



**Building Permit Application**  
Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2017 AUG 28 AM 10:13

Date Received: \_\_\_\_\_

Permit No.: 617003209

Donald E. Fleming Trust

Building Address: 591 West Watersville Rd  
City: Mount Airy State: MD Zip Code: 21771  
Suite/Apt. #: \_\_\_\_\_ SDP/NP/BA #: IECP-1610  
Census Tract: \_\_\_\_\_ Subdivision: F-16-058  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: Farm  
Proposed Use: Residential  
Estimated Construction Cost: \$ 300,000  
Description of Work: Build Home + Garage  
Modular Home per IECP-1610  
Poured concrete Foundation

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: Shirley L. Fleming Trust  
Address: 601 West Watersville Rd  
City: Mt. Airy State: MD Zip Code: 21771  
Phone: 301 481-5852 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: Brenda L. Fleming-Warren  
Address: 601 West Watersville Rd  
City: Mt Airy State: MD Zip Code: 21771  
Phone: 301-481-5852 Fax: \_\_\_\_\_  
Email: brenda.lec.6764@gmail.com

Contractor Company: R. '11 Estate Homes  
Contact Person: Scott Rill  
Address: 3223 Tracy's Mill Rd  
City: Manchester State: MD Zip Code: 21102  
License No.: 132643 ~~7998~~  
Phone: 443-201-6740  
Email: rill-estate-homes@gmail.com

Engineer/Architect Company: VAN MAR & Associates  
Responsible Design Prof.: Mike Van Sant  
Address: 310 S. Main St  
City: Mount Airy State: MD Zip Code: 21771  
Phone: 301-829-2890 Fax: 301-831-5603  
Email: tmv@vanmar.com

MALPF  
CHILD  
LOT

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 <sup>st</sup> floor: <u>52'</u> <u>64'</u>
Area of construction (sq. ft.): _____	2 <sup>nd</sup> floor: <u>32'</u> <u>64'</u>
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement <u>32' 64'</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>
<input checked="" type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> YES	<input type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

Applicant's Signature: Brenda L. Fleming-Warren Print Name: Brenda L. Fleming-Warren  
Email Address: brenda.lec.6764@gmail.com Date: June 30, 2017  
Title/Company: \_\_\_\_\_

RECEIVED  
AUG 28 2017

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

LICENSES & PERMITS  
DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>9/15/17</u>	<u>R. B. Pickett</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	<u>30</u>
Rear:	<u>30</u>
Side:	<u>10</u>
Side St.:	
All minimum setbacks met?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

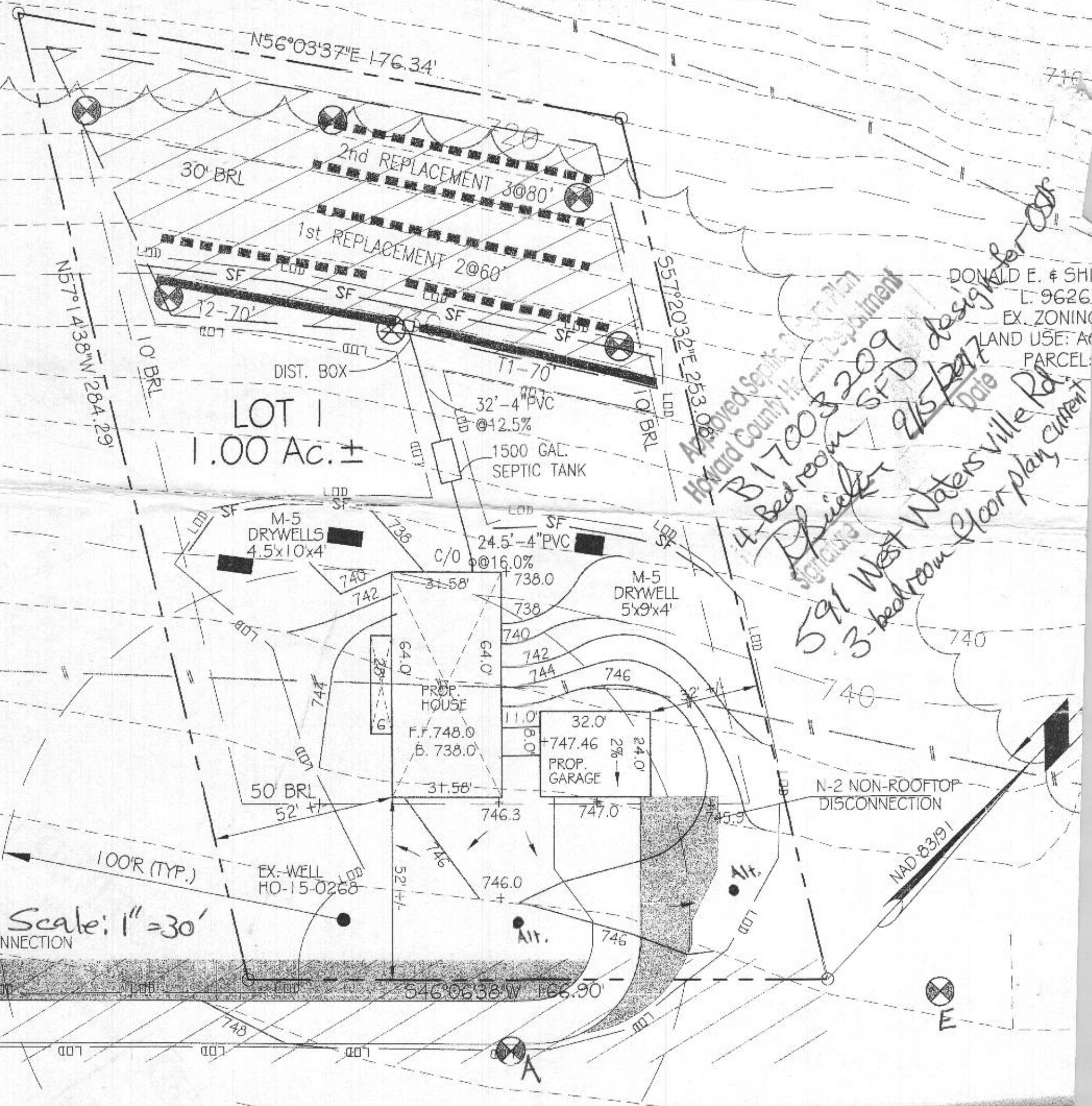
Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>1015</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHIA

T:\Operations\Updated Forms\Building apping 03.21.2017.docx

ND MITTU

# BrD



LOT 1  
1.00 Ac. ±

Scale: 1" = 30'

Approved Sept. 17, 2017  
Howard County Health Department  
B17003209  
4-Bed room SFD  
P. Richter  
591 West Watersville Rd  
3-Bed room floor plan, current  
Date 9/15/2017

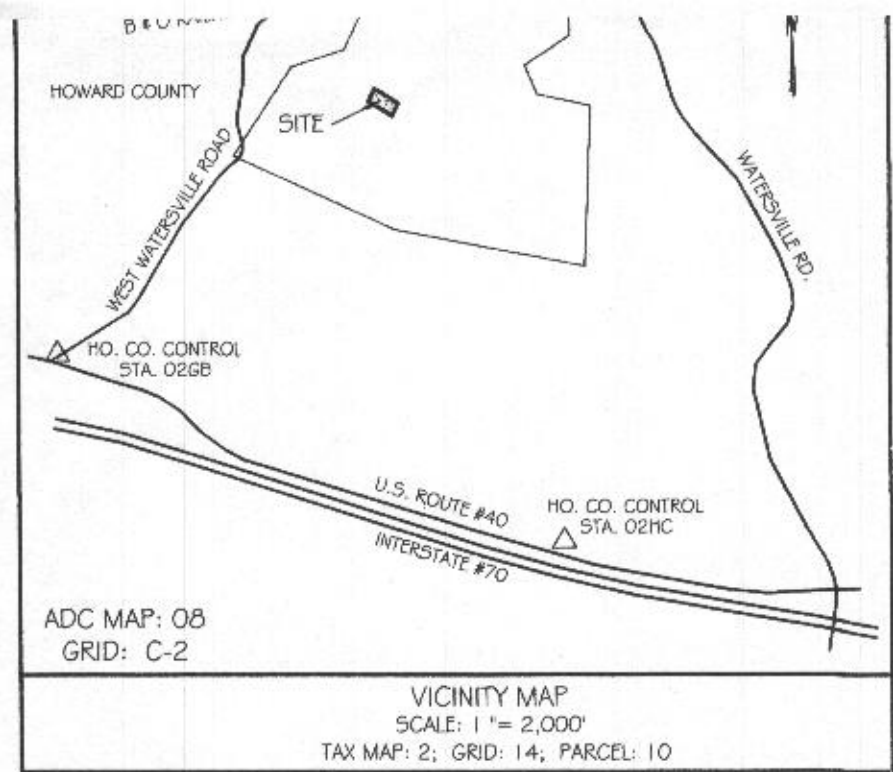
DONALD E. & SHI  
L. 9626  
EX. ZONING  
LAND USE: A  
PARCEL

N-2 NON-ROOFTOP  
DISCONNECTION

NAD 83/91

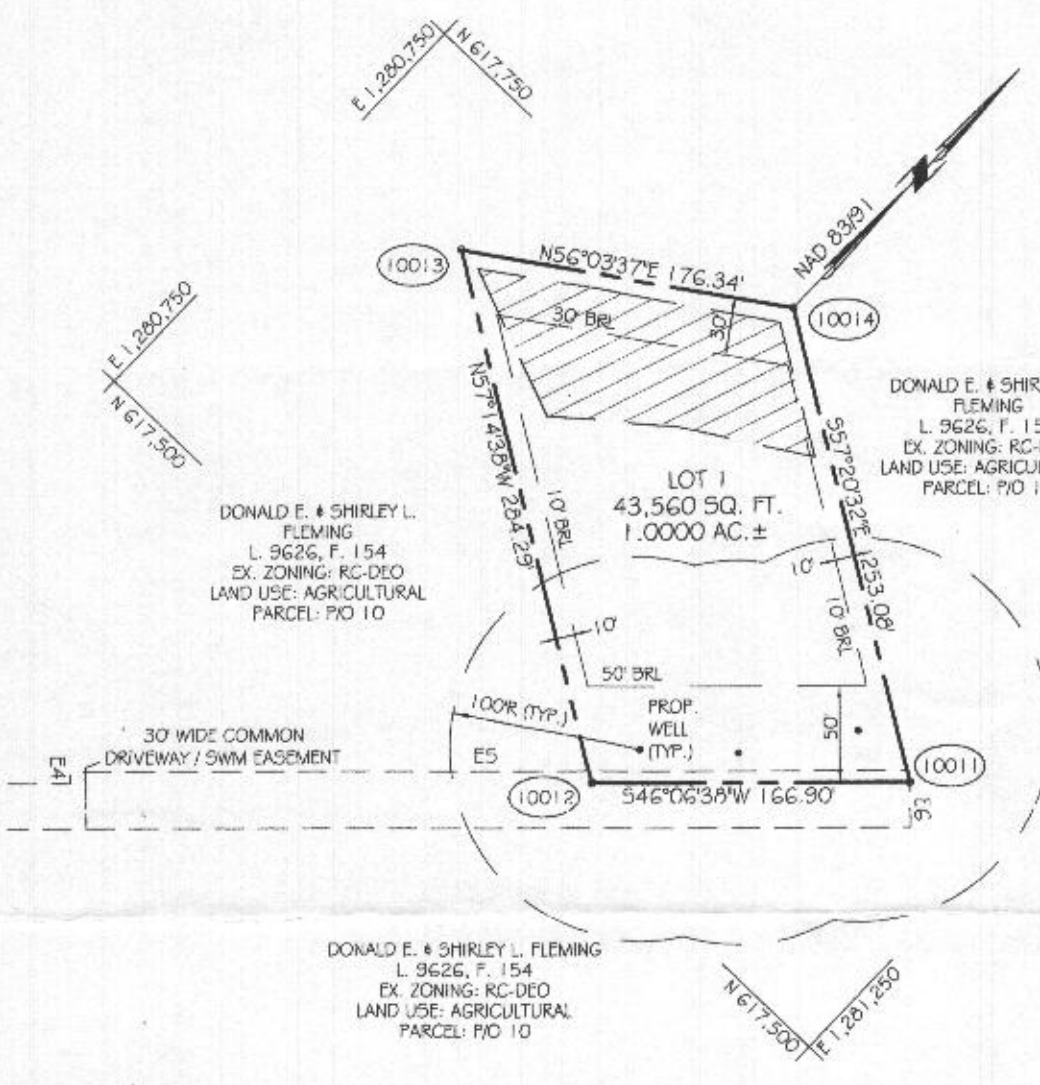
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10014	617773.0650	1280979.9024

MT. AIRY, MARYLAND 21771  
 MU. (301) 481-5852



ADC MAP: 08  
 GRID: C-2

VICINITY MAP  
 SCALE: 1" = 2,000'  
 TAX MAP: 2; GRID: 14; PARCEL: 10



**GENERAL NOTES:**

- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT REGULATIONS.
- COORDINATES ARE BASED ON THE MARYLAND COORDINATE SYSTEM (NAD 83/91) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 02HC AND 02GB.
 

STA. 02HC	N. 612,924.256	E. 1,282,818.993(5FT.)
STA. 02GB	N. 614,978.569	E. 1,277,363,299(5FT.)
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET (OR 10,000 SQUARE FEET PER LOT FOR SHARED DRAIN FIELDS ASSOCIATED WITH A SHARED SEWAGE DISPOSAL FACILITY) AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE SYSTEM. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL BE NECESSARY.
- B.R.L. - REPRESENTS BUILDING RESTRICTION LINES
- REPRESENTS CONCRETE MONUMENT SET (UNLESS OTHERWISE NOTED)
- REPRESENTS IRON REBAR SET (UNLESS OTHERWISE NOTED)
- PUBLIC WATER AND SEWER ARE NOT AVAILABLE TO THIS SITE. ON-LOT WATER AND SEWER WILL BE PROVIDED UNTIL PUBLIC UTILITIES ARE AVAILABLE.
- THE SUBJECT PROPERTY IS ZONED 'RC-DEO' PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE);
  - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.);
  - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
  - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
  - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN ONE FOOT DEPTH OVER DRIVEWAY SURFACE;
  - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAT IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED IN FEBRUARY, 1985 BY VANMAR ASSOCIATES, INC.
- AREAS AS STATED ON THIS PLAT ARE TO BE TAKEN AS MORE OR LESS, UNLESS OTHERWISE NOTED.
- THIS PLAT IS IN COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003. DEVELOPMENT OR CONSTRUCTION OF THIS LOT MUST COMPLY WITH THE SETBACK AND BUFFER REGULATION IN EFFECT AT THE TIME OF SUBMISSION OF THE BUILDING GRADING PERMIT.
- THERE ARE NO HISTORIC SITES, CEMETERIES OR ENVIRONMENTAL FEATURES ON THIS PROPERTY.
- DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES LOCATED IN, ON OVER AND THROUGH LOTS / PARCELS. ANY CONVEYANCES OF THE AFORESAID LOTS / PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED CONVEYING SAID LOTS / PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEEDS OF EASEMENTS IN THE LAND RECORDS OF HOWARD COUNTY.
- THE SUBJECT PROPERTY IS A MINOR SUBDIVISION AND IS LOCATED IN THE GROWTH TIER AREA IV IN ACCORDANCE WITH THE PLAN HOWARD 2030 AND THE MARYLAND SUSTAINABLE GROWTH AND AGRICULTURAL PRESERVATION ACT OF 2012.

AND MEETS ESD  
 NAGEMENT IS

ON

WARD COUNTY  
 IF RESIDENTIAL

NOTE: ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE APPLICANT.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LANDS CONVEYED BY DONALD E. FLEMING AND SHIRLEY L. FLEMING UNTO DONALD E. FLEMING (DECEASED) AND SHIRLEY L. FLEMING, TRUSTEES, OF THE DONALD E. FLEMING AND SHIRLEY L. FLEMING REVOCABLE CONVERTIBLE TRUSTS BY DEED DATED JULY 11, 2005 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 9626 FOLIO 154; AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21097, EXPIRATION DATE, JULY 26, 2017, IN ACCORDANCE WITH COMAR 09.13.06.02

THOMAS L. FRAZIER, JR., PROF. LAND SURVEYOR  
 MARYLAND REGISTRATION NO. 21097  
 DATE 12/14/15

RECORDED AS PLAT NO. \_\_\_\_\_ ON \_\_\_\_\_ AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

AGRICULTURAL PRESERVATION  
 SUBDIVISION PLAT  
 LOT 1  
 ELM-LEE FARM  
 (LIBER 9626 AT FOLIO 154)

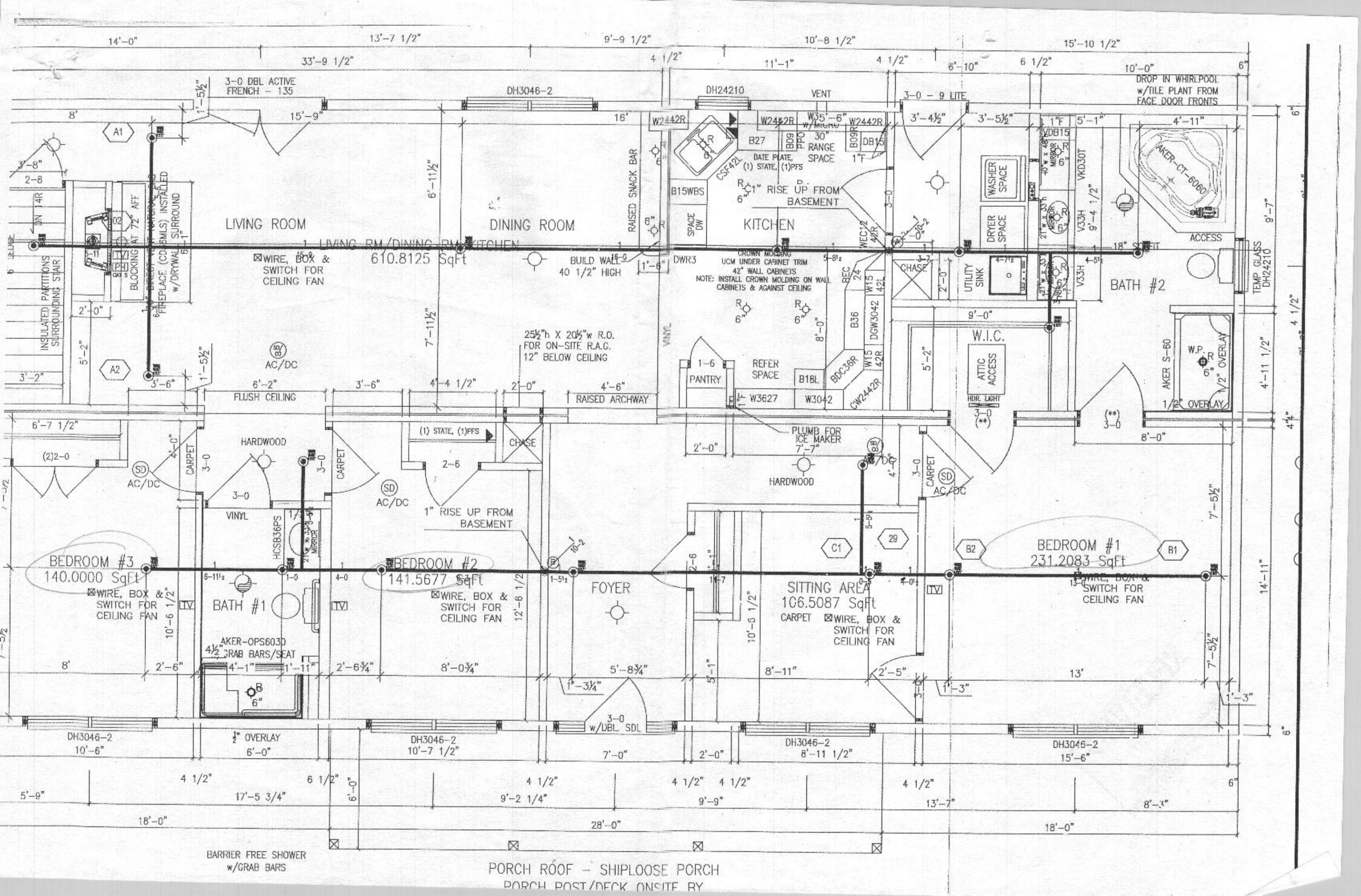
TAX MAP: 2 ELECTION DISTRICT: No. 4 SCALE: 1" = 100'  
 GRID NO: 14 HOWARD COUNTY, MARYLAND DATE: DECEMBER, 2015  
 PARCEL NO: 10 EX. ZONING: RC-DEO SHEET 1 OF 1



**VANMAR ASSOCIATES, INC.**  
 Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771  
 (301) 829-2890 (301) 831-5015 (410) 549-2751  
 Fax (301) 831-5603 ©Copyright, Latest Date Shown

County File # F-16-058

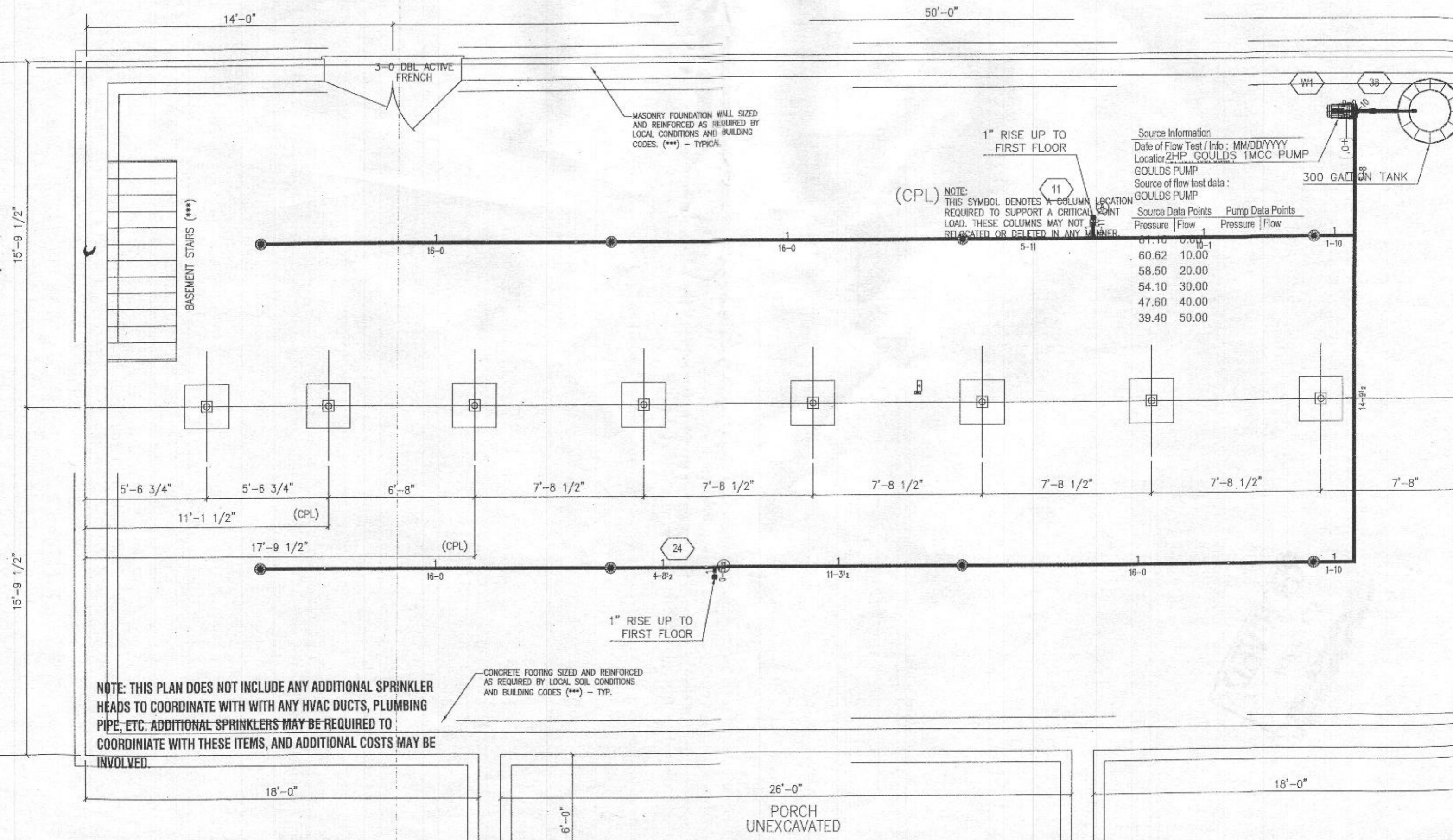


BARRIER FREE SHOWER  
w/GRAB BARS

PORCH ROOF - SHIPLOOSE PORCH  
PORCH POST/DECK ONSITE BY

VALVES, HANGERS, AND ACCESSORIES ARE FURNISHED, DESIGNED & INSTALLED ON-SITE BY THE ON-SITE SPRINKLER CONTRACTOR. ADDITIONAL SPRINKLER HEADS, VALVES, PIPING AND DEVICES MAY BE REQUIRED FOR A COMPLETE INSTALLATION, BASED ON ACTUAL SITE CONDITIONS.

**PUMP AND TANK NOTE:**  
 PUMP (PANEL > PRESSURE SWITCH > PUMP) SHALL BE WIRED FOR 220V, BY THE SITE ELECTRICIAN.  
 TANK AUTOMATIC REFILL (FLOAT) VALVE SHALL BE PIPE BY SITE PLUMBING CONTRACTOR. 1/2" SUPPLY WITH CONTROL VALVE.



Source Information  
 Date of Flow Test / Info: MM/DD/YYYY  
 Location: 2HP GOULDS 1MCC PUMP  
 GOULDS PUMP  
 Source of flow test data:  
 GOULDS PUMP

Source Data Points		Pump Data Points	
Pressure	Flow	Pressure	Flow
61.10	0.00	10-1	1-10
60.62	10.00		
58.50	20.00		
54.10	30.00		
47.60	40.00		
39.40	50.00		

(CPL) NOTE: THIS SYMBOL DENOTES A COLUMN LOCATION REQUIRED TO SUPPORT A CRITICAL POINT LOAD. THESE COLUMNS MAY NOT BE RELOCATED OR DELETED IN ANY MANNER.

NOTE: THIS PLAN DOES NOT INCLUDE ANY ADDITIONAL SPRINKLER HEADS TO COORDINATE WITH WITH ANY HVAC DUCTS, PLUMBING PIPE, ETC. ADDITIONAL SPRINKLERS MAY BE REQUIRED TO COORDINATE WITH THESE ITEMS, AND ADDITIONAL COSTS MAY BE INVOLVED.

CONCRETE FOOTING SIZED AND REINFORCED AS REQUIRED BY LOCAL SOIL CONDITIONS AND BUILDING CODES (\*\*\*) - TYP.

26'-0"  
 PORCH  
 UNEXCAVATED