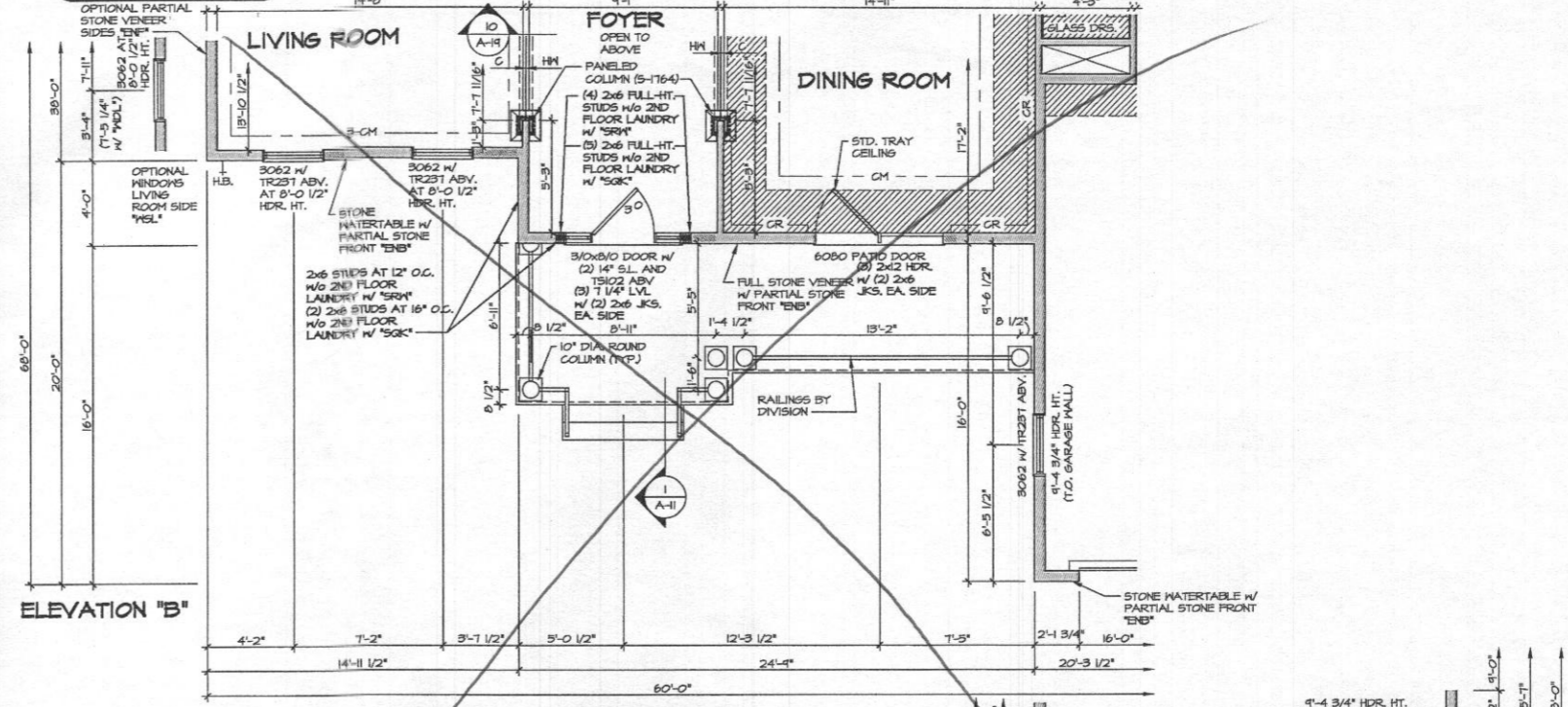
**PARTIAL ELEVATION**  
SCALE: 1/4" = 1'-0"  
LIBRARY "MAT"

**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-1  
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-4C



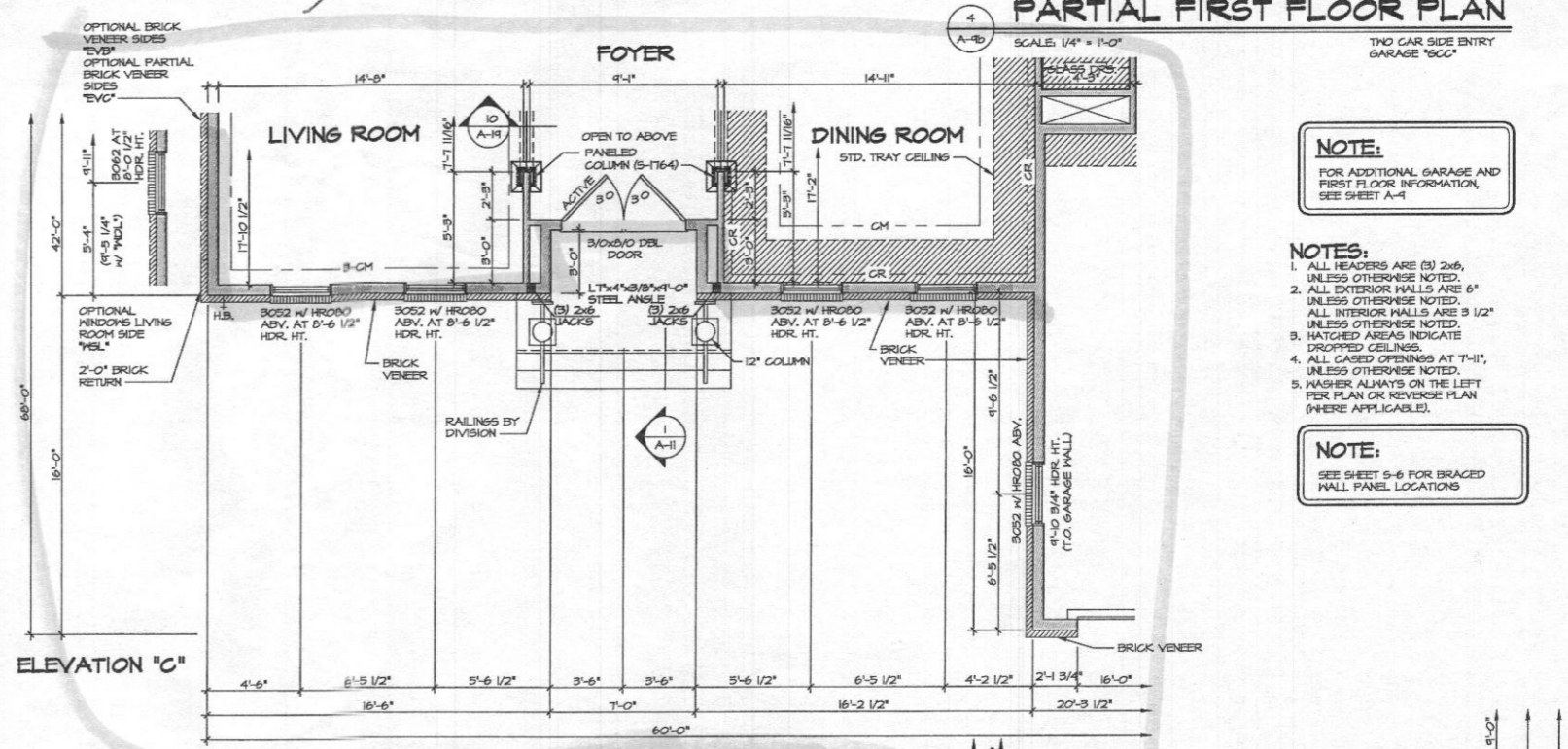
**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
LIBRARY "MAT"

**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4



**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
ELEVATION "B"

**NOTE:**  
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4

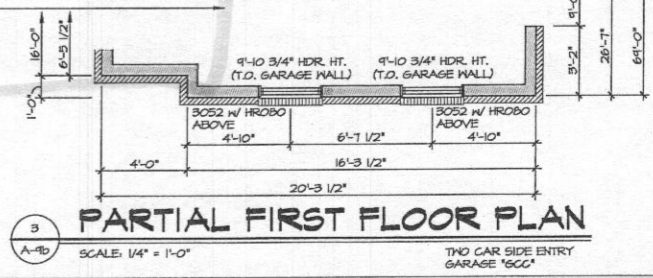


**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
ELEVATION "C"

**NOTE:**  
FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-4

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING.
  5. ALL CASED OPENINGS AT "TH", UNLESS OTHERWISE NOTED, (WHERE APPLICABLE).

**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

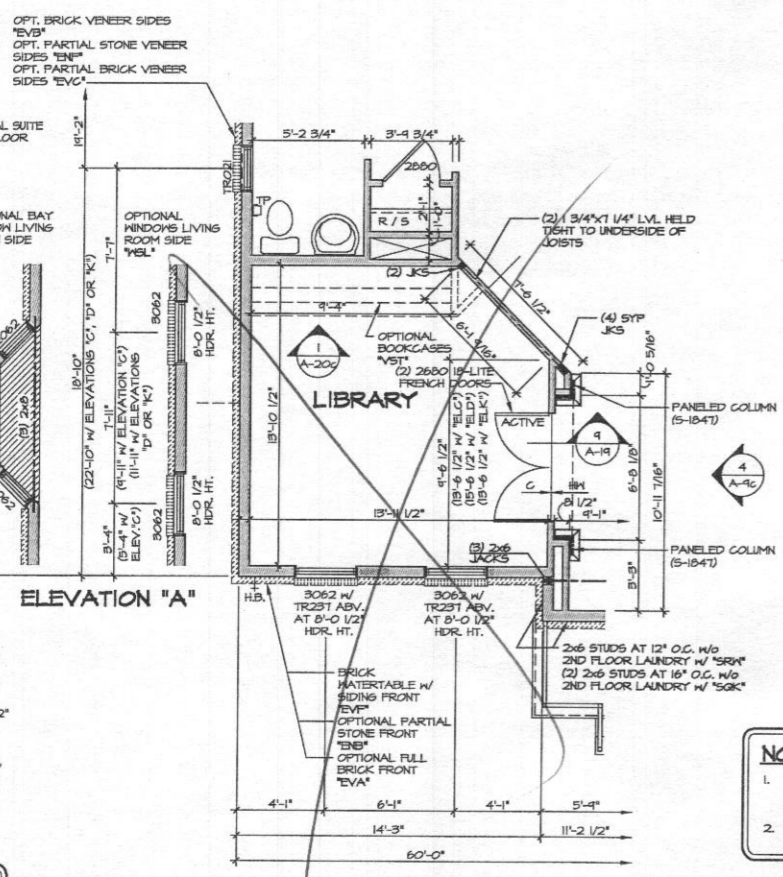
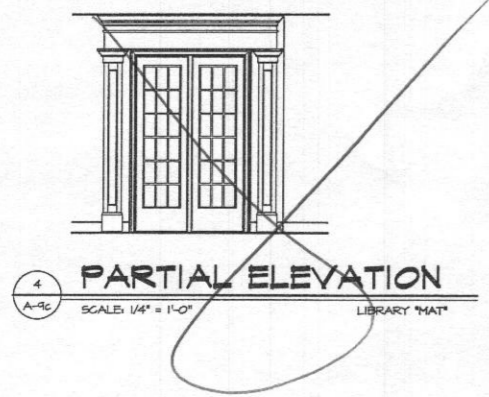


**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
TWO CAR SIDE ENTRY GARAGE "SCC"

REV. NO.	DATE	REMARKS
1	5/28/14 A-J-I - ADJUST RY BY 0.01	
2	5/29/14 JAS - REVISED CHASE BEHIND BUTLERS PANTRY TO BE 3" DEEPER (MURPHY)	
3	12/16/15 - PARK ROUGH - REVISED GARAGE SLAB HEIGHT	

SET NO. 10500 VERSION 01 DRAWN BY A-J DATE: 12/21/12 OPTION: ELB ELC	MODEL: CLIFTON PARK II DRAWING TITLE: FIRST FLOOR PARTIAL PLANS SHEET NO. A-9D OPTION DESCRIPTION: ELEVATION "B" ELEVATION "C" 48
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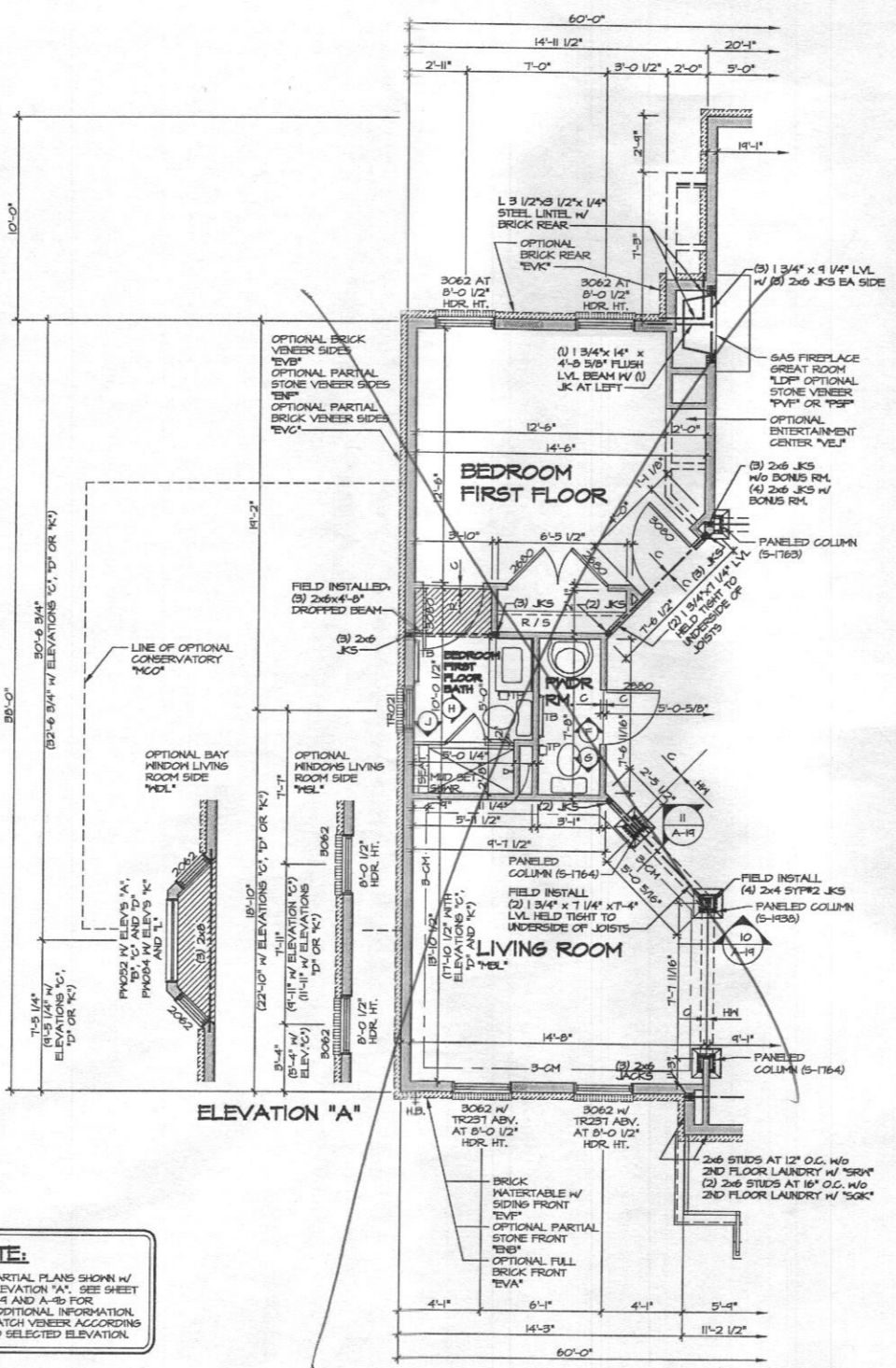


- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
  2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
  4. ALL CASED OPENINGS AT T-111, UNLESS OTHERWISE NOTED.
  5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

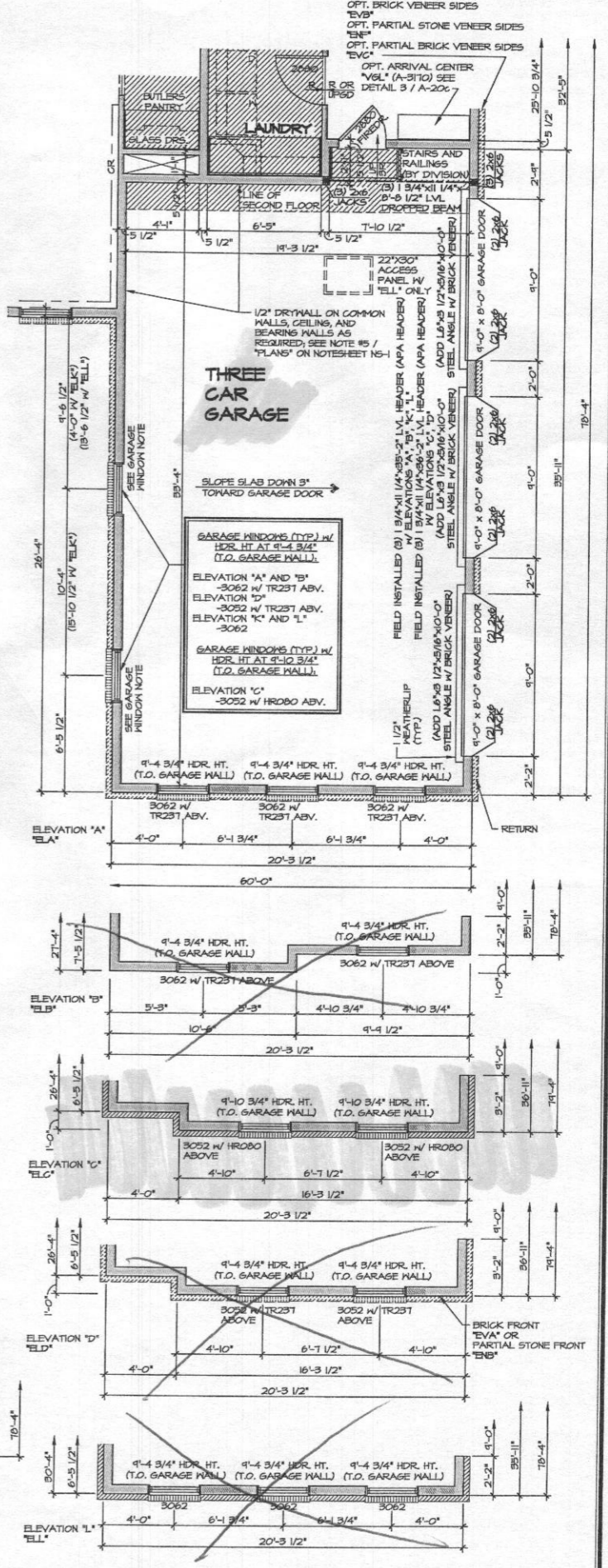
**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

**1 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
LIBRARY  
NOTE: N/A W/ OPT. CONSERVATORY "MCO"

- NOTE:**
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-3 AND A-9 FOR ADDITIONAL INFORMATION.
  2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



**2 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
BEDROOM FIRST FLOOR  
NOTE: N/A W/ OPT. SUITE FIRST FLOOR "MSR"



**3 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
THREE CAR GARAGE SIDE ENTRY "SCE"

**REVISIONS**

REV. NO.	DATE	DESCRIPTION
1	11/22/14	ISSUE - REVISED SHOWER WIDTH IN BEDROOM FIRST FLOOR BATH (PAR2865)
2	12/28/14	ISSUE - ANNOT REVISIONS
3	4/28/15	ISSUE - PAR 2874 - ROTATED JACKS IN BOILER ROOMS & REVISED TO FIELD INSTALLED
4	6/10/15	ISSUE - PLANT BUILT ARRIVAL CENTER TRAILER
5	6/10/15	ISSUE - REVISED FLOORING INTO GARAGE TO A 2892 (PAR ID 3452)
6	12/09/15	ISSUE - PAR 2892 VIA CODE UPDATE
7	12/09/15	ISSUE - PAR 2894 - REVISED GARAGE SLAB HEIGHT
8	2/2/17	ISSUE - PAR 3000 - PASSED GARAGE SLAB HEIGHT FOR FITNESS BATH

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**NVR**  
NVR, Inc.  
Architectural Services  
21 Brydewell Suite A  
Frederick, MD 21702

**MODEL: CLIFTON PARK II**

SET NO.	DATE	OPTION
10300	1/2/15	MAT
10300	1/2/15	BAR
10300	1/2/15	GCE

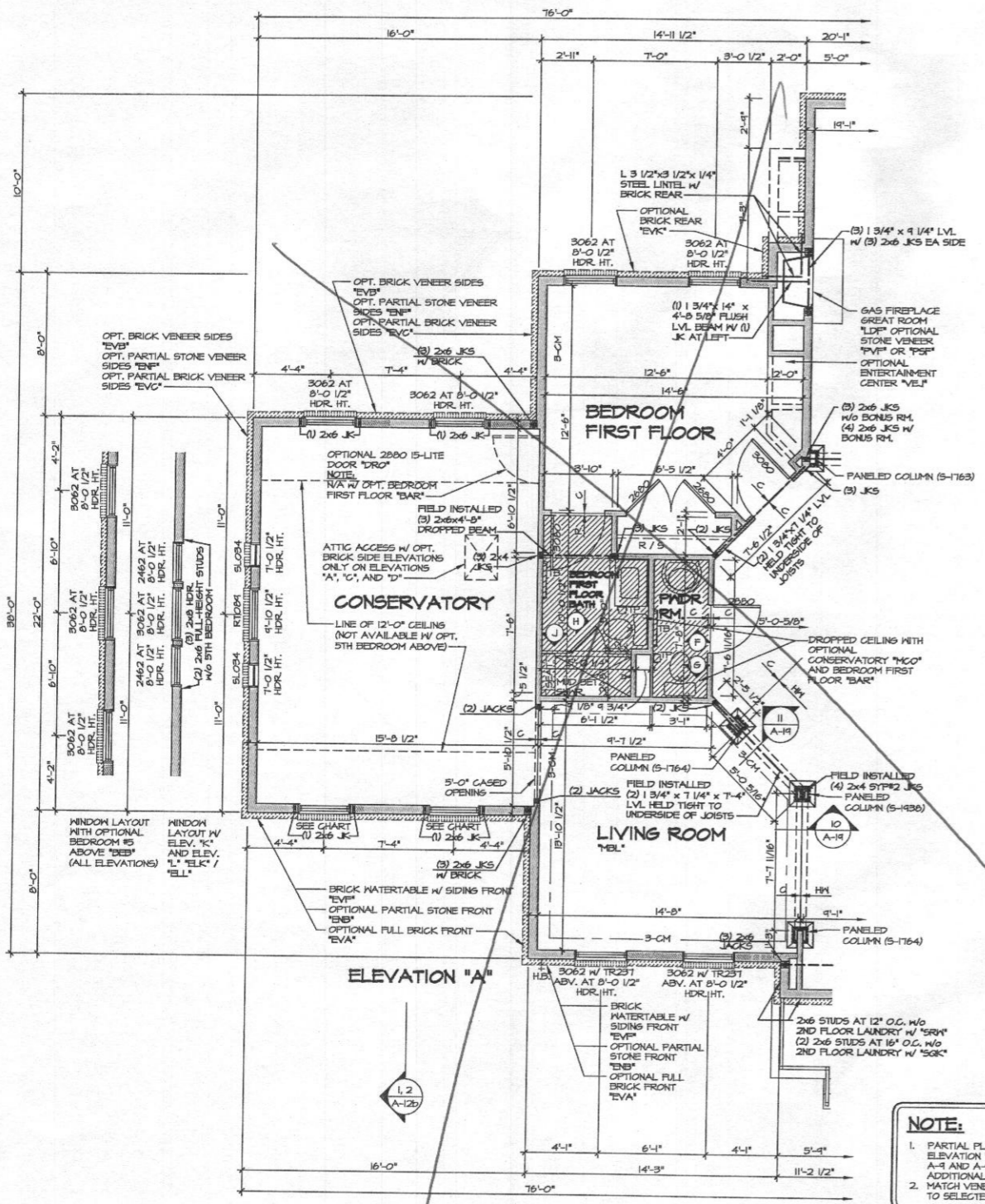
**DRAWING TITLE:** FIRST FLOOR PARTIAL PLANS

**OPTION DESCRIPTION:** LIBRARY, BEDROOM FIRST FLOOR, THREE CAR SIDE ENTRY GARAGE

**SHEET NO.:** A-9c

**50**

21 BRYDEWELL SUITE A, CLIFTON PARK II, 10300-01A.PLT, MAT, BAR.DWG 02/17/17 - 438.DWG

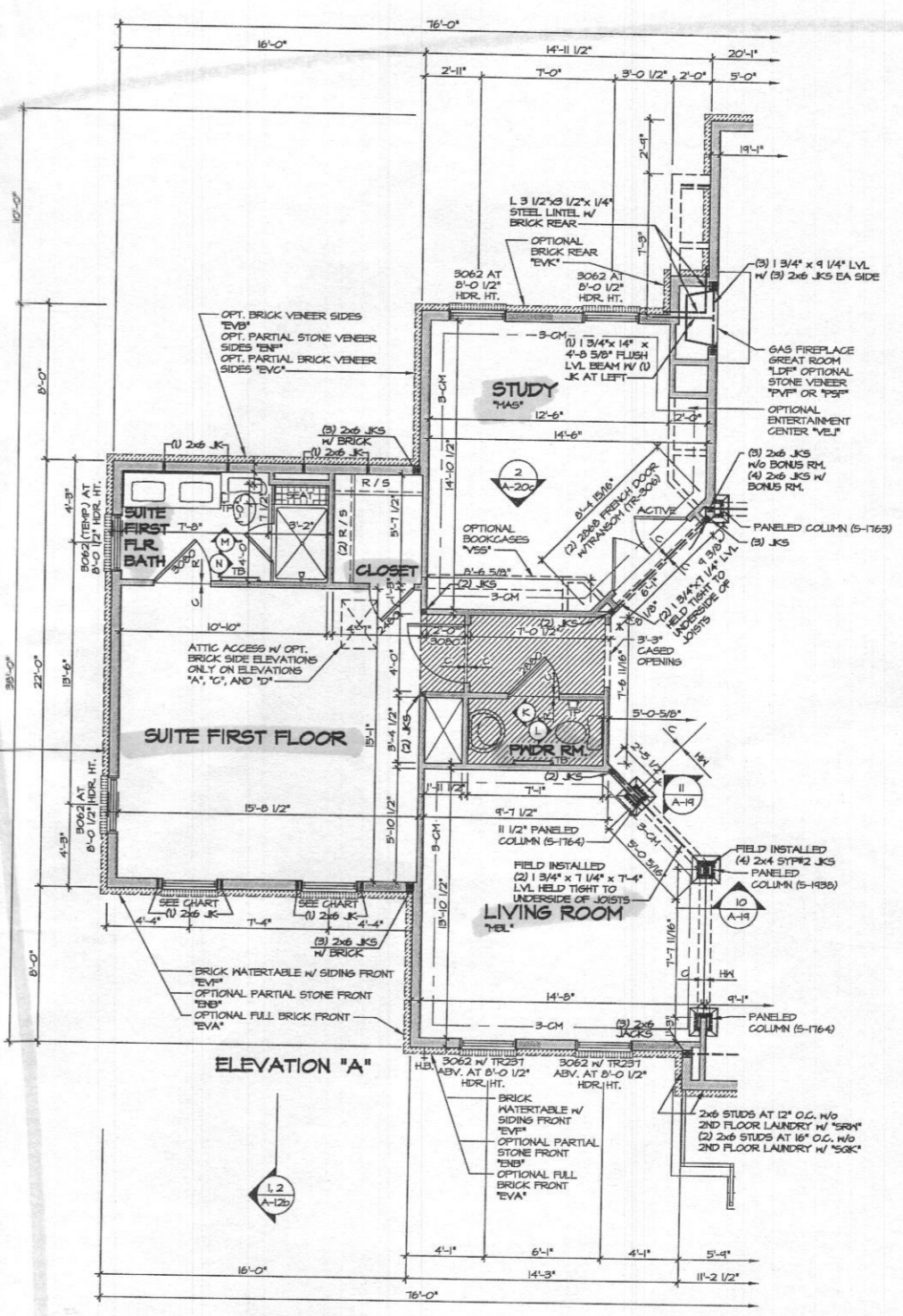


**1 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

CONSERVATORY "MCO" SHOWN WITH FIRST FLOOR BEDROOM "BAR" NOTE: CONSERVATORY N/A W/ OPT. LIBRARY "MAT"

FRONT WINDOWS OF CONSERVATORY OR SUITE FIRST FLOOR (TYP.) W/ STANDARD FOUR BEDROOM PLAN AT 7'-0 1/2" HDR. HT.	FRONT WINDOWS OF SUITE FIRST FLOOR (TYP.) W/ OPTIONAL FIVE BEDROOM PLAN AT 8'-0 1/2" HDR. HT.
ELEVATION "A" AND "B" -3062	ELEVATION "A" AND "B" -3062 W/ TR231 ABV.
ELEVATION "C", "D", "K", AND "L" -3062	ELEVATION "C", "K" AND "L" -3062
	ELEVATION "D" -3052 W/ TR231 ABV.

**NOTE:**  
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-9 AND A-10 FOR ADDITIONAL INFORMATION.  
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



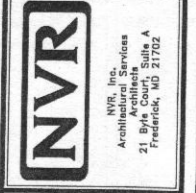
**2 PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

SUITE FIRST FLOOR "MSR" NOTE: N/A W/ BEDROOM FIRST FLOOR "BAR"

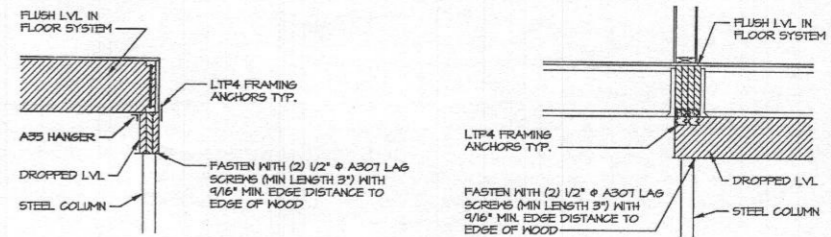
**NOTES:**  
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.  
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.  
3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.  
4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.  
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**NOTE:**  
SEE SHEET 9-6 FOR BRACED HALL PANEL LOCATIONS

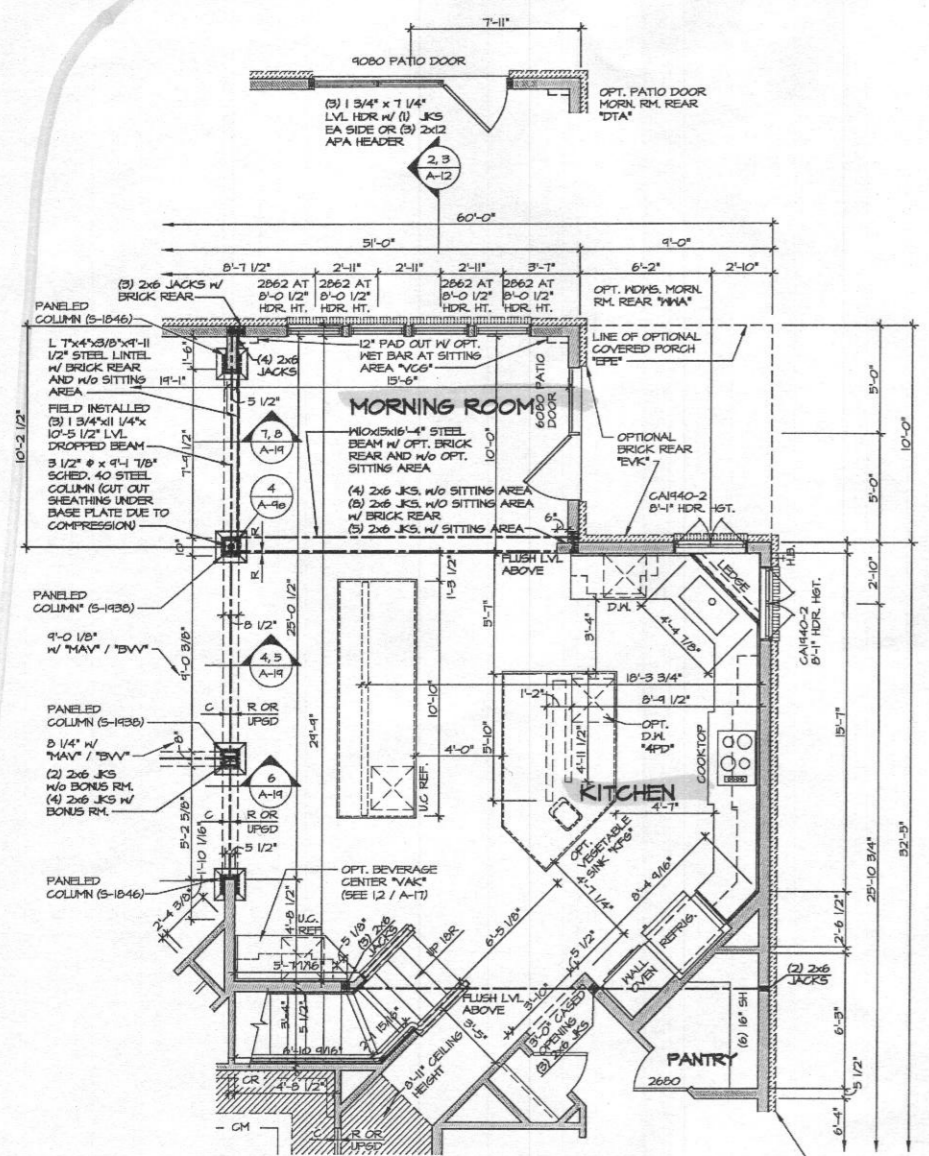
REV. NO.	DATE	REMARKS
1	1/14/19	SK-1 - SHIFTED WINDOWS FOR SUITE FIRST FLOOR "MSR" BY PAR 30227
2	4/29/19	505 - PAR 30216 - NOTATED JACKS IN FLOOR COLLUMS 1 REVISED TO FIELD INSTALLED
3	10/21/19	505 - PAR 42626 - CREATED PARTIAL FOR BAR / REVERSE PARTIAL LAYOUT 484-L FOR BAR
4	12/17/19	505 - PAR 42626 - CREATED PARTIAL FOR BAR / REVERSE PARTIAL LAYOUT 484-L FOR BAR
5	1/24/20	505 - PAR 42626 - ADDED COUNTERTOP LAYOUTS FOR OWNERS BATH
6	4/24/20	505 - ADJUSTED WALLS AT STUDY BOOKCASE AREA
7	5/14/20	A-1 - PAR 42626 (ADDED ATTIC ACCESS)
8	5/20/20	A-1 - ADDED ELEVATION "L" TO SET
9	6/18/21	J-R - REVISED FULL COLLUM FROM 9'-10 1/2" TO 9'-10 1/4" (PAR 42626)



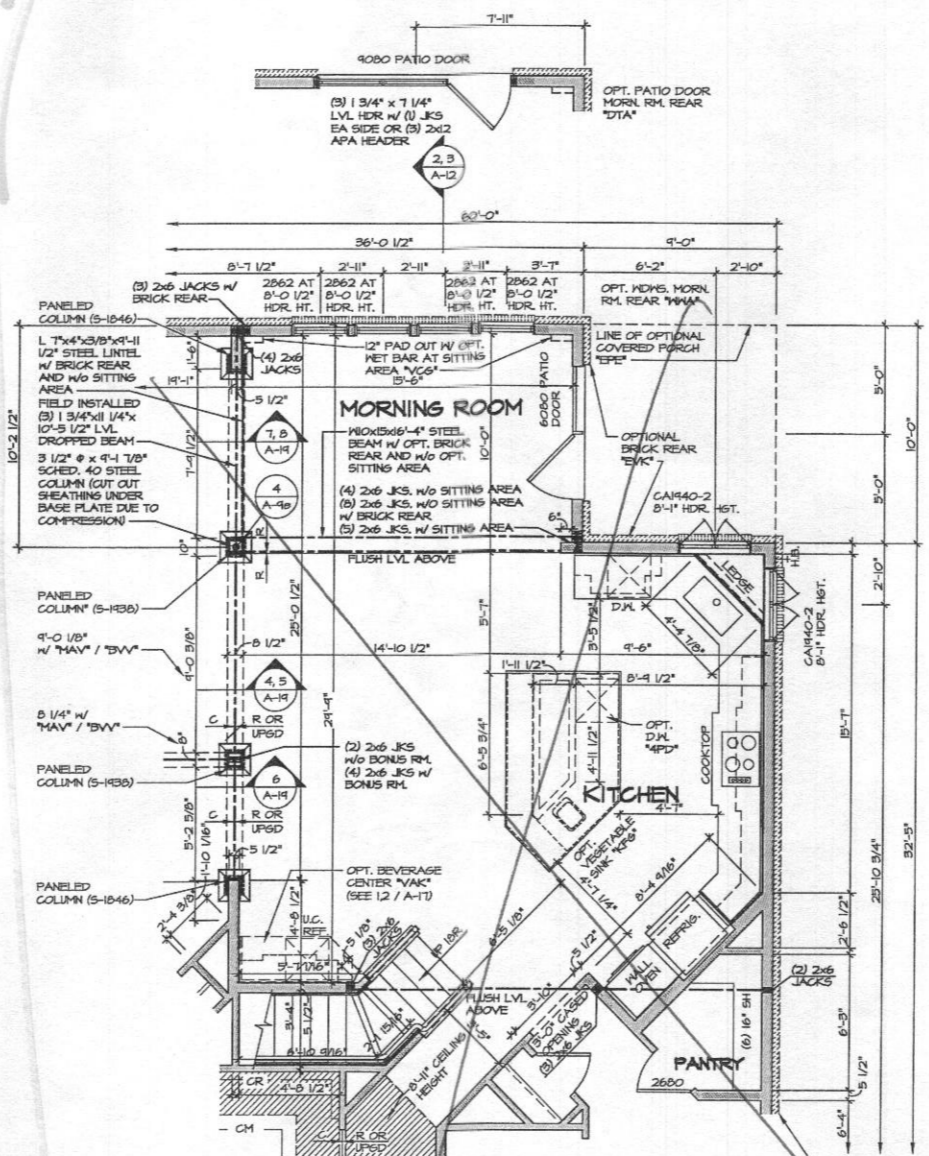
SHEET NO.	MODEL	SET NO.	VERSION	DRAWN BY	DATE	OPTION
A-9d	CLIFTON PARK II	10800	01	AJH	1/2/19	MCO
	DRAWING TITLE					MSR
	FIRST FLOOR PARTIAL PLANS					
	OPTION DESCRIPTION					
	CONSERVATORY					
	SUITE FIRST FLOOR					
51						



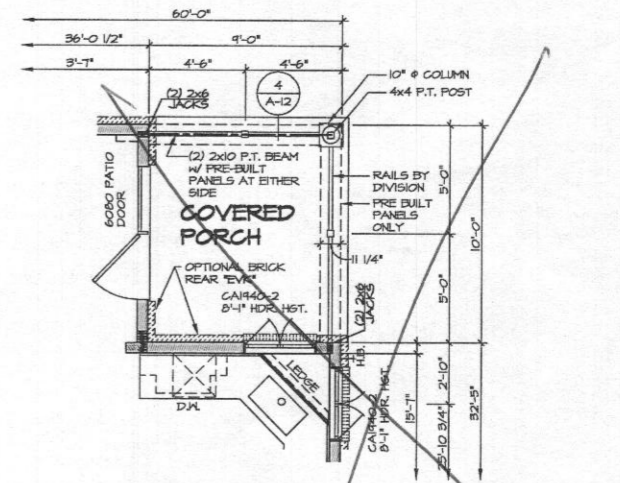
4 ATTACHMENT DETAIL  
SCALE: 1/2" = 1'-0"



2 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
MORNING ROOM W/ SCOURNET ISLAND MAA / KFP



1 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
MORNING ROOM MAA



3 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
COVERED PORCH SEE NOTE ONLY AVAILABLE W/ MAA

**NOTE:**  
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-4 AND A-5 FOR ADDITIONAL INFORMATION.  
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

**NOTES:**  
1. ALL HEADERS ARE (5) 2x6, UNLESS OTHERWISE NOTED.  
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.  
3. HATCHED AREAS INDICATE DROPPED CEILING.  
4. ALL CASING OPENINGS AT T-11", UNLESS OTHERWISE NOTED.  
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

**NOTE:**  
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	DESCRIPTION
0	10/21/14	CEL - ADDED DIMENSION FOR 6080 PATIO DOOR
1	11/21/14	CLS - ADDED ATTACHMENT DETAIL 4 / A-9b (PAR ID 20596)
2	11/26/14	CLS - ADIT REVISIONS
3	10/15/15	CLS - REVISED UNRAIL IN REAR STAIR (PAR 24669)
4	10/15/15	CLS - REVISED MALL CABINET LAYOUT AND ADDED 6" TO MALL FOR CABINETS
5	10/15/15	CLS - REVISED RIGHT REAR ROSE BIS TO SIDE (19424)
6	10/15/15	CLS - FIELD ADIT REVISIONS
7	10/21/14	CLS - ADJUST MALL LOCATION AT KITCHEN SINK LEDGE
8	10/21/14	CLS - REVISED HEADER HEIGHT OF GARHO-3 STUBBY INDOOR (PAR ID 20212)

NVR, Inc. hereby warrants that the information contained in this drawing is true and correct to the best of our knowledge and belief, based on the information provided to us by the client. This information is provided for the client's use only and is not to be used for any other purpose without the express written consent of NVR, Inc.



SET NO. 10300	VERSION 01	DRAWN BY A.J.H.	DATE: 1/4/15
MODEL: CLIFTON PARK II	DRAWING TITLE: FIRST FLOOR PARTIAL PLANS	OPTION: MAA	
SHEET NO. A-9b		MORNING ROOM	
		52	



