



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 14830 Tandelphia Rd
City: Howard County State: MD Zip Code: 21737
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
Proposed Use: _____

Estimated Construction Cost: \$ 150,000

Description of Work: BEDROOM and Dining room addition, relocate Bathroom

Occupant/Tenant Name: Brian Picker

Was tenant space previously occupied? ☐ Yes ☐ No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: Brian and Ginger Picker
Address: 14830 Tandelphia Rd
City: Howard Ct State: MD Zip Code: _____
Phone: 413-398-0266 Fax: _____
Email: bpicker@southerntrust.com

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: SMITHOUSE CONSTRUCTION
Contact Person: Joe Gotschick
Address: 2312 Cockysville Rd
City: Cockysville State: MD Zip Code: 21070
License No.: 90373
Phone: 443-299-9451 Fax: _____
Email: js@smithouseconstruction.com

Engineer/Architect Company: CW ARCHITECTS

Responsible Design Prof.: _____

Address: 11312 Rademark Row

City: Columbia State: MD Zip Code: 21044

Phone: 301-947-5693 Fax: _____

Email: MJohnson@WARCHINC.COM

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>120</u>
	2 nd floor: <u>365</u>
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☒ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	<u>Multi-family Dwelling</u>
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
> Roadside Tree Project Permit	Footings:
☐ Yes ☒ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities
Electric: ☒ Yes ☐ No
Gas: ☐ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☒ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
Other:
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature

Print Name

Email Address

Date

SMITHOUSE CONSTRUCTION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	4/25/18	[Signature]

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY-CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

DRAWING Proposed/Existing 1ST Floor right Half (no changes)

Exist Kitchen

13x18
family room

Pantry
closet

7x7
mudroom

5x6
Powder

HVAC
chase

11x11
office

Garage

22x20

Proposed/Existing 2nd Floor right half (no changes)

Master bath
12x14

Master suite
22x30

WALKIN
CLOSET



SMITHSON CONSTRUCTION, LLC
272 COCKEYVILLE RD. STATE ROAD
COCKEYVILLE, MD 21030
(410) 238-2122

DRAWING:

Project:
Address:

REVISION

DATE:

SCALE:

SHEET:

CONSTRUCTION DATA

DESIGN LOADS	LIVE	DEAD
FIRST FLOOR	40 PSF	10 PSF
SECOND FLOOR	30 PSF	10 PSF
ATTIC	20 PSF	10 PSF
ROOF	30 PSF	10 PSF
DECK	40 PSF	10 PSF

LUMBER:

LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. LUMBER FOR JOISTS, RAFTERS, BEAMS, POSTS, STUD BEARING AND EXTERIOR STUD WALLS SHALL BE SOUTHERN PINE #2 OR APPROVED EQUIVALENT WITH THE FOLLOWING MINIMUM REQUIREMENTS:

F_b = 1200 psi
F_v = 90 psi
F_c = 565 psi (PERPENDICULAR TO GRAIN)
E = 1,600,000 psi
MAXIMUM MOISTURE CONTENT = 19%, KILN DRIED.

PLYWOOD SHALL BE EXTERIOR GRADE, IDENTIFIED WITH THE DEFA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATION.

WOOD FRAMING:

STUD BEARING AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MID-HEIGHT (BETWEEN FLOOR AND CEILING). ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8" INCH MAXIMUM SPACING, FULL HEIGHT. BRACE EXTERIOR BUILDING CORNERS IN STUD WALLS WITH DIAGONALLY PLACED METAL STRAPS OR PLYWOOD SHEATHING NAILED OR SCREENED TO STUDS.

ROOF TRUSSES:

THESE ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE SPAN, CONFIGURATION AND LOADING CONDITIONS INDICATED ON THE DRAWINGS. DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS". COMPLETE TRUSS LAYOUT, SHOP DETAILS, STRESS DIAGRAMS AND BEARING DETAILS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF TRUSSES. IN LIEU OF STRESS DIAGRAMS MANUFACTURER'S TEST DATA MAY BE SUBMITTED SHOWING THE ALLOWABLE CAPACITY OF THE MEMBERS. TRUSSES SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED, 16 GAUGE, TOOTHED METAL PLATES OR 20 GAUGE, STEEL GUSSET NAILING PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES.

DEMOLITION NOTES

GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL REFERENCES BELOW TO THE CONTRACTOR APPLY TO THE GENERAL CONTRACTOR AND TO ALL SUBCONTRACTORS.
- THIS PROJECT IS SUBJECT TO SITE VISITS BY THE ARCHITECT WHEN REQUESTED BY THE ARCHITECT'S CLIENT.
- THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING STATE AND APPLICABLE COUNTY OR CITY REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK CODES. ALL MATERIALS, CONSTRUCTION TECHNIQUES AND PRACTICES IN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS OF THE STATE AND ITS LOCAL JURISDICTION AS WELL AS ALL APPLICABLE INDUSTRY STANDARDS.
- PERMITS AND TESTS: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND TEST IN CONJUNCTION WITH THE PROJECT.
- INSURANCE: THE CONTRACTOR SHALL OBTAIN AND PAY FOR INSURANCE COVERAGE FOR THE PROTECTION OF LIFE AND PROPERTY.
- CLARIFICATION: IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK.
- BEFORE SUBMITTING TO BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND BECOME FAMILIAR HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL ADJACENT AREAS AND PROPERTIES.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF THE FINISH MATERIALS FOR APPROVAL.
- CONTRACTOR, SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.
- THE WORK PRESENTED IN THIS SET OF PLANS REPRESENTS INTERIOR COMPLETION OF THE EXISTING BUILDING SHELL. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS RELATED TO THIS PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL WORK.
- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE, 2000, AND WITH LOCAL AMENDMENTS.
- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE LIFE SAFETY CODE (NFPA #101), LOCAL AND STATE FIRE CODES AND LATEST IRC 2006.
- DEMOLITION AND REMOVAL AS REQUIRED SHALL BE DONE BY THE CONTRACTOR.
- CONTRACTOR SHALL MOVE DEBRIS, MATERIALS, ETC. TO ALLOW ADEQUATE ACCESS TO OTHER SUBCONTRACTORS.
- CONTRACTOR SHALL PROVIDE A TEMPORARY DUMPSTER FOR TRASH REMOVAL THROUGHOUT CONSTRUCTION.

CONSTRUCTION NOTES

WOOD FRAMING

- PROVIDE STIFFENERS, BRACING BACKUP PLATES, AND OTHER ITEMS OF CONCEALED CONSTRUCTION IN STUD WALLS TO SUPPORT PLUMBING FIXTURES, BATHROOM ACCESSORIES WALL HUNG CABINETS AND OTHER EQUIPMENT.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED WOOD.
- ALL NEW FLOOR JOISTS BEARING INTO EXISTING WALLS MUST HAVE SOLID BEARING.
- ALIGN TOP OF NEW FRAMING FLUSH WITH TOP OF EXISTING.

DOOR AND WINDOWS.

- INSTALL NEW DOORS AS CALLED FOR ON THE DRAWINGS.
 - PROVIDE AND INSTALL NEW WINDOWS AS CALLED FOR ON ELEVATION DRAWINGS.
- FINISHES
- NEW SIDING TO MATCH EXISTING AND SHALL BE SELECTED BY OWNER.
 - NEW ASPHALT SHINGLES TO MATCH EXISTING AND SHALL BE SELECTED BY OWNER.
 - ALL NEW EXTERIOR WALLS TO BE FRAMED WITH 2X6 STUDS 16" O.C. WITH R-20 BATT INSULATION AND FINISHED WITH GYP. BD. AT INTERIOR FACE, UNLESS OTHERWISE NOTED.
 - ALL NEW NON-RATED INTERIOR PARTITIONS TO BE 2X4S AT 16" O.C. FINISHED WITH 1/2" GYP. BD. BOTH SIDES.
 - ALL GYP. BD. WALLS TO RECEIVE PRIMER PLUS TWO COATS OF LATEX PAINT. COLOR TO BE SELECTED BY OWNER.
 - INSTALL HARDWOOD, CARPET AND CERAMIC TILE WHERE CALLED FOR ON DRAWINGS. COLOR TO BE SELECTED BY OWNER. PROVIDE UNDERLAYMENT GRADE SUBFLR.
 - PROVIDE THRESHOLD BETWEEN HARDWOOD AND CERAMIC TILE. PROVIDE MARBLE THRESHOLD AT DOOR TO BATHROOMS.
 - PROVIDE CARPET IN ALL BEDROOMS, SECOND FLOOR HALLWAY, STAIRWAYS, AND ADJACENT CLOSETS.

SPECIALITIES

- LINEN AND PANTRY CLOSETS TO HAVE 5 STACKED WIRE MESH SHELVES TO FIT SIZE OF CLOSET. PROVIDE THE FOLLOWING FULL BATH ACCESSORIES: RECESSED MEDICINE CHEST WITH MIRROR DOOR AND TWO ADJUSTABLE SHELVES, 2 TOWEL HOLDER, TOILET PAPER HOLDER, RECESSED SOAP DISH, SHOWER ROD.

GENERAL NOTES:

MECHANICAL - ELECTRICAL - PLUMBING.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS UTILITY IN ORDER TO ESTABLISH THE LOCATION OF EXISTING UTILITIES, PRIOR TO ANY EXCAVATION, OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES, SUCH AS WATER, SEWER, GAS, ELECTRICAL AND PHONE SERVICES TO THE BUILDING AND FOR ANY UPGRADING THAT MAY BE NECESSARY.

MECHANICAL

- ALL MECHANICAL WORK TO BE DONE BY A CERTIFIED MECHANICAL CONTRACTOR LICENSED IN THE STATE OF MARYLAND.
- THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL OPENINGS, BULKHEADS AND CHASES REQUIRED FOR CLEARANCE AND INSTALLATION OF MECHANICAL DUCTS, COORDINATE WITH OTHER SUBCONTRACTORS, AND NOTIFY OWNER OF ANY CONFLICT.
- CONCEAL ALL DUCTWORK IN CHASE OR BETWEEN JOISTS UNLESS OTHERWISE SPECIFIED. INSULATE ALL DUCTS IN UNHEATED AREAS.

PLUMBING

- ALL THE PLUMBING WORK SHALL BE DONE BY A CERTIFIED PLUMBING CONTRACTOR LICENSED IN THE STATE OF MARYLAND.
- ALL PLUMBING FIXTURES (EXCEPT WATER CLOSETS) SHALL RECEIVE HOT AND COLD WATER SUPPLY.

ELECTRICAL

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE CONSTRUCTION OF A COMPLETE FUNCTIONING ELECTRICAL SYSTEM.
- ALL LABOR AND MATERIALS, ALTHOUGH NOT SPECIFICALLY MENTIONED, BUT NECESSARY FOR THE COMPLETION OF WORK AND THE SUCCESSFUL OPERATION OF THE ELECTRICAL SYSTEMS, SHALL BE SUPPLIED AS IF SPECIFICALLY INDICATED.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, LOCAL BUILDING CODE, AND ALL APPLICABLE CODES.
- MATERIALS AND EQUIPMENT INSTALLED AS PART OF THE PERMANENT INSTALLATION SHALL BE NEW UNLESS OTHERWISE INDICATED AS SPECIFIED, AND

SHALL BE APPROVED BY THE UNDERWRITERS LABORATORIES, INC. FOR INSTALLATION IN EACH PARTICULAR CASE WHERE STANDARDS HAVE BEEN ESTABLISHED.

- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CERTIFICATES OF INSPECTION. ALL FEES AND CHARGES CONNECTED SHALL BE PAID BY THE CONTRACTOR. THE CERTIFICATES SHALL BE DELIVERED TO THE OWNER BEFORE FINAL PAYMENT IS MADE.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL, EQUIPMENT AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER.
- ALL ELECTRICAL WORK SHALL BE DONE BY A CERTIFIED ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF MARYLAND.

NOTES:

- ALL DIMENSIONS ARE DERIVED FROM FIELD MEASUREMENTS OF EXISTING CONDITIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. NOTIFY ARCHITECT IF ANY SUBSTANTIAL DISCREPANCY IS DETERMINED.

APPROVED
WALKTHRU BUILDING PERMIT
BP# _____ A# _____
APP. SAN Robert Brown DATE: 4/25/18
DESC. OF WORK: *bedroom addition, relocate bathroom*

ELECTRICAL LEGEND

- SURFACE MOUNTED FIXTURE
- RECESSED FIXTURE
- EXHAUST FAN
- WALL MOUNTED FIXTURE
- FLUORESCENT FIXTURE
- HIGH WALL MOUNTED TELEPHONE
- TELEPHONE
- WALL SCONCE
- FLOODLIGHT ON PHOTOCELL
- 15 OHM CABLE TV ROUGH-IN
- 208/220 WALL RECEPT. (DRYER)
- RECEPTACLE W/GROUND FAULT INTERRUPTION
- FLOOR MOUNTED RECEPT.
- WEATHERPROOF RECEPT.
- DUPLEX WALL RECEPTACLE
- QUAD WALL RECEPTACLE
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- EXHAUST FAN/LIGHT FIXTURE UNIT
- PORCELAIN FIXTURE
- WALL WASHER
- DOOR CHIME
- DOORBELL INTERCOM
- WALL-MOUNTED FIXTURE ON MOTION DETECTOR
- COMPUTER MODEM ROUGH-IN
- SUSPENDED CEILING FIXTURE
- SMOKE DETECTOR
- THERMOSTAT
- CEILING FAN

PROJECT DATA

OWNER:
BRIAN & GINGER PICKER

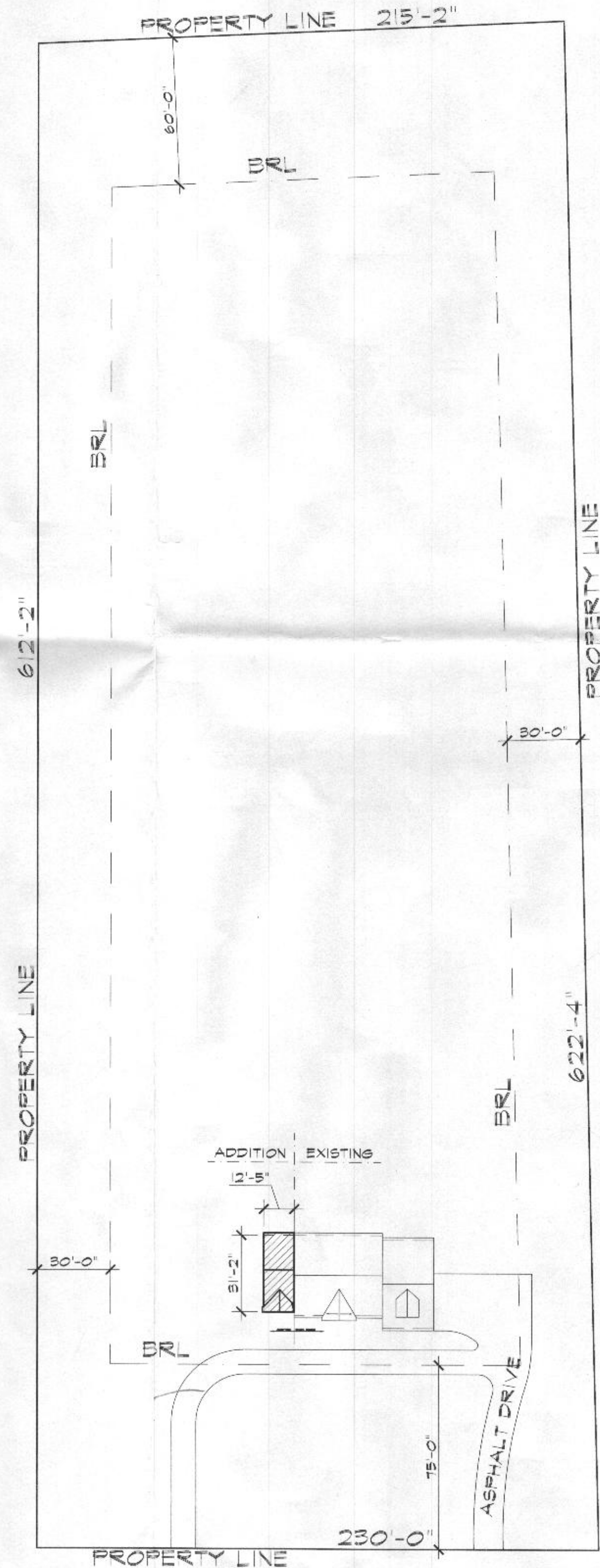
ADDRESS
14830 TRIADELPHIA RD.
GLENELG MD 21737

SCOPE OF WORK:
ADDITION & IMPROVEMENTS TO AN
EXISTING DETACHED SINGLE FAMILY
DWELLING

NO. OF STORIES:
2 STORIES

EXTENT OF ADDITION:
1ST FLOOR AREA: 170 SQ. FT.
2ND FLOOR AREA: 365 SQ. FT.

PROPOSED CODE COMPLIANCE:
2015 - INTERNATIONAL BUILDING
CODE (IBC), W. HOWARD
COUNTY AMENDMENTS
2015 - INTERNATIONAL MECHANICAL
CODE
2015 - NATIONAL ELECTRICAL
CODE
2015 - INTERNATIONAL ENERGY
CONSERVATION CODE
2015 - LIFE SAFETY CODE



TRIADELPHIA RD.

SITE PLAN

SCALE 1"=40'

REVISIONS:

CW ARCHITECTS, INC.

DRAWING TITLE
NOTES
SITE PLAN
ELECTRICAL LEGEND

PROJECT TITLE
ADDITION, &
IMPROVEMENTS TO
14830 TRIADELPHIA RD.

SHEET NO.

A-1

Existing 2nd Floor Left Half



ALL DIMENSIONS ARE DERIVED FROM FIELD MEASUREMENTS OF EXISTING CONDITIONS. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. NOTIFY ARCHITECT IF ANY SUBSTANTIAL DISCREPANCY IS DETERMINED.



REVISIONS:	DATE:	2/12/2018
	SCALE AS NOTED	
	TRAINING	
	CHECKED BY:	

CW ARCHITECTS, INC.

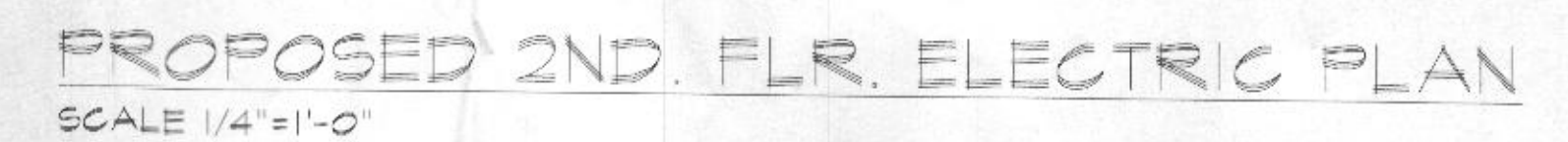
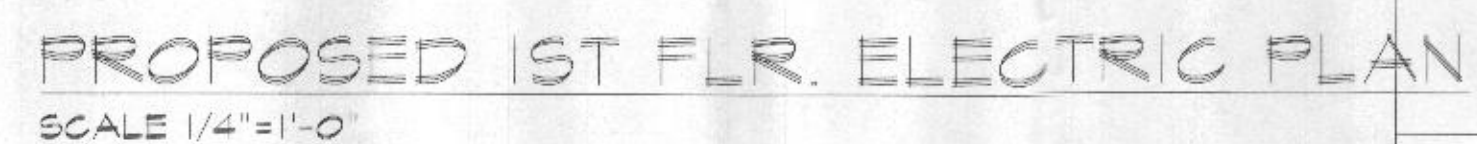
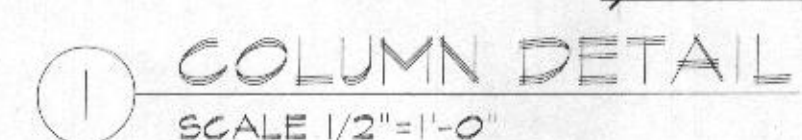
CW ARCHITECTS
111312 RIDERMARK ROW
COLUMBIA MD, 21044
E-MAIL: MJOHNSON@CW/
PHONE: 301 943 5643

DRAWING TITLE

PROJECT TITLE
ADDITION, &
IMPROVEMENTS TO
4830 TRIADELPHIA RD

SHEET NO.

A-2

A-3