

Maura J. Rossman, M.D., Health Officer

May 31, 2018

11725 Wayne Ridge Street
Fulton, MD 20759

Sent via email to: T18TRANNY@YAHOO.COM ;

RE: B18001636: 11725 Wayne Ridge Street, Fulton, MD 20759

Mr. Huber,

In order to move forward with building permit B18001636, we must complete every task requested for this building permit. Further review is contingent on the submission of the following. To get started, please submit the following:

1. Floor plans for the existing house and for the proposed addition must be submitted to the Howard County Health Department. In order to determine if your existing septic system can accommodate the proposed addition. If the septic system cannot accommodate the proposed addition we will have to upgrade the septic system before the release of the building permit.
2. If the onsite well does not meet current regulations, it will have to be brought up to code prior to approval of a building permit. For example, if the well does not have casing extending above grade, the well casing must be extended by a licensed well driller with a pit less adaptor installed. Furthermore, if the well doesn't meet the required 20 foot setback to the house with basement, then the owner will have to ask for a Variance from the Maryland Department of the Environment (MDE) and receive approval prior to making any changes to the well.
3. You will also have to submit paperwork from your septic contractor showing the existing septic system has been pumped and is in good working condition. And this task must be performed by a licensed installer.

Further review is contingent on the submission of the Building permit approval has been placed on hold until all requirements are met. Should you have any questions, please don't hesitate to contact our office.

Respectfully,



Dana Bernard, L.E.H.S.
Bureau of Environmental Health
Well & Septic Program



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B18001636

Building Address: 11725 Wayneridge St
City: Fulton State: MD Zip Code: 20759
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Backyard
Proposed Use: to house collector cars
Estimated Construction Cost: \$ 70,000
Description of Work: Building a 30x40
garage Detached

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Thomas Huber
Address: 11725 Wayneridge St
City: Fulton State: MD Zip Code: 20759
Phone: 301-617-9383 Fax: _____
Email: +18ttranny@yahoo.com

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: Amish Built
Contact Person: Chris DePoe
Address: 1390 Columbus Ave
City: Lancaster State: PA Zip Code: 17603
License No.: TBD
Phone: 717-431-2611 Fax: 717-431-2991
Email: www.amishbuilt.com/amishbuilt@amishbuilt.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
➤ Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Thomas J. Huber
Email Address: +18ttranny@yahoo.com

Print Name: Thomas J. Huber
Date: 5/11/18

Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
County Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

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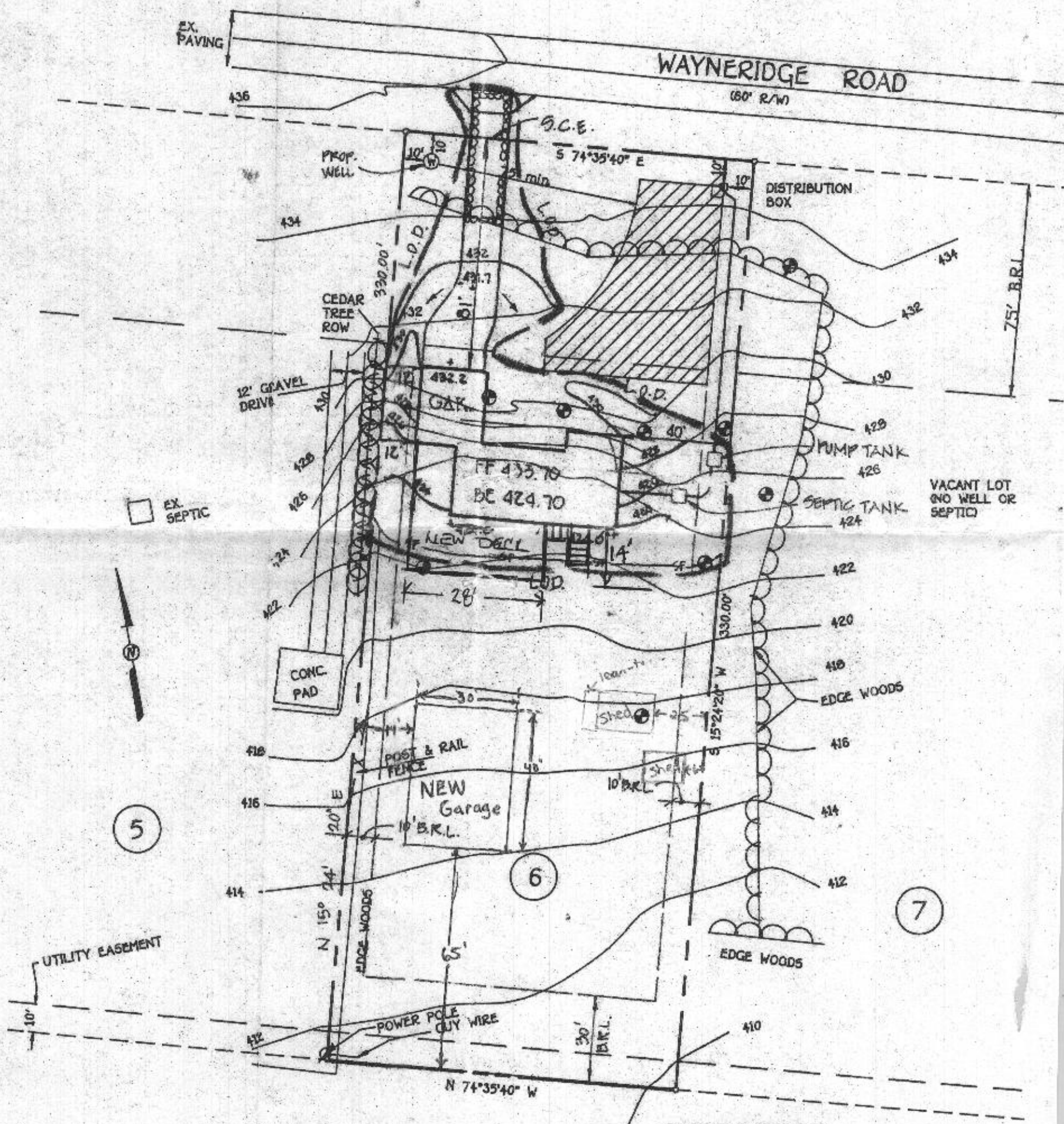
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MSMT 509
MSMT 509
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MSMT 322

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Approved Septic System Plan
Howard County Health Department
D. Beunard 7-5-18
Signature Date



**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 6/5/18

To: Dan Swinder
(Person's Name and Division)

From: Thomas Huber (240) 604-1979
(Your Name, Company Name and Telephone Number)

Subject: Project name Garage

Project site address 11725 Wayneridge St, Fulton, Md 20759

Permit # 618001636 SDP # _____

Other information pertinent to this project _____

RECEIVED

JUN 07 2018

PLAN REVIEW DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

____ Letter of response to address plan review comment letter

✓ Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.

____ Letter Summarizing Changes

____ Energy conservation calculations

____ Copies of _____ (be specific).

____ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request

____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

____ Other _____

Contact Person Information: (Required)

Thomas J. Huber
Please Print Name

Telephone No: 240-604-1979

E-Mail Address: t18tranny@yahoo.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by _____

Revision DECK, LANDING,
+ STEPS SHOWN

CC: P12
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STANDARD SYMBOL

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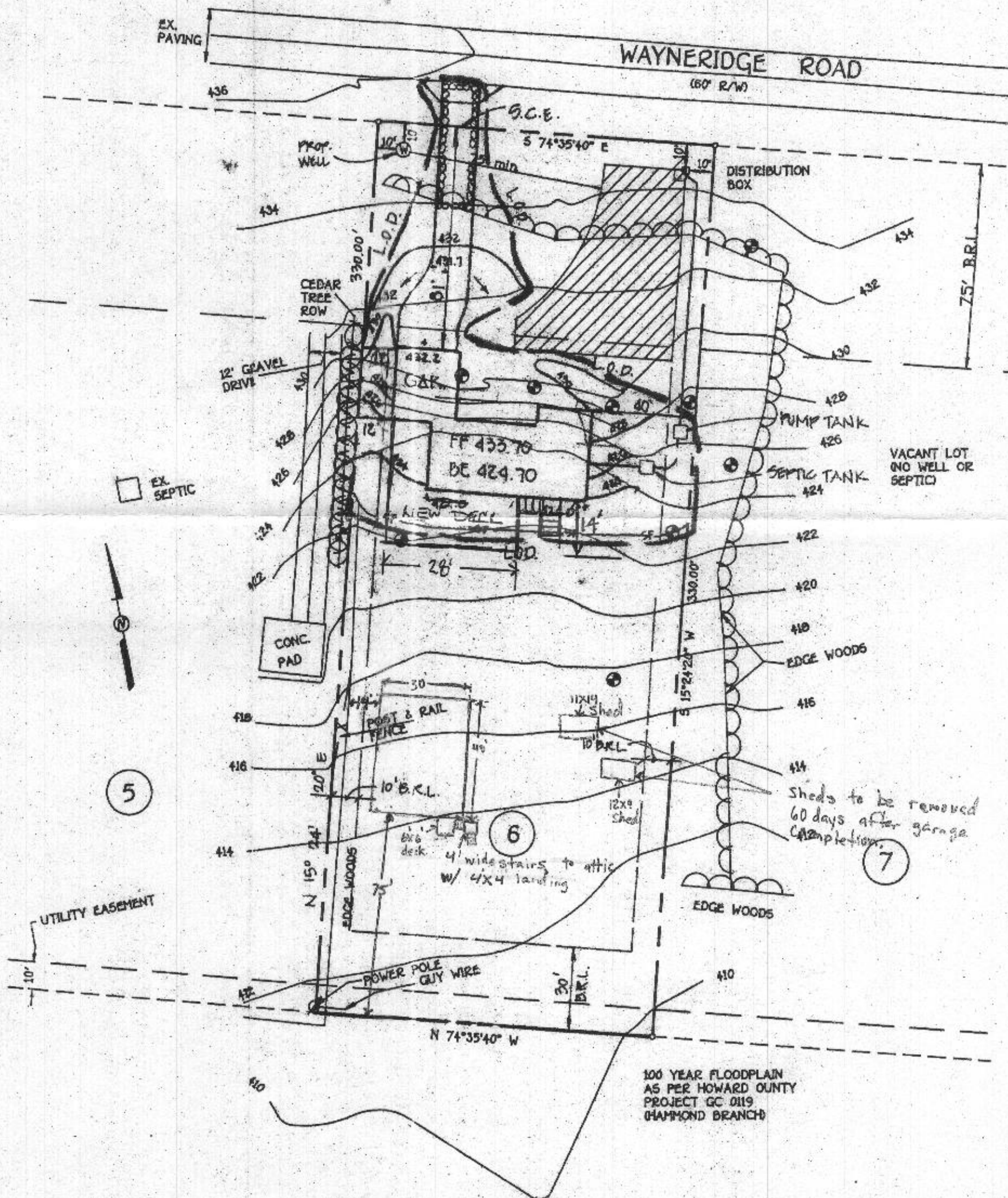
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be overlapped,

REVISED

Date: 6-5-18 B18001636

Comments: Revised plot plan to show deck, landing, + steps



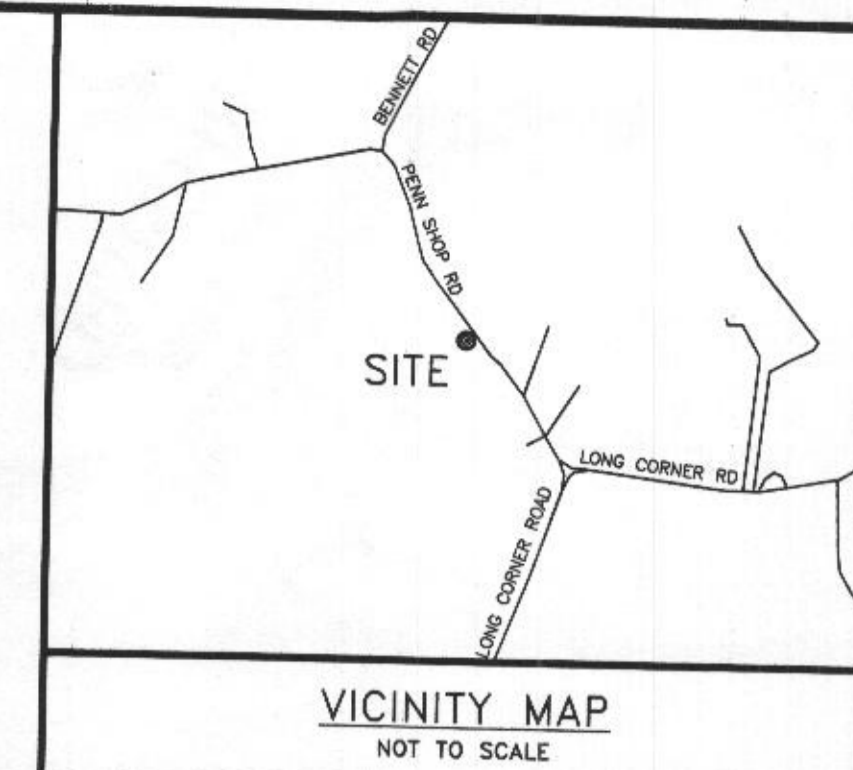
GENERAL NOTES

SURVEY:

- HORIZONTAL DATUM BASED ON HOWARD COUNTY PLAT #17361
- THE PROPERTY LINES ON THIS PLAN ARE SHOWN "BEST FIT". IF IMPROVEMENTS ARE TO BE PLANNED FOR THIS PROPERTY A BOUNDARY SURVEY SHOULD BE PERFORMED TO INSURE ENCROACHMENTS INTO THE BUILDING RESTRICTION LINES DO NOT OCCUR.
- NO TITLE REPORT WAS FURNISHED FOR THIS PLAN

UTILITIES:

- THE LOCATION OF UTILITIES AS SHOWN HEREON WERE PLOTTED BY USING ABOVE GROUND EVIDENCE. POTOMAC VALLEY SURVEYS, LLC MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.



SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND WAS OBTAINED BY ME OR OTHERS UNDER MY SUPERVISION IN ACCORDANCE WITH COMAR 09-13-06-12 AND THAT THE INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. MOWATT
MARYLAND PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR #21136
EXPIRES 06-20-18

REVISIONS

DATE: 09-12-17 REVISE BLDG. SIZE TO 30X40

DATE:

DATE:

THIS PLAN PREPARED FOR:
RUSSELL McCAMPBELL
18235 PENN SHOP ROAD
MOUNT AIRY, MD. 21771

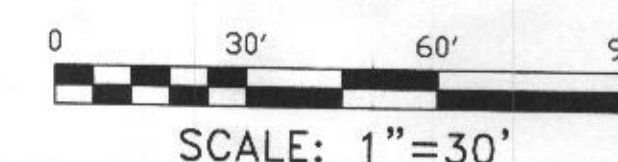
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DATE: 05-10-17
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SHEET: 1 of 1

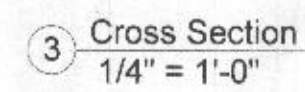
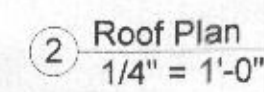
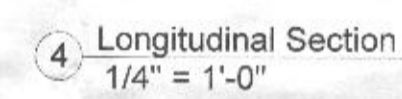
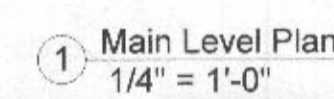
CONCEPT PLAN

18235 PENN SHOP ROAD
PARCEL 84 MAP 6 GRID 4
LIBER 8686 FOLIO 536
HOWARD COUNTY, MARYLAND

POTOMAC VALLEY

SURVEYS
20010 FISHER AVENUE, SUITE F
POOLESVILLE, MARYLAND
1-888-349-5090

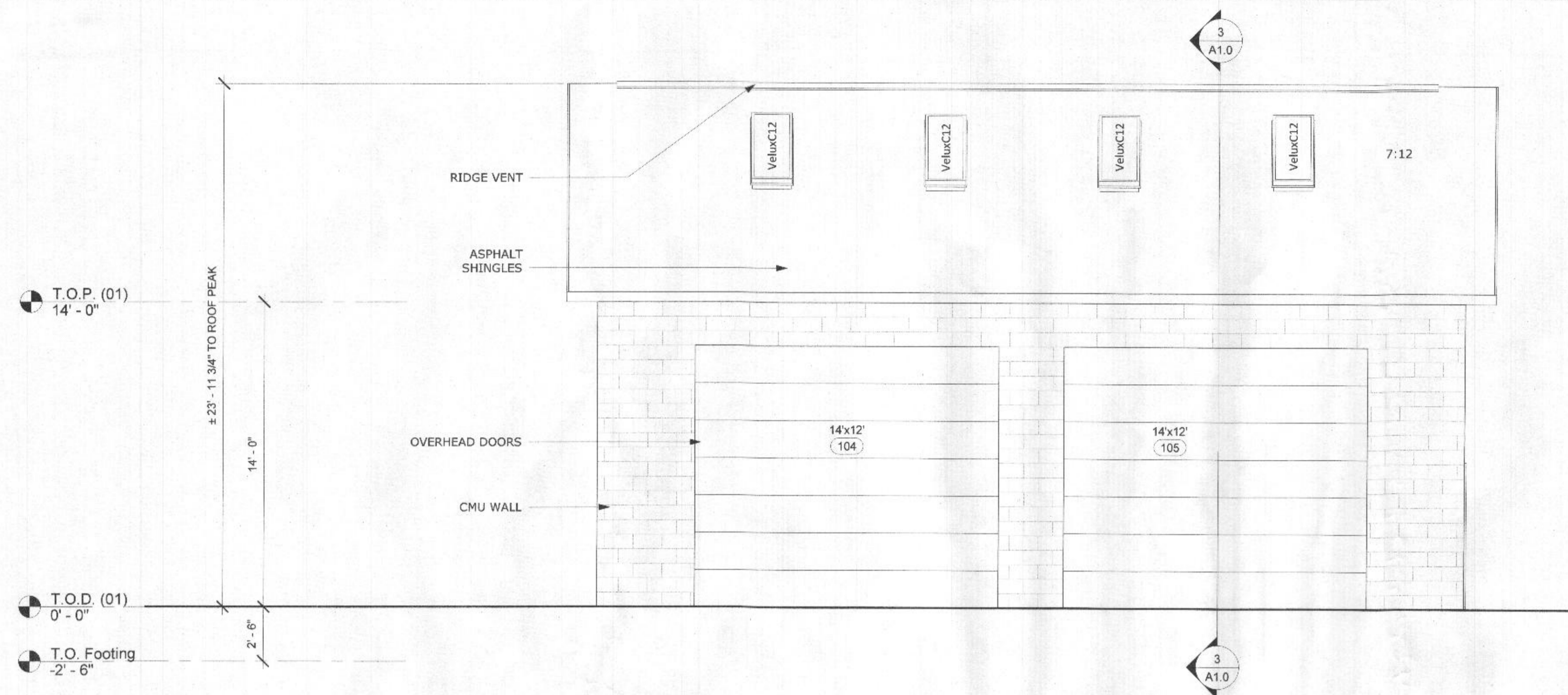




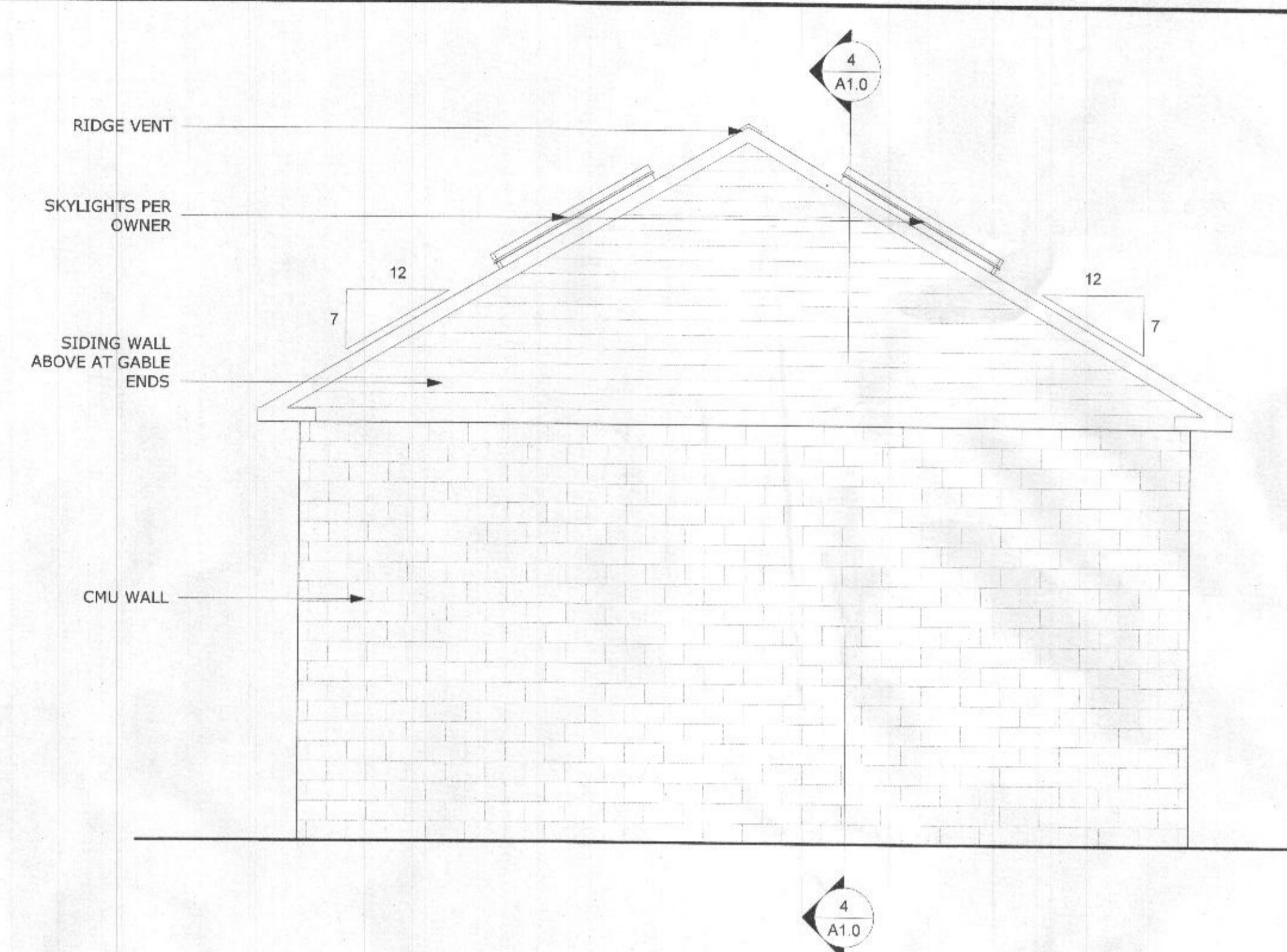
Professional Engineer Seal for the State of Maryland, License No. 17724, Architect.

18235 Penn Shop Road,
Mount Airy MD 21771

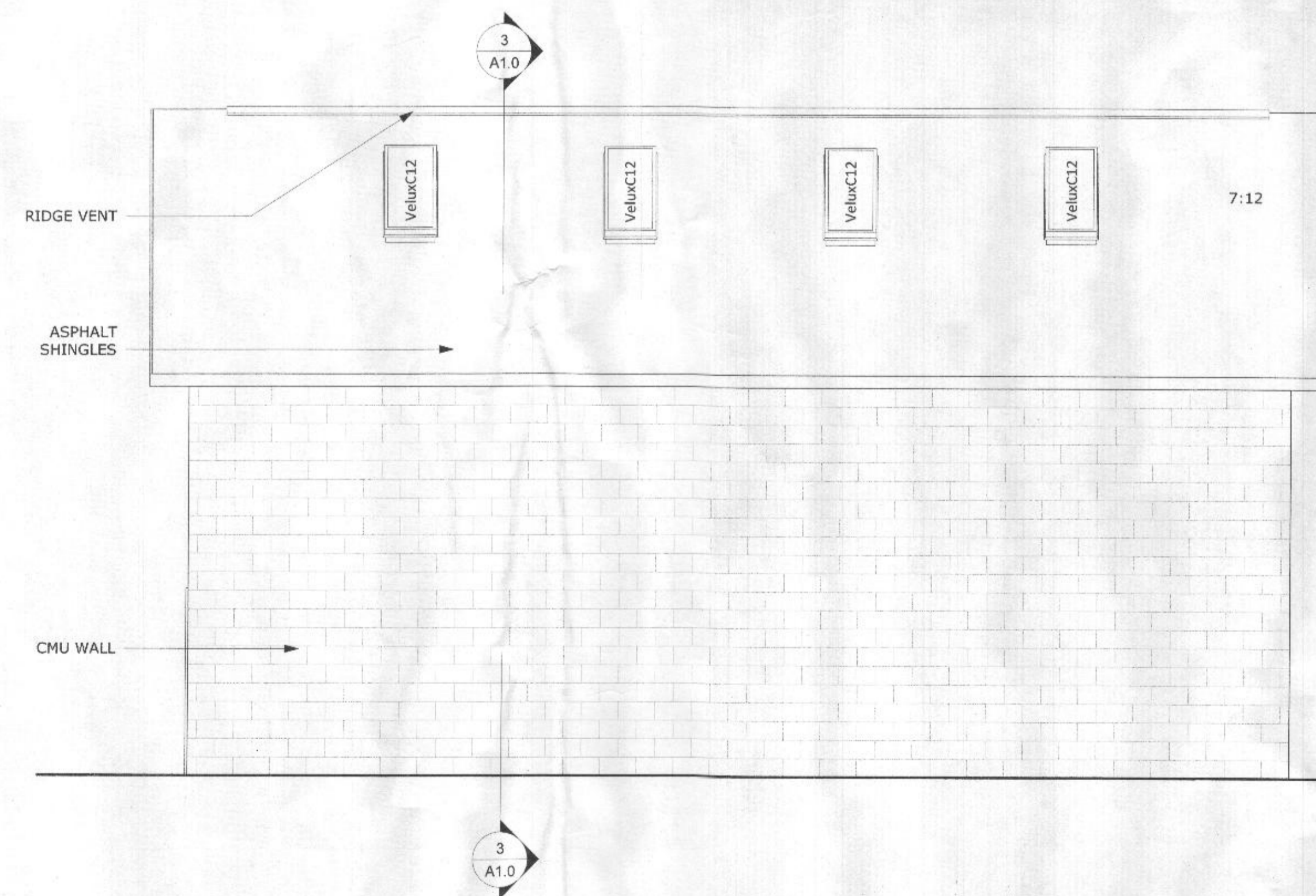
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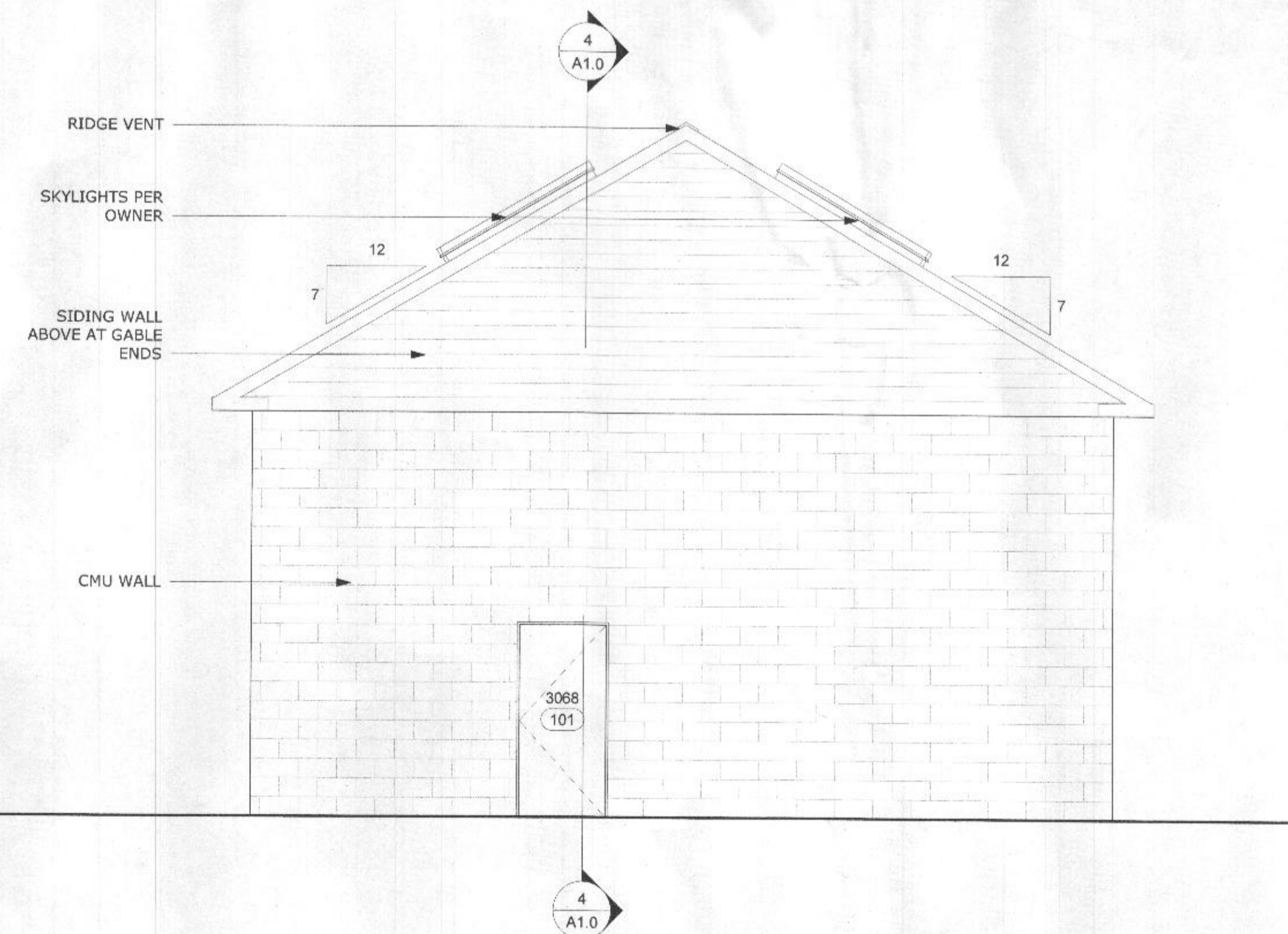
1 Front Elevation
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"



3 Rear Elevation
1/4" = 1'-0"



4 Right Elevation
1/4" = 1'-0"

mcdstudio
4948 St. Elmo Ave, Suite 304
Bethesda, MD 20814
P: (301) 215-7277
www.mcdstudio.com



**McC Campbell
Garage**
18235 Penn Shop Road,
Mount Airy MD 21771

Project Number: 17-013
Client Name:
Russ McC Campbell

Project Status:
☐ As Built: Conditions
☐ Preliminary Design
☐ Design Development
☒ Permit Submission
☐ Construction Documents
☐ Construction Administration
☐ Other

Drawing Issue Date: 11-29-2017

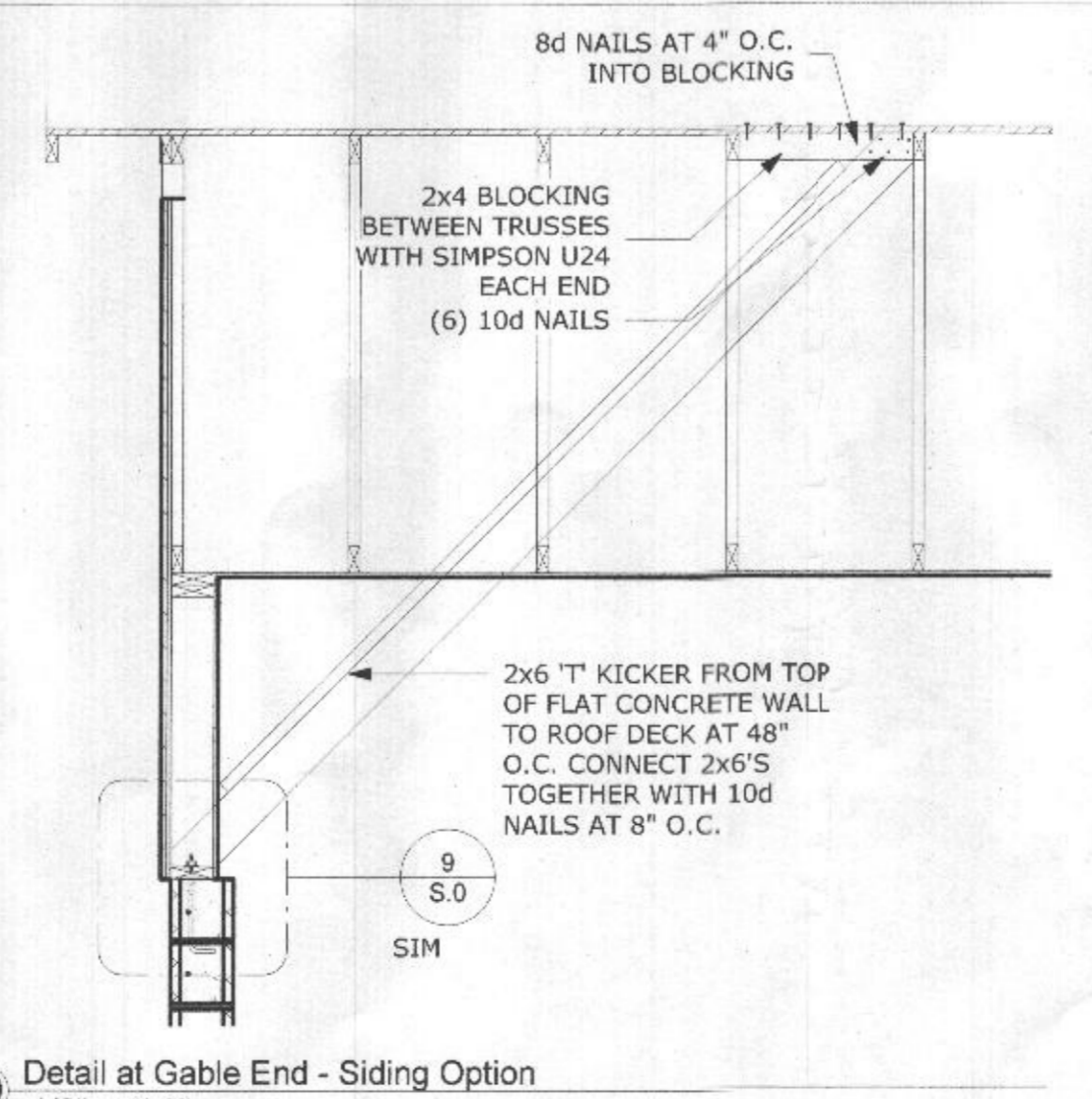
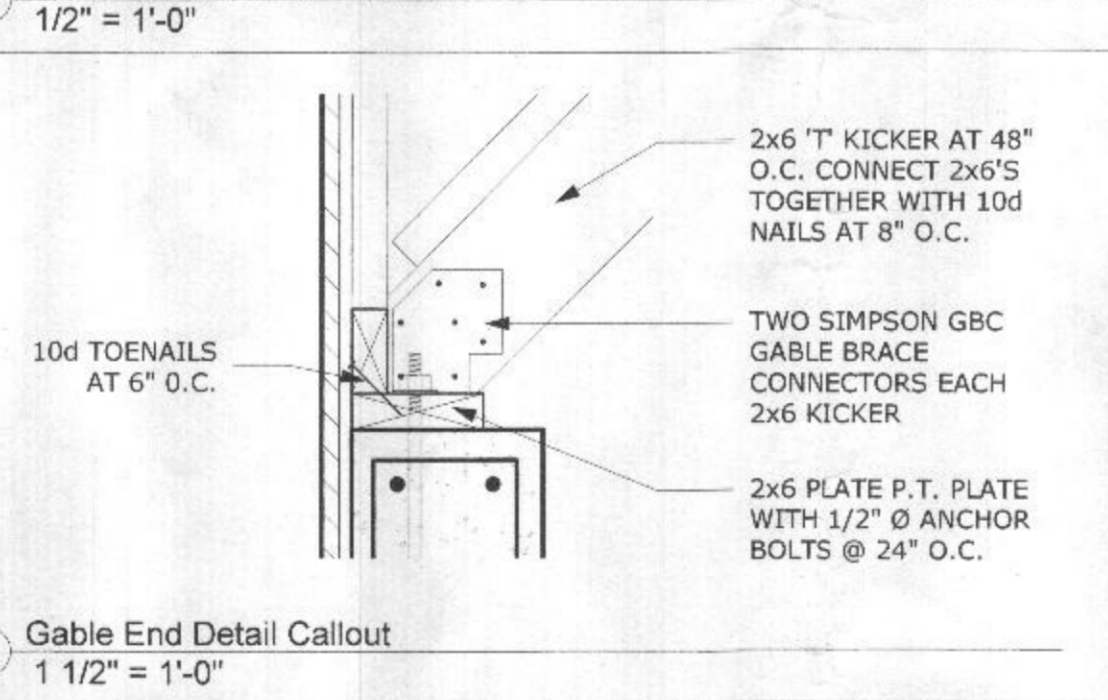
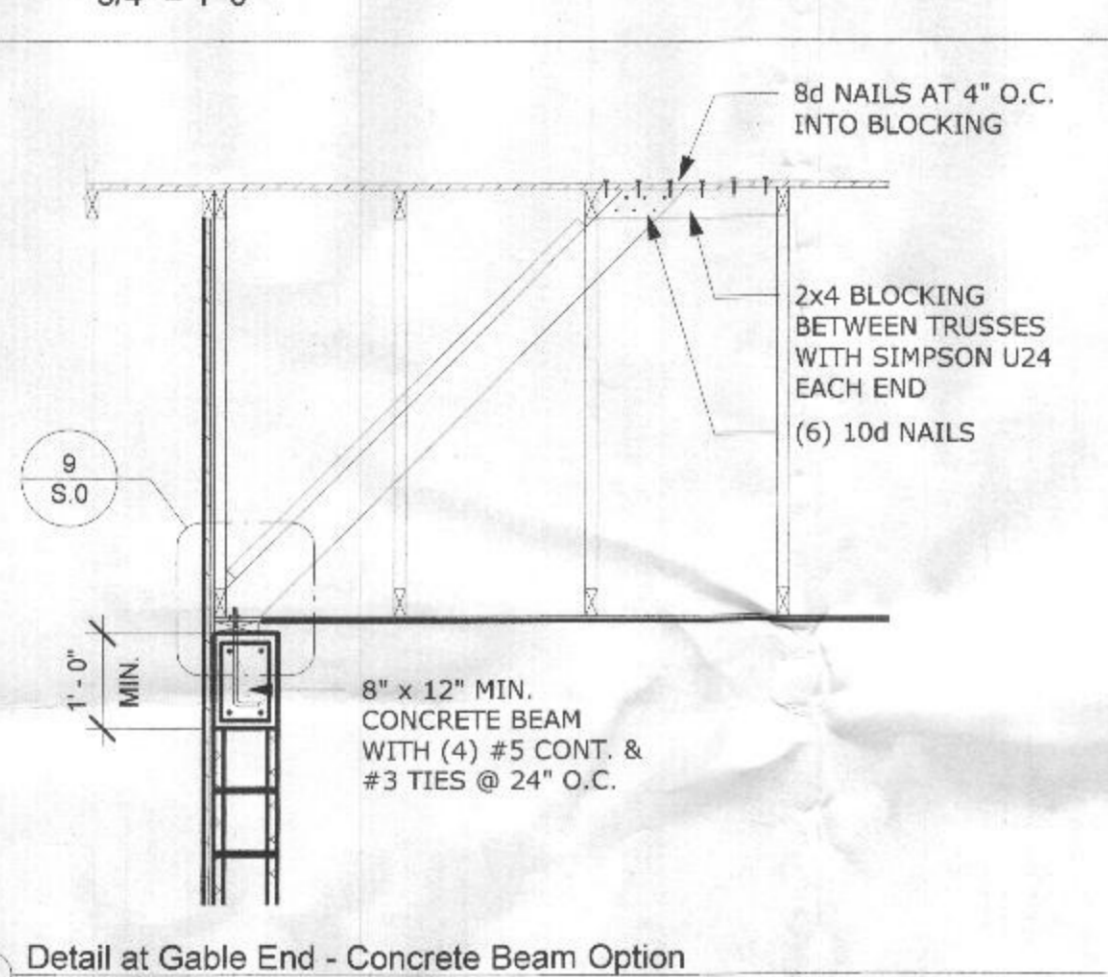
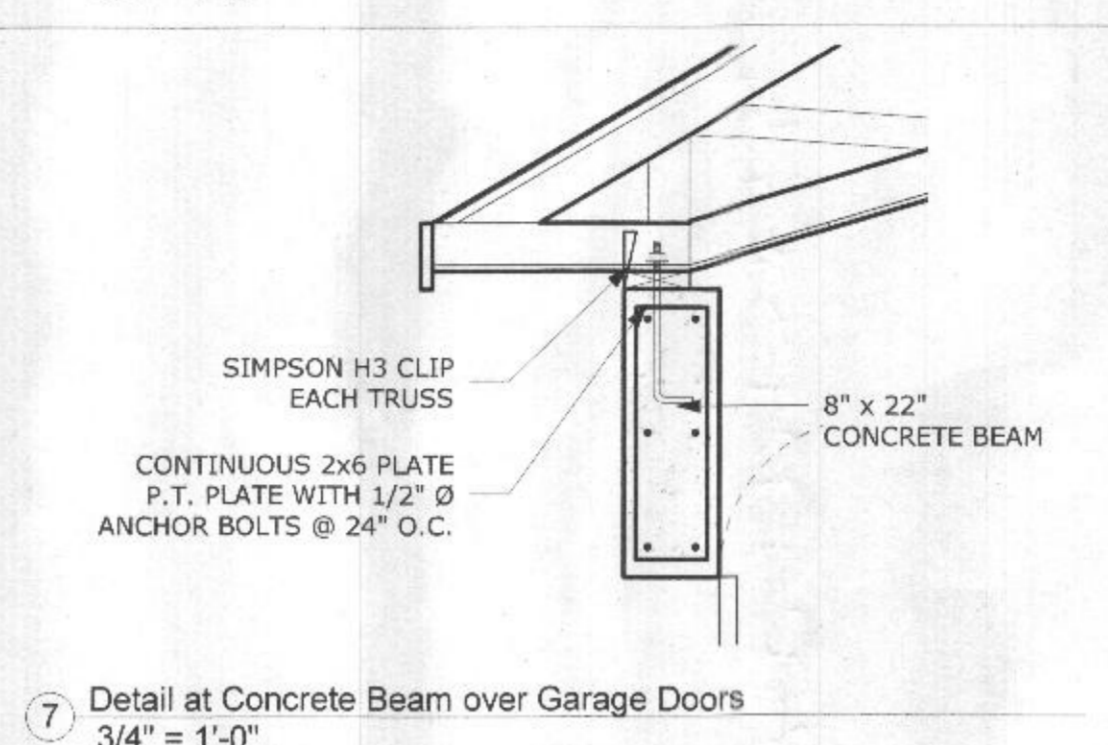
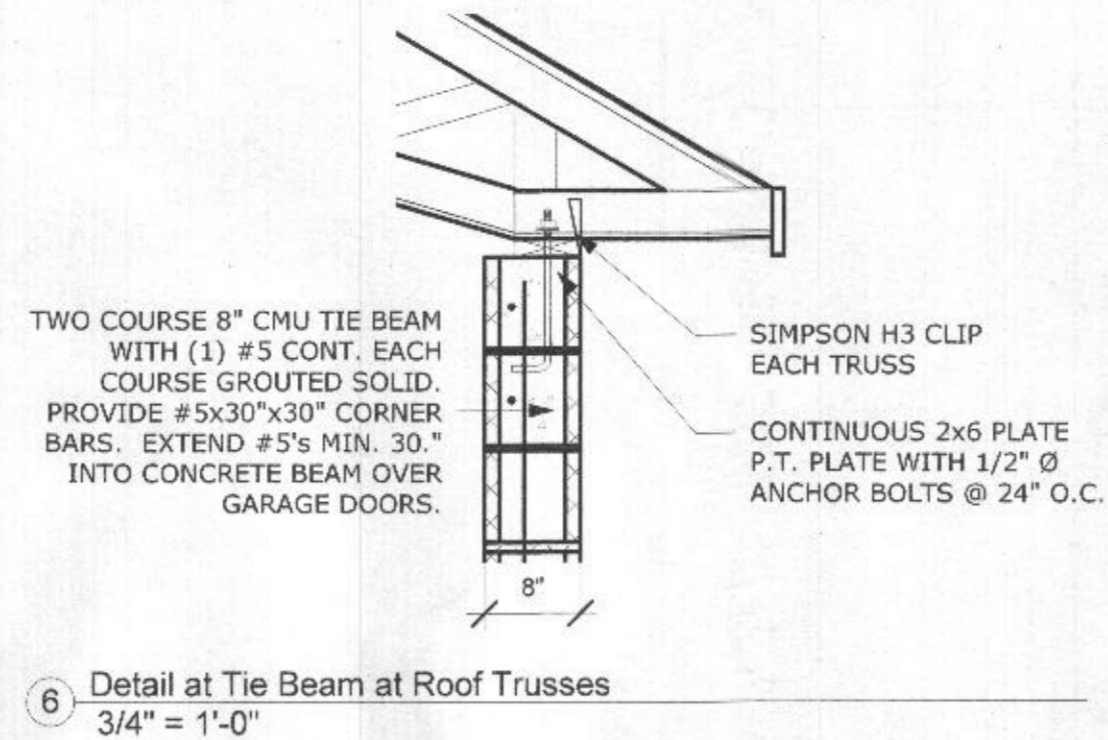
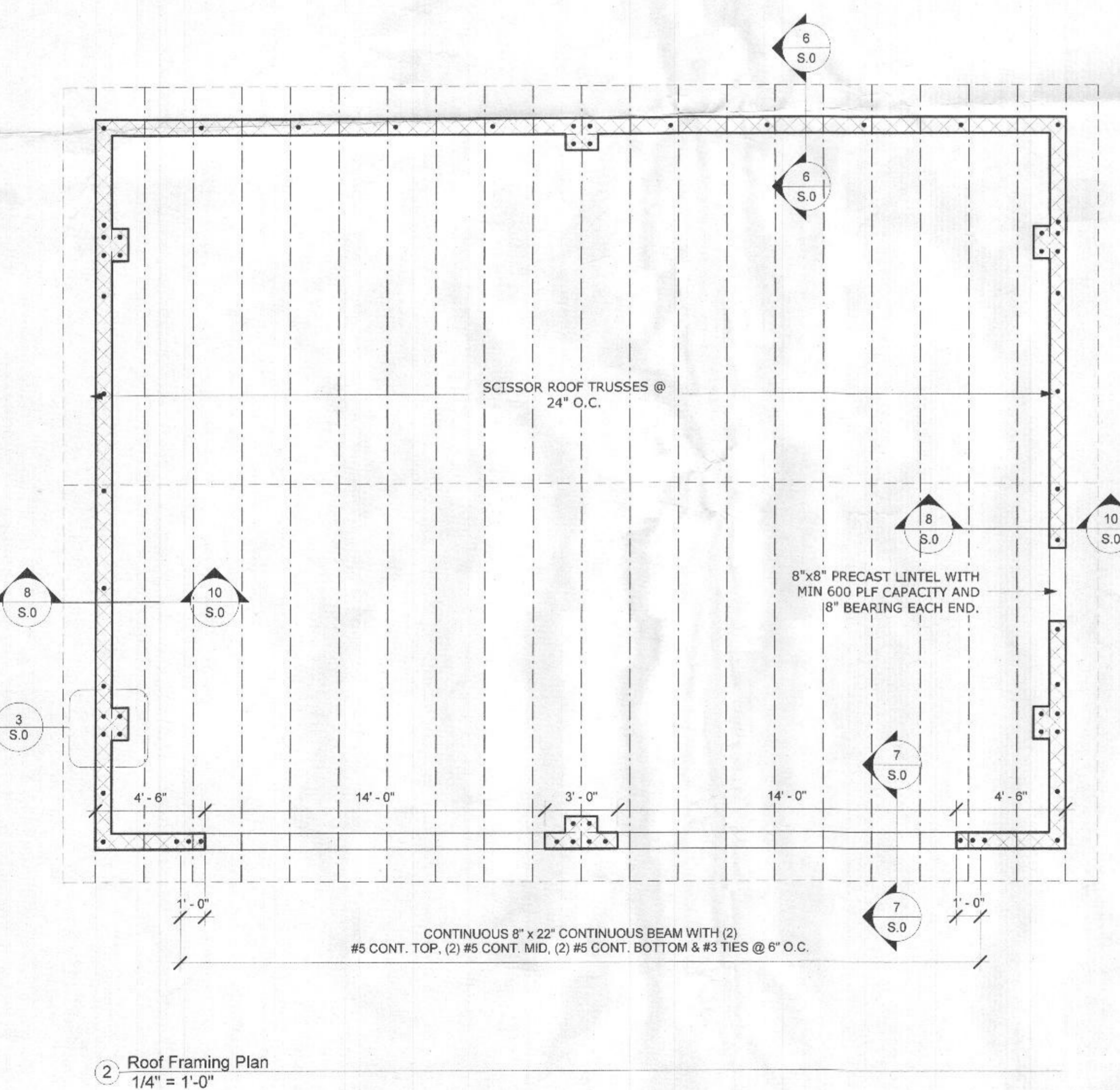
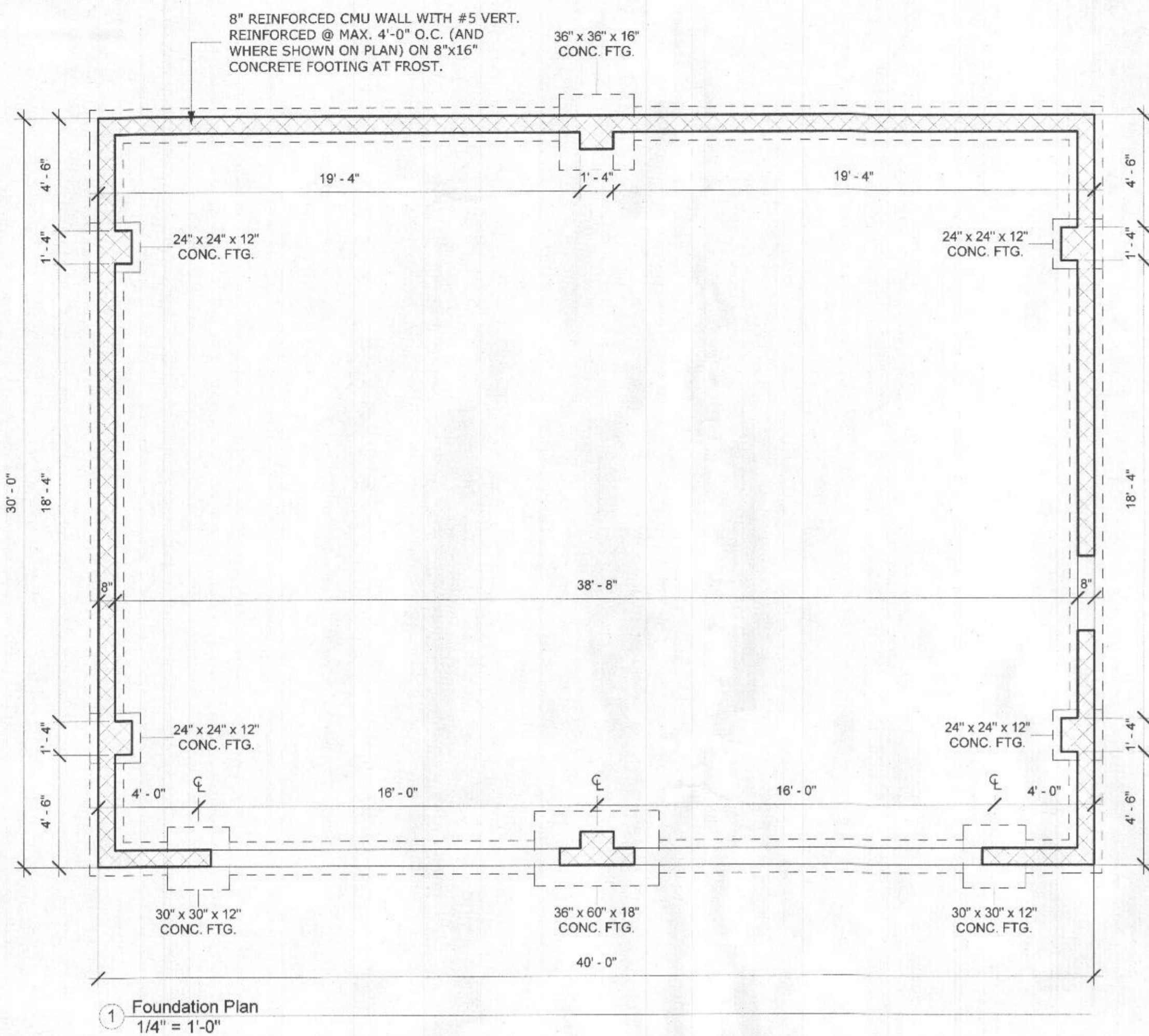
Revision Schedule		
No.	Description	Date

Actual Plot Date: 11/29/2017 3:56:21 PM
Drawn by: JV
Checked by: MCD
Scale: 1/4" = 1'-0"
Sheet Name:

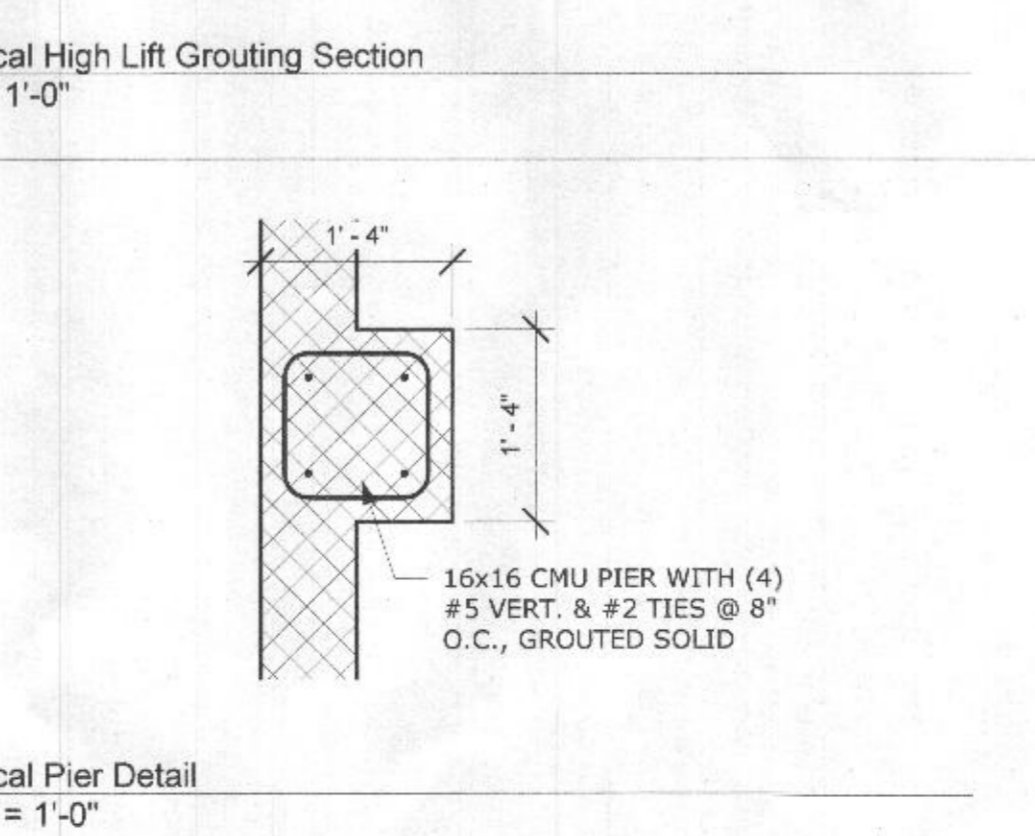
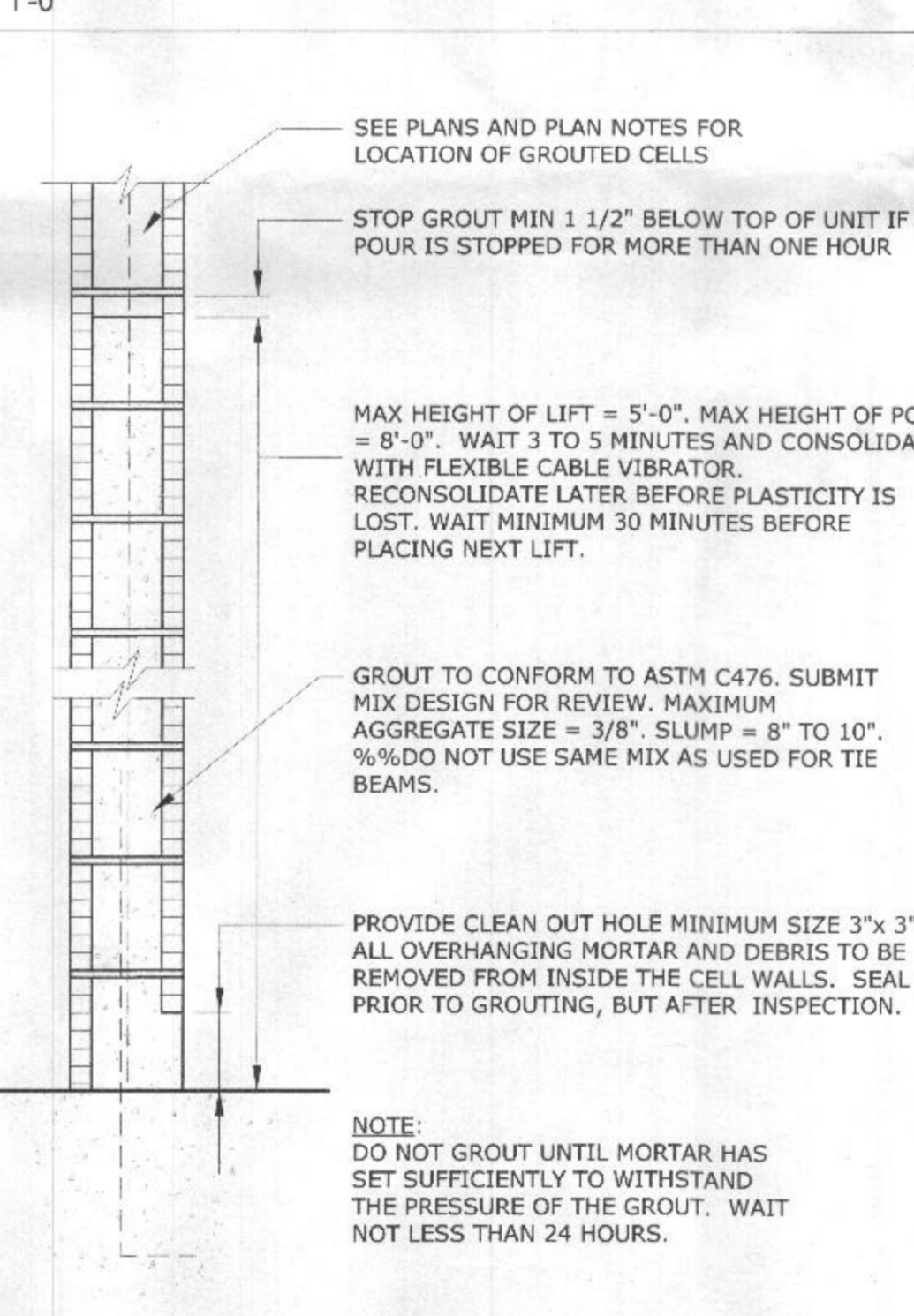
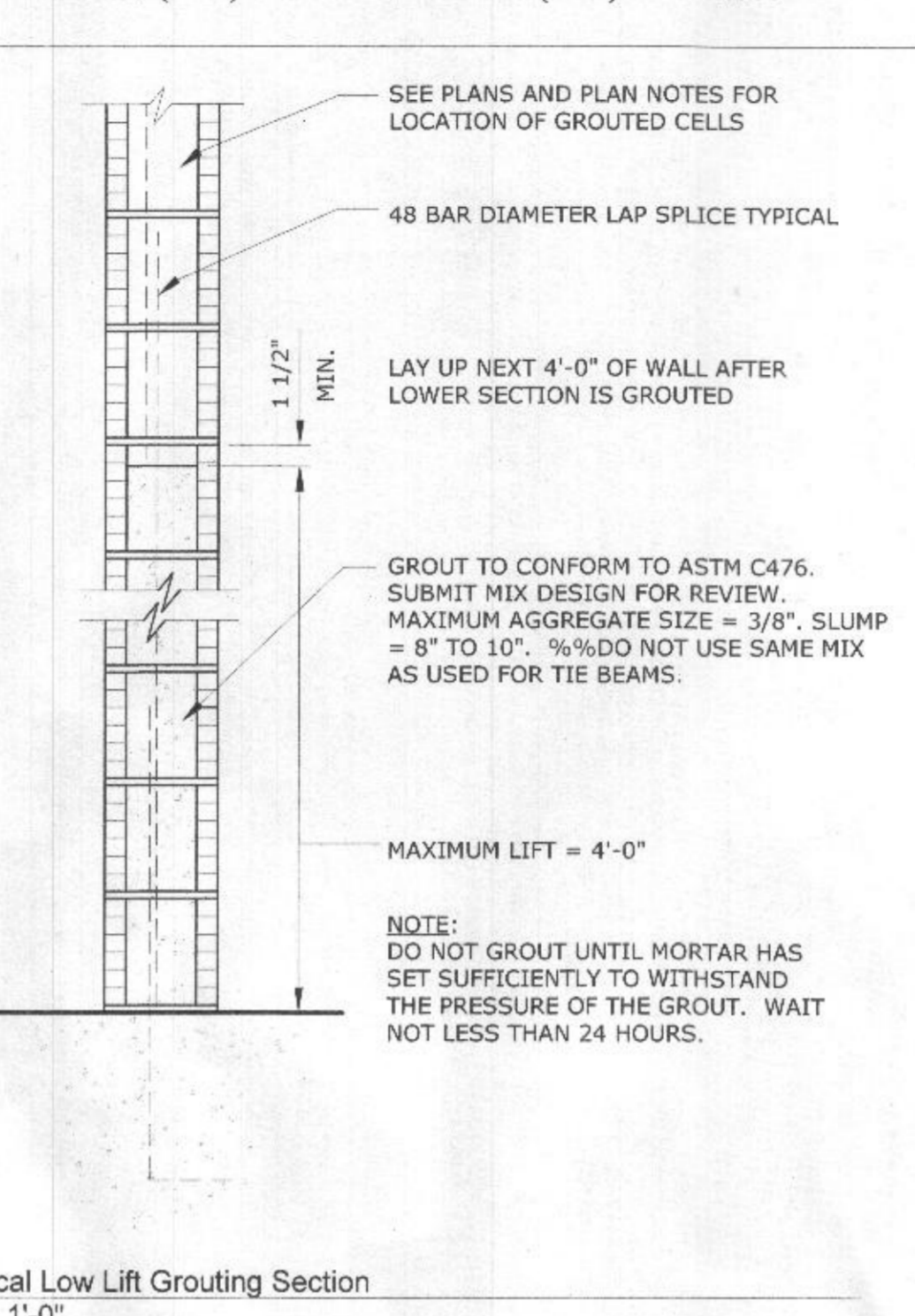
Elevations

Sheet
Number:

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KSE ENGINEERING
1900 AM Drive, Ste. 201, Quakertown, PA 18951
Phone: (215) 541-1068 FAX: (215) 804-4459



- GENERAL STRUCTURAL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND SAFE INSTALLATION OF ANY AND ALL TEMPORARY SHORING REQUIRED FOR THIS PROJECT.
 - DESIGN IS BASED ON THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE.
 - DESIGN LIVE LOADS:
ROOF = 16 PSF (4:12 OR GREATER ROOF SLOPE)
GROUND SNOW LOAD = 30 PSF
LOAD DUR. FACTOR = 1.15
 - ASSUMED ALLOWABLE SOIL BEARING = 2,000 PSF
 - BASIC DESIGN WIND VELOCITY = 115 MPH, EXPOSURE B, RISK CATEGORY II.
 - SEISMIC DESIGN CATEGORY B, $S_s = 0.124$, $S_1 = 0.051$, SITE CLASS D, RISK CATEGORY II.
- CONCRETE**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318 LATEST EDITION, AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301.
 - ALL CONCRETE SHALL HAVE AN $f'_c = 3,500$ PSI @ 28 DAYS. PROVIDE 4%-7% AIR ENTRAINMENT, MAXIMUM WATER TO CEMENT RATIO OF 0.50. ALL CONCRETE SHALL HAVE A SLUMP OF 4" PLUS OR MINUS 1".
 - CONCRETE MIX DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 CHAPTER 3, METHOD 1 OR METHOD 2. SUBMIT BACKUP DATA IF REQUIRED.
 - ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
 - MINIMUM LAP SPLICES ON ALL REINFORCING BAR SPLICES SHALL BE 48 BAR DIAMETERS.
- WOOD FRAMING**
- WOOD CONSTRUCTION SHALL CONFORM TO THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
 - ALL WOOD SHALL BE SPRUCE-PINE-FIR, NO. 2 GRADE. PRESSURE TREATED WOOD TO BE SOUTHERN PINE, NO. 2 GRADE.
 - ALL NAILS SHALL BE COMMON NAILS, UNLESS NOTED OTHERWISE.
 - ALL HANGERS AND OTHER LIGHT GAUGE METAL WOOD CONNECTORS SHALL BE GALVANIZED, AND AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY.
- PREFABRICATED WOOD TRUSSES**
- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS AS SPECIFIED IN THE PLAN NOTES. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE AMERICAN FOREST AND PAPER ASSOCIATION.
 - TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 15% FOR SNOW LOADS) TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
 - TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND DESIGN NOTES WITH AN ENGINEER'S SEAL FOR APPROVAL BY THE ARCHITECT. DESIGN NOTES TO INCLUDE THE RATED LOAD CAPACITY OF THE CONNECTORS USED TO SECURE THE MEMBERS, CERTIFICATION OF THE CONNECTOR CAPACITIES AND MANUFACTURER'S LICENSE TO FABRICATE TRUSSES UTILIZING THE CONNECTOR SYSTEM PROPOSED.
 - THE CONTRACTOR SHALL APPROVE FABRICATION AND INSTALLATION DRAWINGS SHOWING SIZE, SHAPE AND LAYOUT PRIOR TO SUBMITTAL FOR REVIEW BY THE ARCHITECT AND BEFORE FABRICATION HAS BEGUN.
 - BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY TRUSS MANUFACTURER UNLESS NOTED ON PLANS.
 - DESIGN DEAD LOADS FOR TRUSSES SHALL BE NO LESS THAN THOSE STATED BELOW.
ROOF TRUSSES:
TOP CHORD DEAD LOAD 10 PSF
BOTTOM CHORD DEAD LOAD 7 PSF
- MASONRY WALL CONSTRUCTION**
- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, TYPE 2, CONFORMING TO ASTM C90, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2150 PSI ($f_m = 1500$ PSI)
 - MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270
 - COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.
 - ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530 LATEST EDITION, AND "SPECIFICATION FOR MASONRY STRUCTURES," ACI 530.1, LATEST EDITION.
 - VERTICAL REINFORCEMENT SHALL BE E AS NOTED ON THE DRAWINGS WITH CELLS FILLED WITH COARSE GROUT.
 - VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 8'-0". REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL TYPICAL UNLESS OTHERWISE NOTED. SEE TYPICAL GROUTING DETAILS FOR ADDITIONAL INFORMATION.
 - REINFORCING STEEL SHALL BE LAPPED MINIMUM 48 BAR DIAMETERS.
 - HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD LADDER OR TRUSS OR EQUAL AT 16" O.C., UNLESS SHOWN OTHERWISE ON THE DRAWINGS. DUR-O-WAL TYPE.
 - SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6". LAP WITH STANDARD "T" AND "L" SHAPED PIECES AT INTERSECTIONS AND CORNERS.

mcdstudio
4948 St. Elmo Ave, Suite 304
Bethesda, MD 20814
P: (301) 215-7277
www.mcdstudio.com



McCampbell Garage
18235 Penn Shop Road,
Mount Airy MD 21771

Project Number: 17-013
Client Name: Russ McCampbell
Project Status:
☐ As Built Conditions
☐ Preliminary Design
☐ Design Development
☒ Permit Submission
☐ Construction Documents
☐ Construction Administration
☐ Other
Drawing Issue Date: 11-29-2017

Revision Schedule		
No.	Description	Date

Actual Plot Date: 11/29/2017 4:59:25 PM
Drawn by: JV
Checked by: KSE
Scale: As indicated
Sheet Name:

Foundation and Roof Framing Plan, Structural Details

Sheet Number: **S.0**



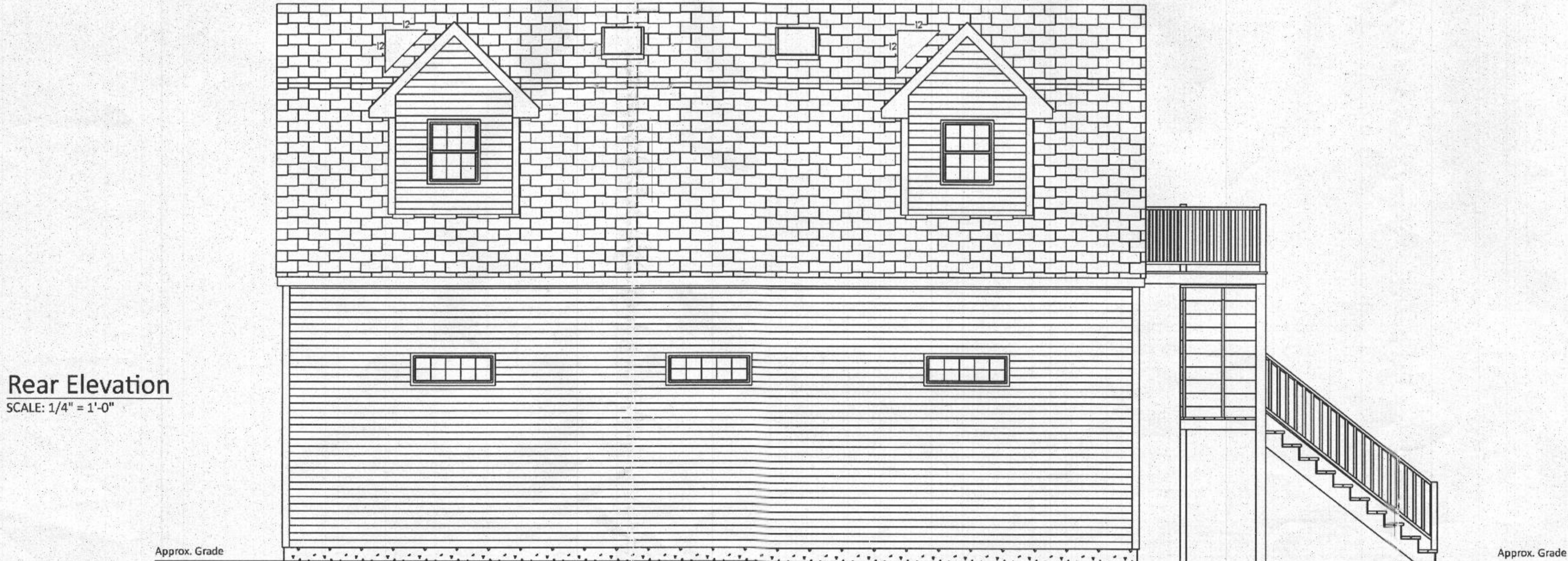
Front Elevation
SCALE: 1/4" = 1'-0"



Left Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS		
DESCRIPTION OF BUILDING ELEMENTS	NO. AND TYPE OF FASTENER	SPACING OF FASTENERS
CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d	-----
CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	(3) 10d	-----
COLLAR TIE RAFTER, FACE NAIL	(3) 10d	-----
RAFTER TO PLATE, TOE NAIL	(2) 16d	-----
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, TOE NAIL	(4) 16d	-----
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP HEADER, TWO PIECE	16d	36" O.C. ALONG EA. EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d	-----
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, MINIMUM 1/8" INCH OFFSET OF END JOINTS, FACE NAIL IN LAPED AREA	(8) 16d	-----
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	(3) 16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	(2) 16d	-----
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	(2) 10d	-----
JOIST TO SILL OR GIRDER, TOE NAIL	(3) 8d	-----
RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATION ALSO)	8d	6" O.C.
BUILT-UP GIRDERS AND BEAMS: 2 INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND CROSSING TWO WALLS AT ENDS AND AT EACH JOIST.
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF: 1) INTERIOR WALL SHEATHING TO FRAMING AND PARTITION WALL SHEATHING TO FRAMING		
5/16" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 6d COMMON NAIL (ROOF)	6 12
3/4" - 1"	6d COMMON NAIL	6 12
1 1/4" GYPSUM SHEATHING	1) 7" ADVANCED ROOFING NAIL, STAPLE GALVANIZED, 1" LONG, 1/2" SCREWS, TYPE W OR S	7 7
1 1/2" GYPSUM SHEATHING	1) 7" ADVANCED ROOFING NAIL, STAPLE GALVANIZED, 1" LONG, 1/2" SCREWS, TYPE W OR S	7 7

ALTERNATE ATTACHMENTS			
NOM. MATERIAL THICKNESS (INCHES)	DESCRIPTION OF FASTENER AND LENGTH (INCHES)	SPACING OF FASTENERS	
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF: (1) INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING			
UP TO $\frac{1}{2}$ "	STAPLES 15 GA. $1\frac{3}{4}$ "	4	8
	NAIL 2 $\frac{1}{4}$ "	3	6
	STAPLES 16 GA. $1\frac{3}{4}$ "	3	6
$\frac{3}{32}$ AND $\frac{3}{4}$	STAPLES 14 GA. 2	4	8
	STAPLES 15 GA. $1\frac{3}{4}$ "	3	6
	NAIL 2 $\frac{1}{4}$ "	4	8

TABLE 602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES									
MINIMUM NAIL SIZE	MINIMUM WOOD STRUCTURAL PANEL THICKNESS (INCHES)	MINIMUM WOOD STRUCTURAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (MPH)			
				EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	WIND EXPOSURE CATEGORY			
SIZE	PENETRATION (INCHES)					B	C	D	
6d COMMON (2.0" X 0.113")	1.5	24/0	8/8	6	12	110	90	85	
8d COMMON (2.5" X 0.131")	1.75	24/16	7/16	6	12	130	110	105	
				24	6	110	90	85	

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE.
 - BUILDER MUST VERIFY ALL DIMENSIONS AND ACCURACY BEFORE CONSTRUCTION.
 - WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
 - ALL STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS OTHERWISE NOTED.
 - IF APPLICABLE, WHERE GARAGE IS ATTACHED TO DWELLING UNIT, A (1) HOUR FIRE SEPARATION SHALL BE PROVIDED. (1 LAYER 1/2" DRYWALL) DOORS BETWEEN AREAS TO 30 MIN. C-LABEL DOOR WITH FIRE-CODE JAMB.
 - ANY WOOD IN CONTACT WITH MASONRY TO BE PRESSURE-TREATED WOOD.
 - GRADE MUST SLOPE AWAY FROM STRUCTURE.
 - WOOD FRAMING TO BE MIN 8" FROM GRADE LEVEL, EXCEPT AT DOORWAYS.
 - WOOD TRUSSES SHALL BE DESIGNED BY A REGISTERED ENGINEER, BUILDER MUST PROVIDE CUT SHEETS TO CODE OFFICIAL PRIOR TO INSTALLATION.
 - WALL BRACING PROVIDED BY CONTINUOUS SHEATHING METHODS AS PER SECTION 602.10.
 - TEMPERED GLAZING REQUIREMENTS:
 - (1) - IN WINDOWS & DOORS WITHIN (18) INCHES OF WALKING SURFACE
 - (2) - IN ANY INDIVIDUAL PANEL GREATER THAN (9) SQ. FT.
 - (3) - IN WINDOWS WITHIN (24) INCHES OF ANY OPENABLE DOOR WHEN DOOR IS IN CLOSED POSITION
 - BUILDING AREA = 1,200 S.F.
 - BUILDING VOLUME = 14,800 C.F.

CODE & LOADING INFORMATION	CONTACT INFORMATION
LOADING NOTES <ul style="list-style-type: none">- 1st FLOOR SLAB ON GRADE- 2nd FLOOR LIVE = 30 PSF- SNOW LIVE = 25 PSF- DEAD LOADS = 10 PSF- BASIC WIND SPEED = 115 MPH Exposure class B- FROST LINE DEPTH = 30"	OWNER: Tom Huber 11725 Wayneridge St. Fulton, MD 20759 Phone: 240-604-1979
	ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS
	THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS. THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM ARCHITECT. ANY STRUCTURAL CHANGES THAT AFFECT THESE DRAWINGS MUST BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION

E.S.					
FINAL					
4/27/18					



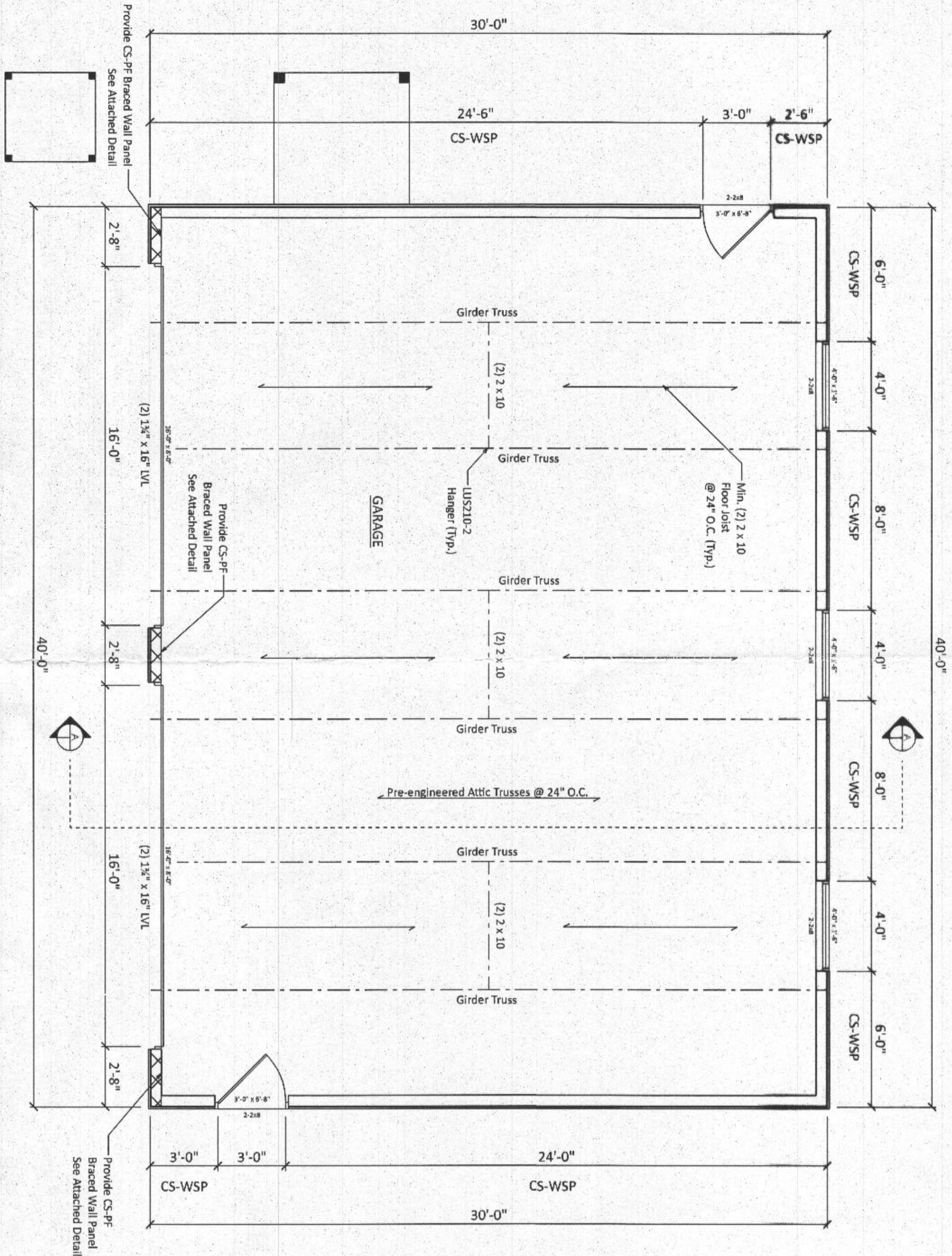
MOTLEY ASSOCIATES
INC.
505 LANCASTER AVE.
SHILLINGTON, PA 19607
PHONE: 610-334-8065
EMAIL: p.motley@motleyassoc.com

DRAFTING
CONCEPTS LLC
ARCHITECTURAL
DRAFTING
5219 OLD STRASBURG RD.
KINZERS, PA. 17936
JOHN R. ESH 717-442-5083

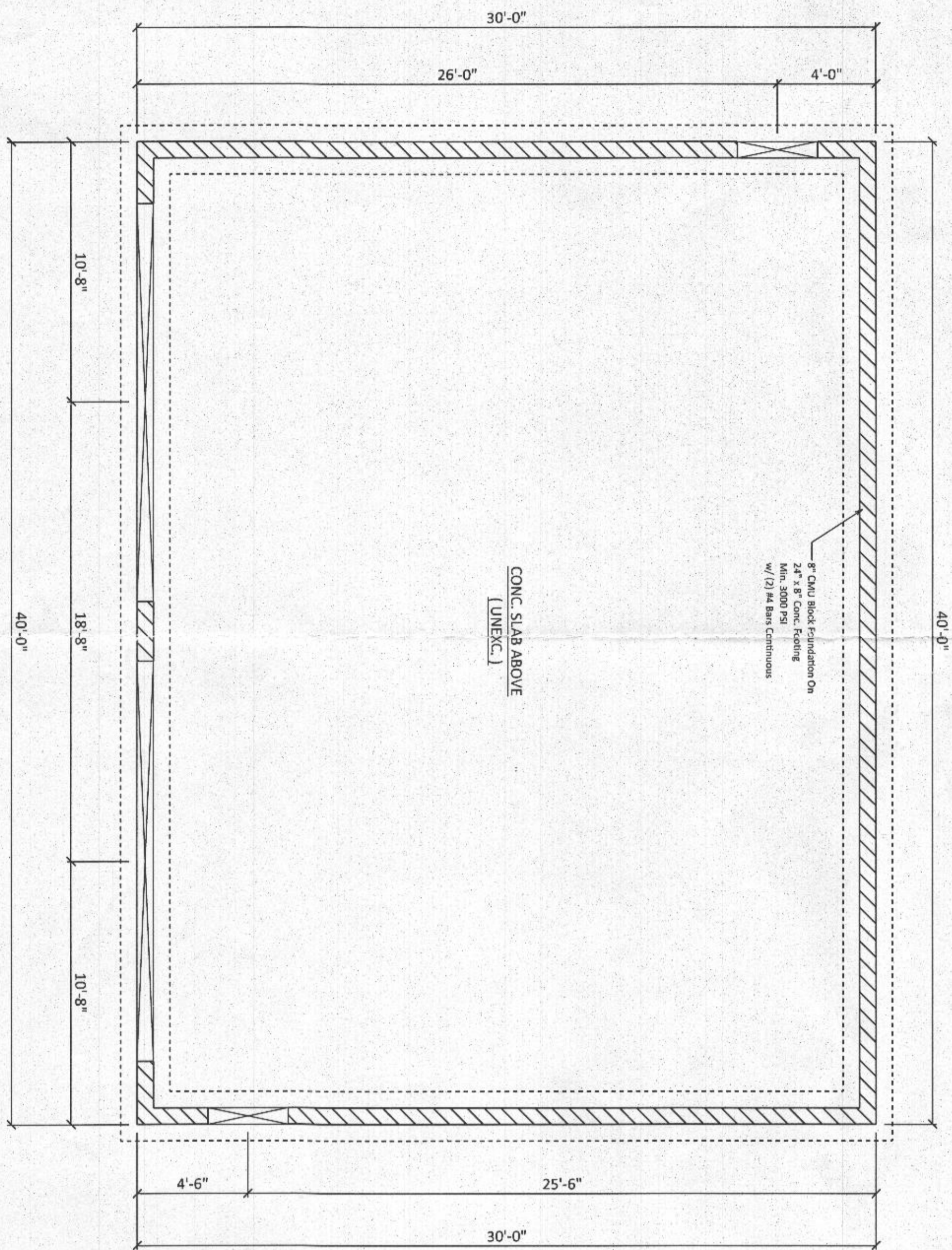
CONTRACTOR:
AMISH BUILT, INC.
1390 COLUMBIA AVE.
LANCASTER, PA 17603
PHONE: 717-850-3637

A NEW GARAGE FOR:
Tom Huber
11725 Wayneridge St.
Fulton, MD 20759

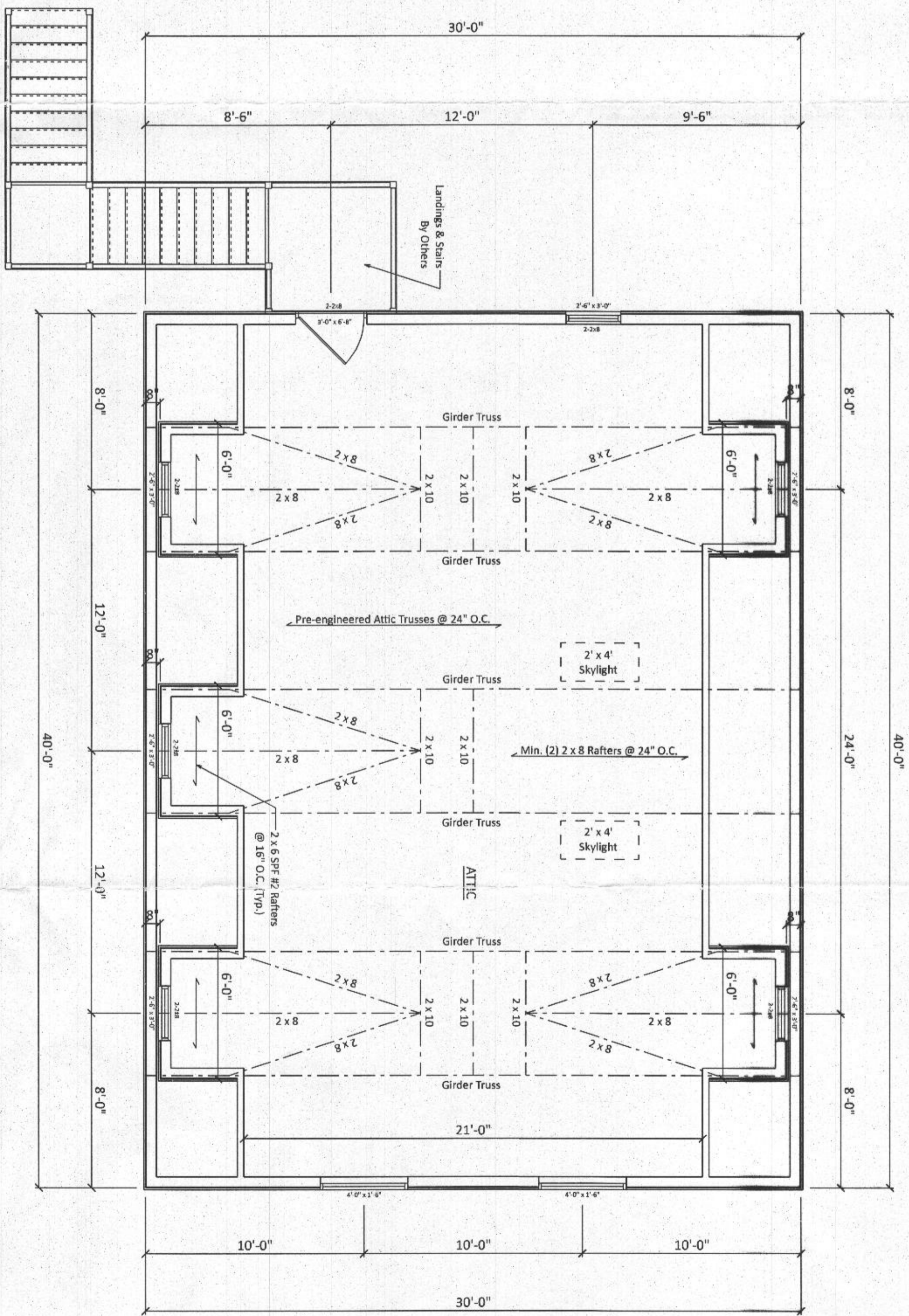
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DATE: 4/24/18
SCALE: AS NOTED
DRAWING NO: D316-18
1



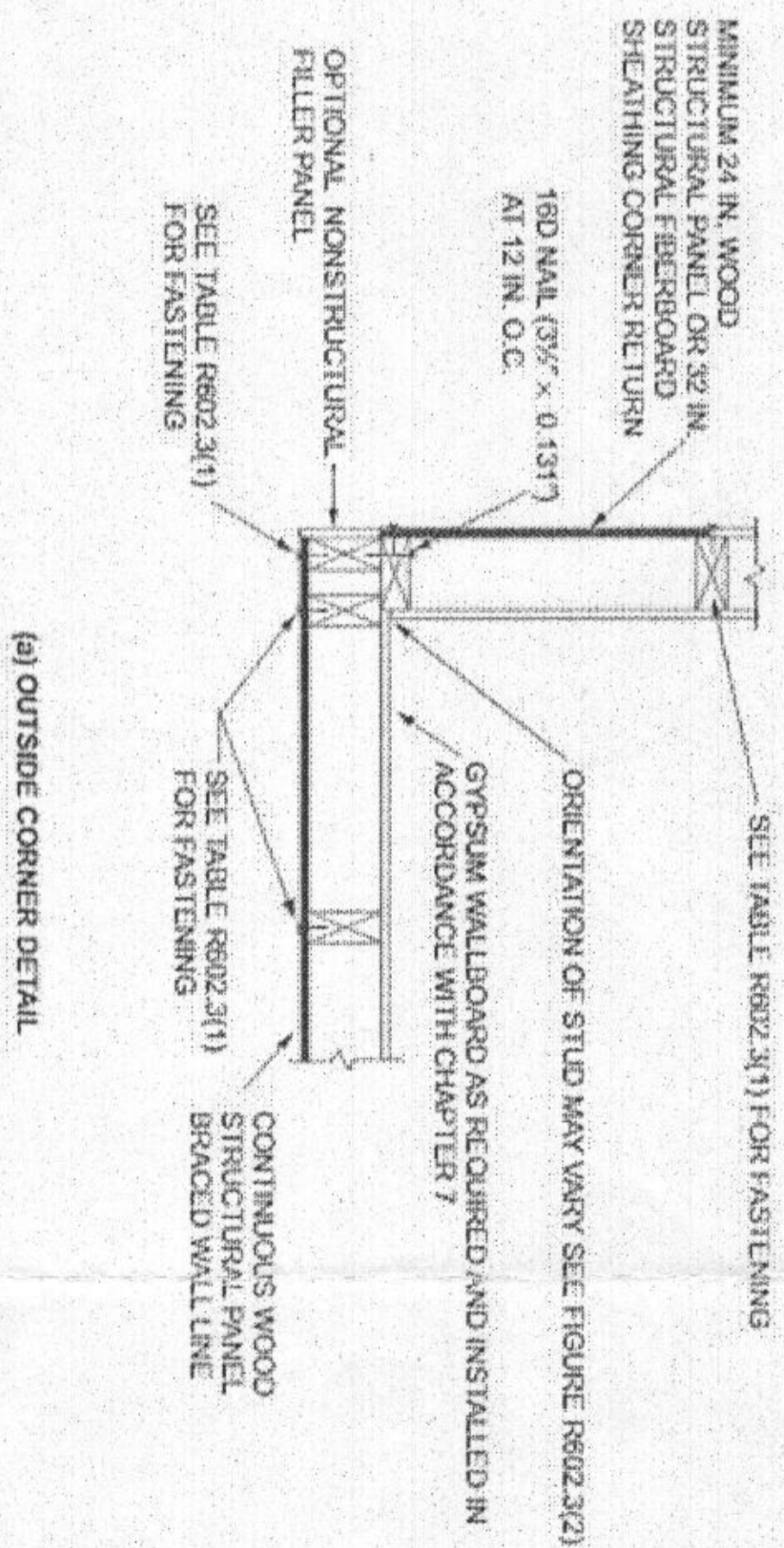
First Floor Plan
SCALE: 1/4" = 3'-0"



Foundation Plan



Second Floor Plan
SCALE: 1/4" = 1'-0"



(a) OUTSIDE CORNER DETAIL

[illegible]

**MOTLEY ASSOCIATES
INC.**
505 LANCASTER AVE.
SHILLINGTON, PA 19607
PHONE: 610-334-8065
EMAIL: p.motley@motleyassoci.com



ARCHITECTURAL DRAFTING

5219 OLD STRASBURG RD.
KINZERS, PA. 17535
JOHN R. ESH 717-442-5053

CONTRACTOR:

AMISH BUILT, INC
1390 COLUMBIA AVE.
LANCASTER, PA 17603
PHONE: 717-850-3637

A NEW GARAGE FOR:
Tom Huber
11725 Wayneridge St.
Fulton, MD 20759

Floor plans

DATE:	4/24/18
SCALE:	AS NOTED
DRAWING NO:	D316-18

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GEORGE CONSTRUCTION

