



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2017 AUG 29 AM 10:13

Date Received: _____

Permit No.: 617003209

Donald E. Fleming Trust

Building Address: 591 West Watersville Rd
City: Mount Airy State: MD Zip Code: 21771
Suite/Apt. #: _____ SDP/WP/BA #: ECF-1610
Census Tract: _____ Subdivision: F-16-058
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: Shirley L. Fleming Trust
Address: 601 West Watersville Rd.
City: Mount Airy State: MD Zip Code: 21771
Phone: 301-481-5852 Fax: _____
Email: _____

MALPF
CHILD
LOT

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Brenda L. Fleming-Warren
Address: 601 West Watersville Rd
City: Mount Airy State: MD Zip Code: 21771
Phone: 301-481-5852 Fax: _____
Email: brenda.lec.6764@gmail.com

Contractor Company: R.I. Estate Homes
Contact Person: Scott R. I.
Address: 3223 Tracy's Mill Rd
City: Manchester State: MD Zip Code: 21102
License No.: 132643 ~~7998~~
Phone: 443-201-6740
Email: rli-estate-homes@gmail.com

Engineer/Architect Company: VAN MAR & Associates
Responsible Design Prof.: Mike Van Sant
Address: 310 S. Main St
City: Mount Airy State: MD Zip Code: 21771
Phone: 301-829-2840 Fax: 301-831-5603
Email: tmv@vanmar.com

Existing Use: Farm
Proposed Use: Residential
Estimated Construction Cost: \$ 300,000
Description of Work: Build Home + Garage
Modular Home ECF-1610
Poured concrete Foundation

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth: _____ Width: _____
Gross area, sq. ft./floor: _____	1 st floor: <u>42</u> 2 nd floor: <u>32</u>
Area of construction (sq. ft.): _____	Basement: <u>52' x 4'</u>
Use group: _____	<input checked="" type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement
Construction type: _____	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> Masonry	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____
<input checked="" type="checkbox"/> State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewerage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Brenda L. Fleming-Warren
Email Address: brenda.lec.6764@gmail.com

Print Name: Brenda L. Fleming-Warren
Date: June 30, 2017

RECEIVED

AUG 28 2017

Title/Company

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

LICENCES & PERMITS
DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

OPZ SETBACK INFORMATION	
Front:	<u>30</u>
Rear:	<u>30</u>
Side:	<u>10</u>
Side St.:	
All minimum setbacks met?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-Line approval date:	

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSPS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 1015

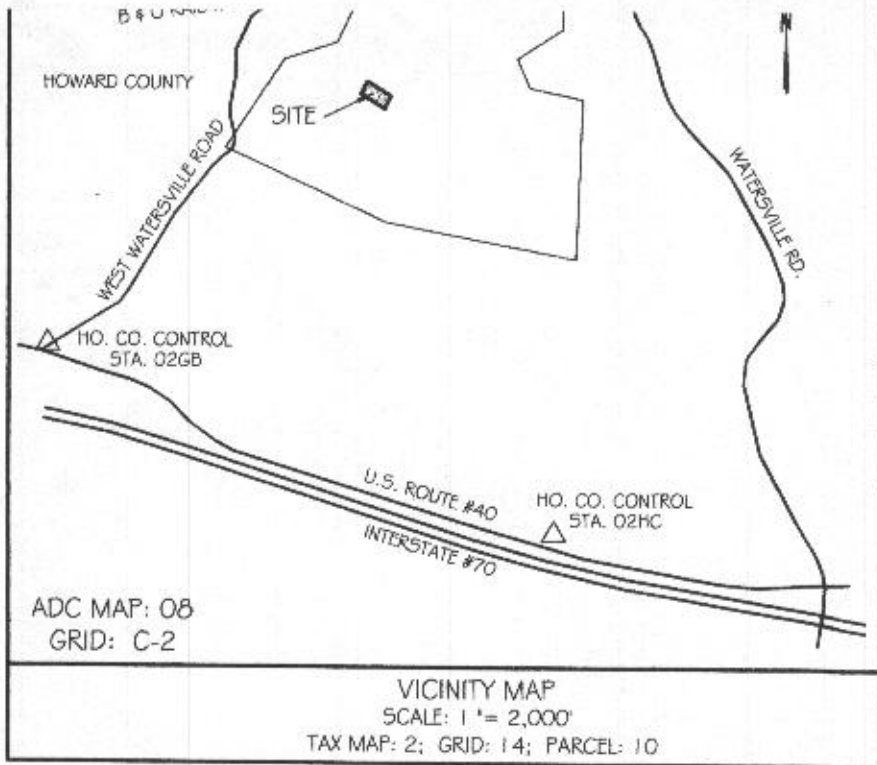
Distribution of Copies: White: Building Officials Green: PSZA/Zoning Yellow: PSZA/Engineering Pink: Health Gold: DHA

T:\Operations\Updated Forms\building apping 02.21.2017.docx




NO MITH

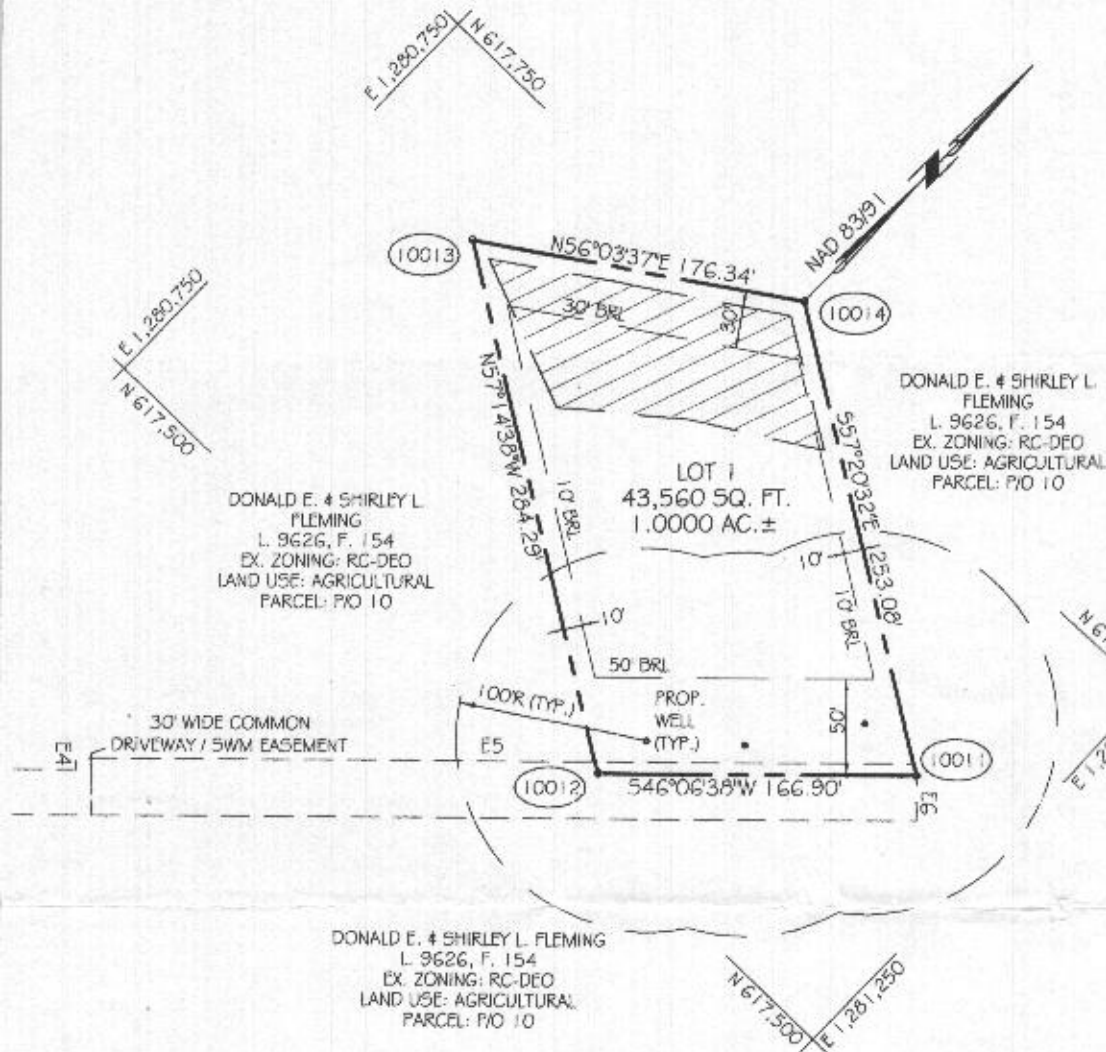
10013	617674.6126	1280833.6061
10014	617773.0650	1280979.9024

MT. AIRY, MARYLAND 21771
MU. (301) 481-5852



GENERAL NOTES:

- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT REGULATIONS.
- COORDINATES ARE BASED ON THE MARYLAND COORDINATE SYSTEM (NAD 83/91) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 02HC AND 02GB.
STA. 02HC N. 612,924.256 E. 1,282,818.993(±FT.)
STA. 02GB N. 614,978.569 E. 1,277,363.299(±FT.)
-  THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET (OR 10,000 SQUARE FEET PER LOT FOR SHARED DRAIN FIELDS ASSOCIATED WITH A SHARED SEWAGE DISPOSAL FACILITY) AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE SYSTEM. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL BE NECESSARY.
- B.R.L. - REPRESENTS BUILDING RESTRICTION LINES
-  REPRESENTS CONCRETE MONUMENT SET (UNLESS OTHERWISE NOTED)
-  REPRESENTS IRON REBAR SET (UNLESS OTHERWISE NOTED)
- PUBLIC WATER AND SEWER ARE NOT AVAILABLE TO THIS SITE. ON-LOT WATER AND SEWER WILL BE PROVIDED UNTIL PUBLIC UTILITIES ARE AVAILABLE.
- THE SUBJECT PROPERTY IS ZONED "RC-DEO" PER THE 1006/13 COMPREHENSIVE ZONING PLAN.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.);
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN ONE FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAT IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED IN FEBRUARY, 1985 BY VANMAR ASSOCIATES, INC.
- AREAS AS STATED ON THIS PLAT ARE TO BE TAKEN AS MORE OR LESS, UNLESS OTHERWISE NOTED.
- THIS PLAT IS IN COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003. DEVELOPMENT OR CONSTRUCTION OF THIS LOT MUST COMPLY WITH THE SETBACK AND BUFFER REGULATION IN EFFECT AT THE TIME OF SUBMISSION OF THE BUILDING/GRADING PERMIT.
- THERE ARE NO HISTORIC SITES, CEMETERIES OR ENVIRONMENTAL FEATURES ON THIS PROPERTY.
- DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES LOCATED IN, ON OVER AND THROUGH LOTS / PARCELS. ANY CONVEYANCES OF THE AFORESAID LOTS / PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED CONVEYING SAID LOTS / PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEEDS OF EASEMENTS IN THE LAND RECORDS OF HOWARD COUNTY.
- THE SUBJECT PROPERTY IS A MINOR SUBDIVISION AND IS LOCATED IN THE GROWTH TIER AREA IV IN ACCORDANCE WITH THE PLAN HOWARD 2030 AND THE MARYLAND SUSTAINABLE GROWTH AND AGRICULTURAL PRESERVATION ACT OF 2012.



AND MEETS ESD
NAGEMENT IS

ON

WARD COUNTY
IF RESIDENTIAL

NOTE: ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE APPLICANT.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF PART OF THE LANDS CONVEYED BY DONALD E. FLEMING AND SHIRLEY L. FLEMING UNTO DONALD E. FLEMING (DECEASED) AND SHIRLEY L. FLEMING, TRUSTEES, OF THE DONALD E. FLEMING AND SHIRLEY L. FLEMING REVOCABLE CONVERTIBLE TRUSTS BY DEED DATED JULY 11, 2005 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 9626 FOLIO 154; AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A QUALIFIED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21097, EXPIRATION DATE, JULY 26, 2017, IN ACCORDANCE WITH COMAR 09.13.06.12

THOMAS L. FRAZIER, JR., PROF. LAND SURVEYOR
MARYLAND REGISTRATION NO. 21097
DATE 12/14/15

RECORDED AS PLAT NO. 10 ON AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

AGRICULTURAL PRESERVATION
SUBDIVISION PLAT
LOT 1
ELM-LEE FARM
(LIBER 9626 AT FOLIO 154)

TAX MAP: 2
GRID NO: 14
PARCEL NO: 10

ELECTION DISTRICT: No. 4
HOWARD COUNTY, MARYLAND
EX. ZONING: RC-DEO

SCALE: 1" = 100'
DATE: DECEMBER, 2015
SHEET 1 OF 1

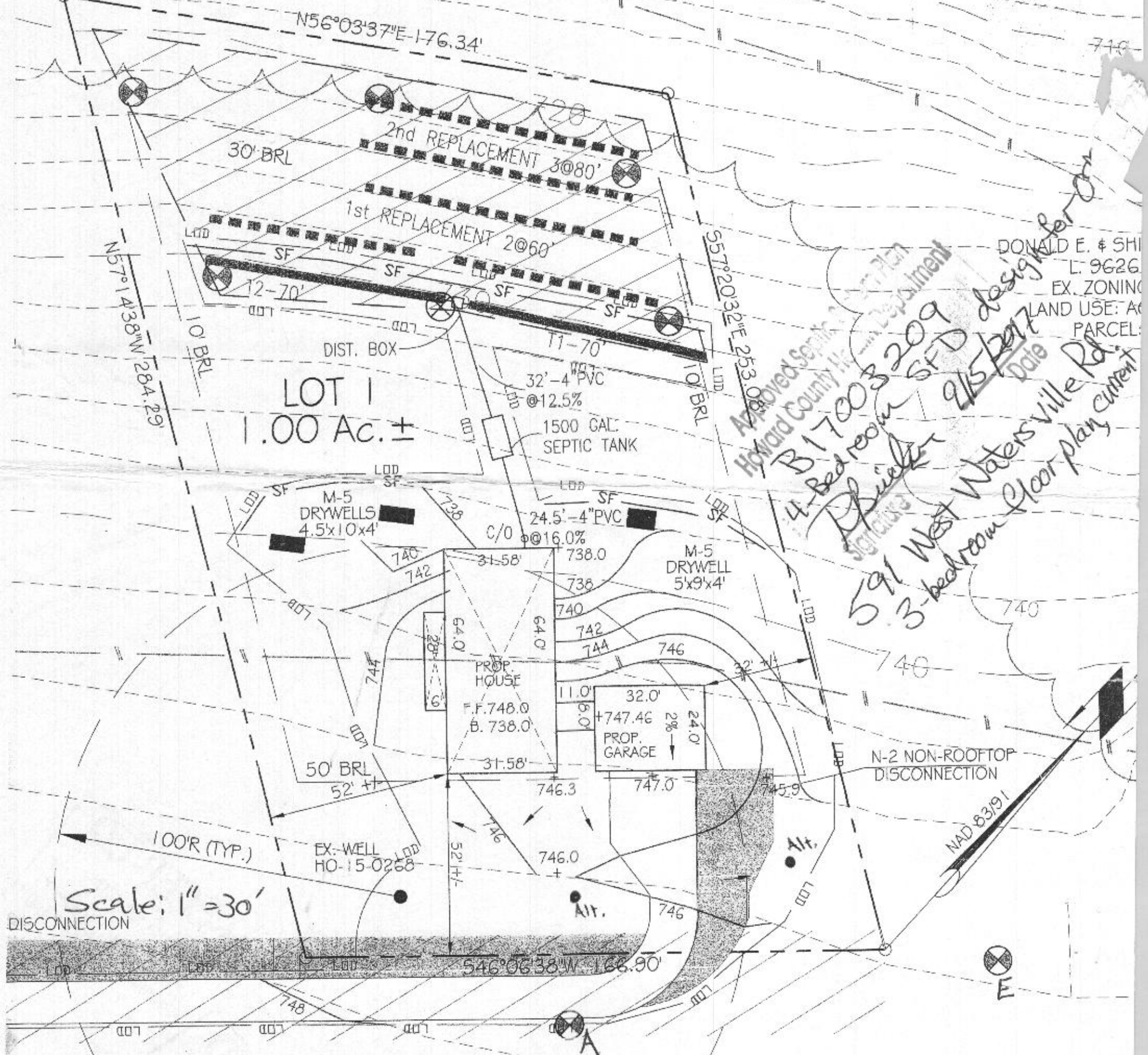


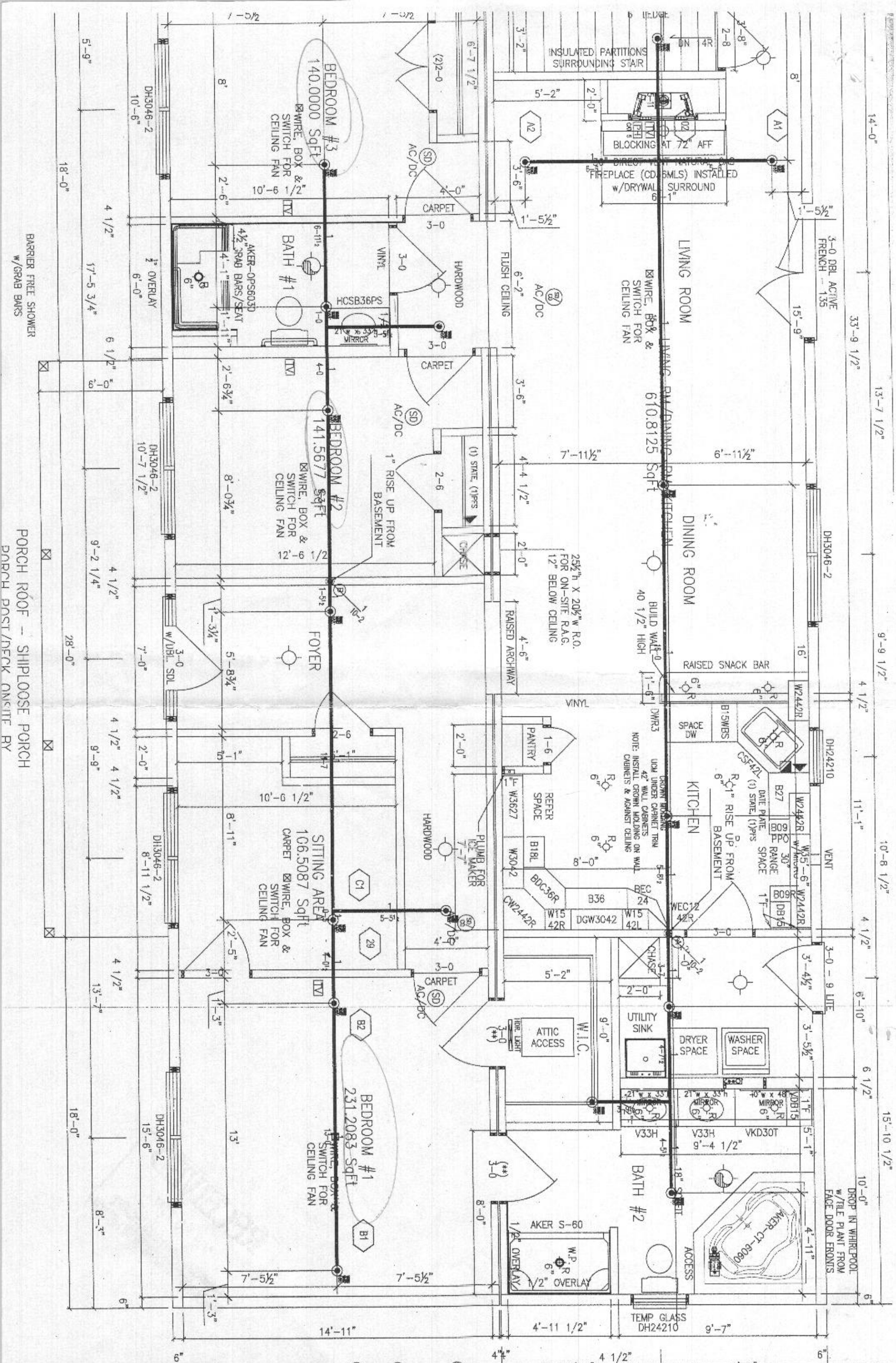
VANMAR
ASSOCIATES, INC.
Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

County File # F-16-058

BrD





PUMP AND TANK NOTE:

14'-0"

50'-0"

3-0 DEL. ACTIVE
FRENCH

—MASONRY FOUNDATION WALL SIZED AND REINFORCED AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES. (***) — TYPICAL.

1st RISE UP TO
FIRST FLOOR

(CPL)

NOTE: THIS SYMBOL DENOTES A COLUMN LOCATED TO SUPPORT A CRITICAL POINT LOAD. THESE COLUMNS MAY NOT BE RELEASED OR DELETED IN ANY MANNER.

Source information
Date of Flow Test / Info : MM/DD/YYYY
Location ZHP GOLDS 1MCC PUMP
GOLDS PUMP
Source of flow test data : 3

The diagram shows a 300 GALLON TANK with a pump and piping system. The pump is labeled 'PUMP' and is connected to a '300 GALLON TANK'. The pump is also connected to a '300 GALLON TANK' via a '300 GALLON TANK'.

15'-9 1/2"

15'-9 1/2"

BASEMENT STAIRS (***)

5'-6 3/4"	5'-6 3/4"
11'-1 1/2"	(CPL)

17'-9 1/2"

1-2

7'-8 1/2"

 $7'-8\ 1/2''$ $7'-8\ 1/2'$

-8 1/2"

7'-8 1/2'

 $7^3 - 8^3$

16-0

4-87

11-31

16-0

1-10

—CONCRETE FOOTING SIZED AND REINFORCED AS REQUIRED BY LOCAL SOIL CONDITIONS AND BUILDING CODES (***) — TYP.

1" RISE UP TO
FIRST FLOOR

NOTE: THIS PLAN DOES NOT INCLUDE ANY ADDITIONAL SPRINKLER HEADS TO COORDINATE WITH ANY HVAC DUCTS, PLUMBING PIPE, ETC. ADDITIONAL SPRINKLERS MAY BE REQUIRED TO COORDINATE WITH THESE ITEMS, AND ADDITIONAL COSTS MAY BE

INVOLVED

18'-0"

10

 $26'-0"$

18'-0"

PORCH
UNEXCAVATED