



Howard County
Health Department

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 4/27/18 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 05-62976

APPROVAL DATE: 05/09/2018 **PERMIT: CONSTRUCTION**

A

PROPERTY ADDRESS: 2018 Terrapin Creek Sykesville, MD 21784

SUBDIVISION: Terrapin Creek

LOT: 19

TAX ID: 1403596042

CONTRACTOR: WTC

EMAIL:

CONTRACTOR ADDRESS: 3033 Salem Bottom Rd. Westminster, MD 21157

PHONE: 410-458-7024

PROPERTY OWNER: LDG. Inc.

EMAIL:

OWNER ADDRESS: 8601 Georgia Ave.

PHONE: 301-585-7000

SEPTIC TANK SIZE (GALLONS): 1500

TANK MANUFACTURER:

PUMP MODEL: N/A

PUMP SIZE

N/A

PUMP TANK CAPACITY:

N/A

DISTRIBUTION SYSTEM:



GRAVITY



PRESSURE DOSED

BEDROOMS:

5

APPLICATION RATE:

0.8

TRENCHES:

LINEAR FEET REQUIRED: 172'

INLET DEPTH: 4'

TRENCH WIDTH: 3'

MAXIMUM BOTTOM DEPTH: 7'

MINIMUM SPACE

BETWEEN TRENCHES: 10'

EFFECTIVE AREA BEGINNING DEPTH: 4.5'

LOCATION:

PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.

NOTES:

ISSUED BY: Robert Freeman

ISSUE DATE: 4/27/18

EXPIRATION DATE: 4/27/19

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM



ELECTRICAL PERMIT ISSUED

E

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

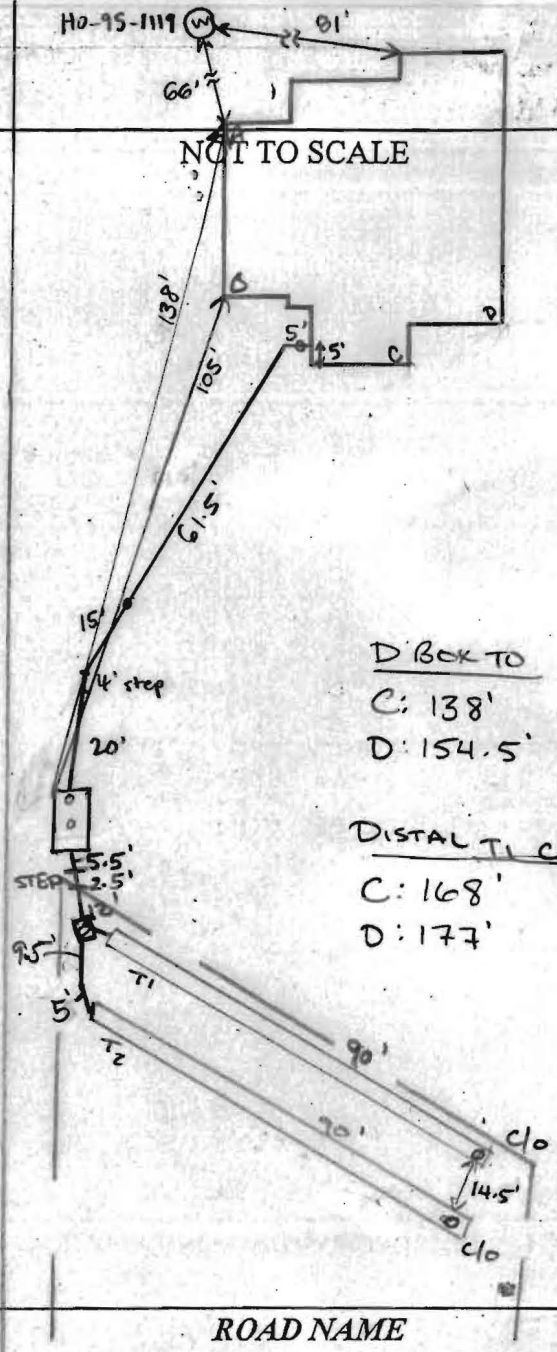
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

H0-95-1117

NOT TO SCALE



D BOX TO
C: 138'
D: 154.5'
DISTAL T1 CLO
C: 168'
D: 177'

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	4'	7'

NUMBER OF TRENCHES 2

TOTAL LENGTH 180'

ABSORPTION AREA 540 ft² + side wall

DISTRIBUTION BOX LEVEL YES

DISTRIBUTION BOX BAFFLE YES

DISTRIBUTION BOX PORT YES

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL

MANUFACTURER BABYLON

CAPACITY 1500 GAL

SEAM LOC TOP

TANK LID DEPTH 3' - 1'

BAFFLES YES

BAFFLE FILTER NO

MANHOLE LOC FRONT/BACK

6" PORT LOC INLET

WATERTIGHT TEST N/A

SLOTTED YES

DATE ON LID 3/17/18

PUMP/SEPTIC TANK LEVEL

MANUFACTURER

CAPACITY GAL

SEAM LOC

TANK LID DEPTH

BAFFLES

BAFFLE FILTER

MANHOLE LOC

6" PORT LOC

WATERTIGHT TEST

SLOTTED

DATE ON LID

PRE-CONSTRUCTION:

5/8/18 Met WTC on site for layout. Shot contour + laid out 2x 86' trenches. Bring fall in pipe to 2'-10-15' before septic tank. SDA corner stakes present. (S)

INSTALLATION:

5/8/18 House connection made. Sewer line run from house to tank location. Fall decreased prior to tank. (S) 5/9/18 LINE TO D BOX AND TRENCHES INSTALLED.

D Box LEVELLED. OK TO BACKFILL. (S)

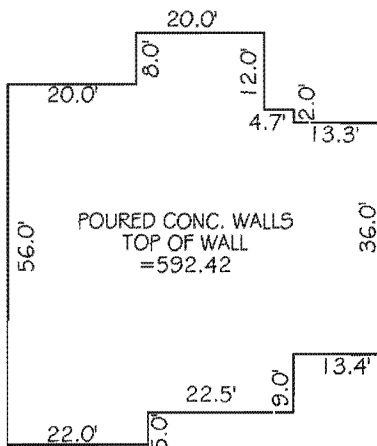
FINAL INSPECTOR

DATE OF APPROVAL 05/09/2018

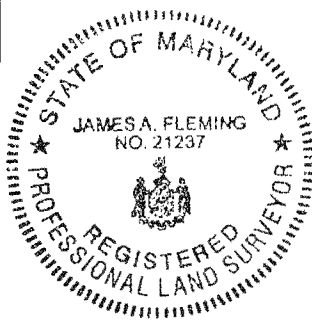
NOTES:

- 1) FOUNDATION AND FOOTINGS ARE IN PLACE AS SHOWN HEREON.
- 2) BUILDING TIES ARE $\pm 0.5'$ UNLESS OTHERWISE NOTED.
- 3) TOP OF WALL = 592.42

Wall
Check
OK
4/27/18
RAE



HOUSE DETAIL
SCALE: 1" = 30'



PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21237, EXPIRATION DATE JANUARY 18, 2019, IN ACCORDANCE WITH COMAR 09.13.06.12.

James A. Fleming

For VanMar Associates, Inc.
James Alden Fleming, Prof. Land Surveyor

3-5-2018

Date

I CERTIFY THIS PLAT TO BE CORRECT; IT IS THE RESULT OF AN ACTUAL FIELD SURVEY, BASED ON DATA FOUND AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, AS REFERENCED HEREON.

REFERENCE

PLAT NO. 22662

JOB NO.

B4-5428

NON-BUILDABLE
PRESERVATION PARCEL B-1
TERRAPIN CREEK
PLAT #23780

S 13°03'35" W 112.19'

LOT 19
49,745 SQ. FT.
1.1420 AC. \pm

LOT 20
TERRAPIN CREEK
PLAT #22662

POURED CONC.
WALLS
TOP OF WALL
= 592.42
(SEE DETAIL)

TERRAPIN CREEK ROAD
(50' RW)

WALL CHECK DRAWING
LOT 19
TERRAPIN CREEK

PLAT No. 22662

2018 TERRAPIN CREEK ROAD

THIRD ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' MARCH, 2018



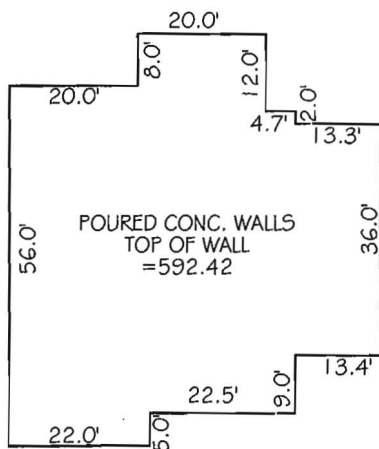
VANMAR
ASSOCIATES, INC.
Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751

©Copyright, Latest Date Shown

- NOTES:
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Wall
Check
OK
4/27/18
R/L



NON-BUILDABLE
PRESERVATION PARCEL B-1
TERRAPIN CREEK
PLAT #23780

S 13°03'35" W 112.19'

LOT 19
49,745 SQ. FT.
1.1420 AC. \pm

LOT 20
TERRAPIN CREEK
PLAT #22662

POURED CONC.
WALLS
TOP OF WALL
= 592.42
(SEE DETAIL)

EX. WELL
H095-1119

EX. WELL
H095-1120

PUBLIC 10' TREE MAINTENANCE,
DRAINAGE AND UTILITY EASEMENT

R=426.88' L=95.75' N 03°30'51" E 49.45'

TERRAPIN CREEK ROAD
(50' RW)



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James A. Fleming

For VanMar Associates, Inc.
James Alden Fleming, Prof. Land Surveyor

3-5-2018

Date

WALL CHECK DRAWING LOT 19 TERRAPIN CREEK

PLAT No. 22662

2018 TERRAPIN CREEK ROAD

THIRD ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' MARCH, 2018

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Ron Thompson

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Thursday, January 18, 2018 9:11 AM
To: Ron Thompson
Subject: OSDS Plan Review Comments_2018 Terrapin Creek
Attachments: Septic spec_Lot 19.pdf

Hi Ron:

The OSDS Plan for 2018 Terrapin Creek Road have been reviewed with the following comments:

- 1.) Match length of line between last c/o and tank on the septic profile (10 ft.) & layout (5 ft.).
- 2.) The reduction credits (RC) should be as follow; Initial System R.C. is 0.55 (2.5 ft.), First System RC is 0.71 (1.5 ft.) and Second System RC is 0.83 (1 ft.)
- 3.) Floor plans shows 5th bedroom in basement. Redesign septic plan for a total of 5 BRs.

Should you have any questions or concerns, please don't hesitate to contact me.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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Oswald, Hank

From: Oswald, Hank
Sent: Thursday, January 18, 2018 9:11 AM
To: ron@vanmar.com
Subject: OSDS Plan Review Comments_2018 Terrapin Creek
Attachments: Septic spec_Lot 19.pdf

Hi Ron:

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- 3.) Floor plans shows 5th bedroom in basement. Redesign septic plan for a total of 5 BRs.

Should you have any questions or concerns, please don't hesitate to contact me.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
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8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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Oswald, Hank

From: Oswald, Hank
Sent: Thursday, January 18, 2018 9:10 AM
To: 'Frank Potepan'
Subject: RE: Floor Plan Question_2018 Terrapin Creek Road

Hi Mr. Potepan:

Thank you for the clarification. Currently, I am reviewing the OSDS Plan by the engineer and I will be sending comments soon. We won't count the 2nd floor bonus room as a bedroom since it has a cased opening of at least 4 feet w/o a door but we will count the "office" in the basement as one. This room brings the total # of BR's up to 5.

Please let me know if you have any questions or concerns.

Thanks,

Hank

From: Frank Potepan [<mailto:FPotepan@catonsvillehomes.com>]
Sent: Wednesday, January 17, 2018 3:47 PM
To: Oswald, Hank
Cc: Pam Walter
Subject: RE: Floor Plan Question_2018 Terrapin Creek Road

Mr. Oswald,

There is no door at the entrance to the second floor Bonus room.

Frank Potepan

From: Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]
Sent: Wednesday, January 17, 2018 9:25 AM
To: Frank Potepan <FPotepan@catonsvillehomes.com>
Subject: Floor Plan Question_2018 Terrapin Creek Road

Hello Mr. Potepan:

I have a question about the floor plan for 2018 Terrapin Creek Road. Does the bonus room on the second floor have a door or is it a cased opening without a door?

Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard

Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

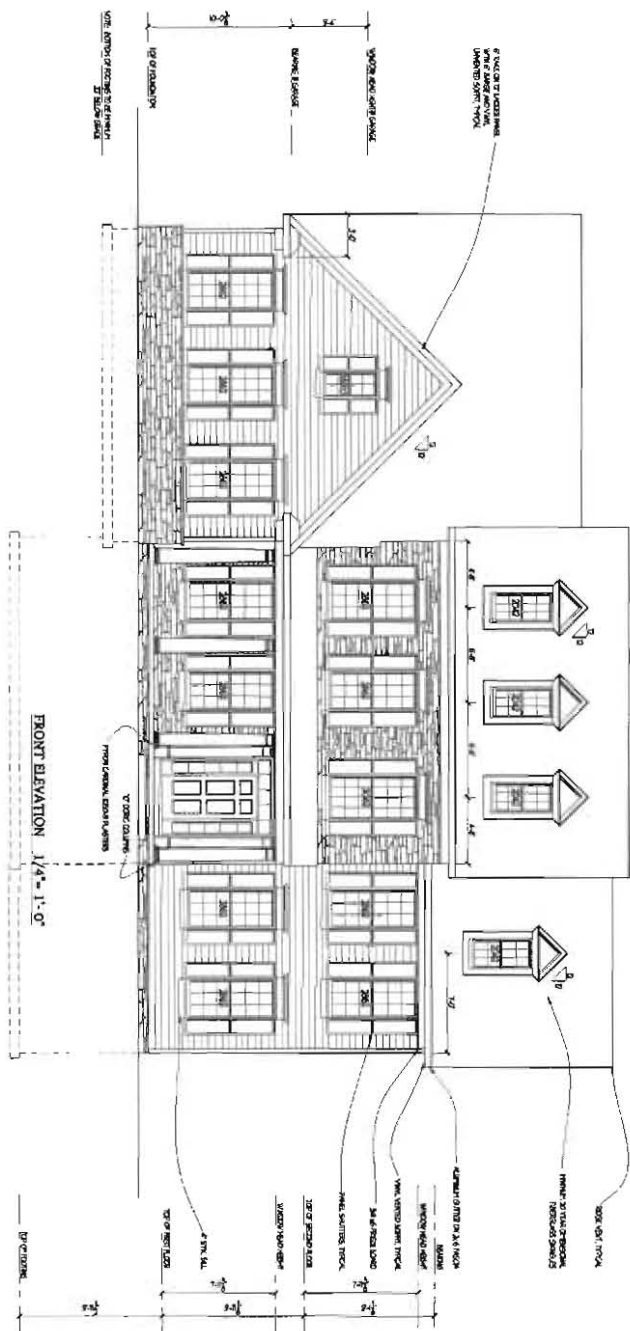
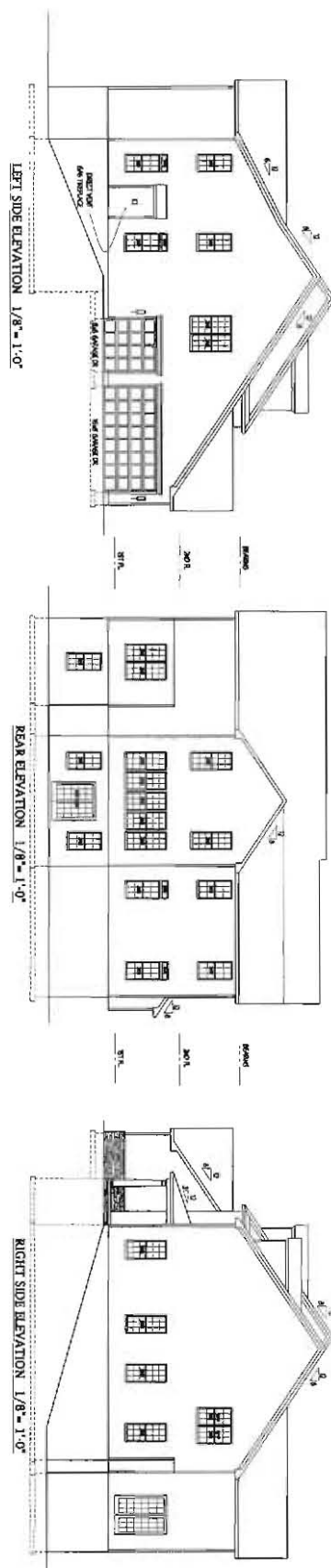
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5 TOTAL BR

HEALTH DEPT

B1800002C6



FINAL SET 1/3/18

10/22/18

10/22/18

10/22/18

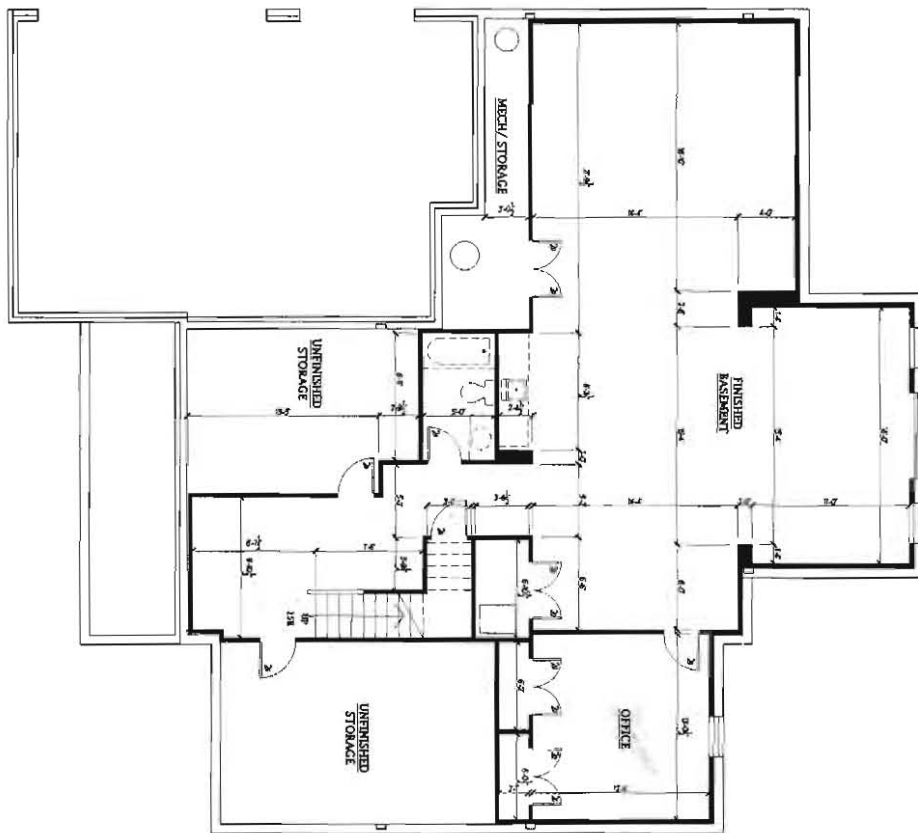
1

Project No.: C17.13
Date: 12/17
Scale: NOTED

Drawing: ELEVATIONS
Project: CATONSVILLE HOMES
DEVONSHIRE
TERRAPIN CREEK LOT 19

FL1 SQ.FT:
FL2 SQ.FT:
Notes:

Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229, 410-788-0281
PlymouthRoadArchitects.com



FINAL SET 1/3/18

2b

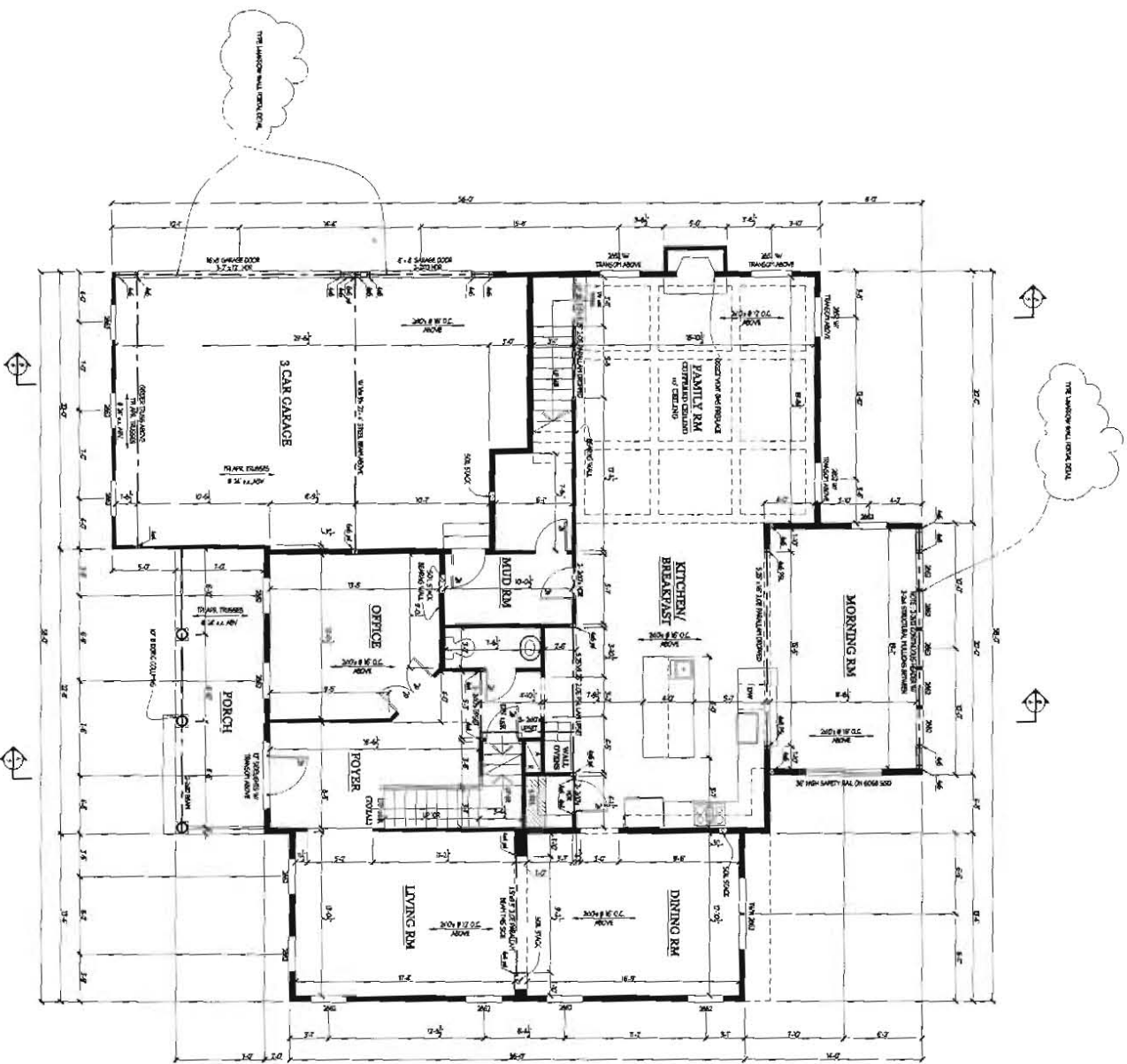
Project No.: C17.13
Date: 12/17
Scale: 1/4"=1'-0"

Drawing: BASEMENT/ FOUNDATION PLAN
Project: CATONSVILLE HOMES
DEVONSHIRE
TERRAPIN CREEK LOT 19

Notes:

Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229. 410-788-0281
PlymouthRoadArchitects.com

1BR



NOTE: WINDOW SIZES ARE 2'-0" X 6'-0" UNLESS NOTED OTHERWISE.
DOOR SIZES ARE 3'-0" X 7'-0" UNLESS NOTED OTHERWISE.
ALL DIMENSIONS ARE IN FEET AND INCHES.
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

FINAL SET 1/3/18

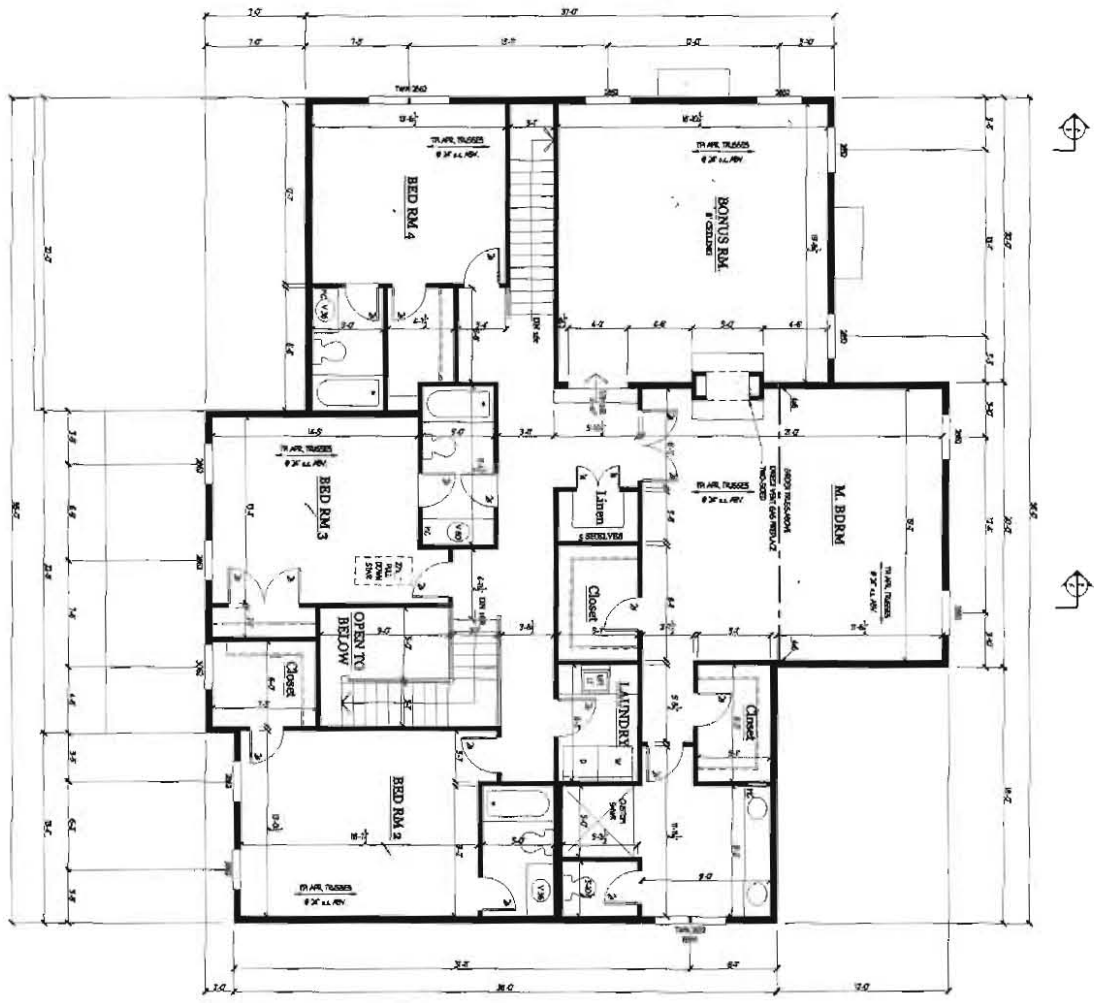
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Project No.: C17.13
Date: 12/17
Scale: 1/4"=1'-0"

Drawing: FIRST FLOOR PLAN
Project: CATONSVILLE HOMES
DEVONSHIRE
TERRAPIN CREEK LOT 19

Notes:

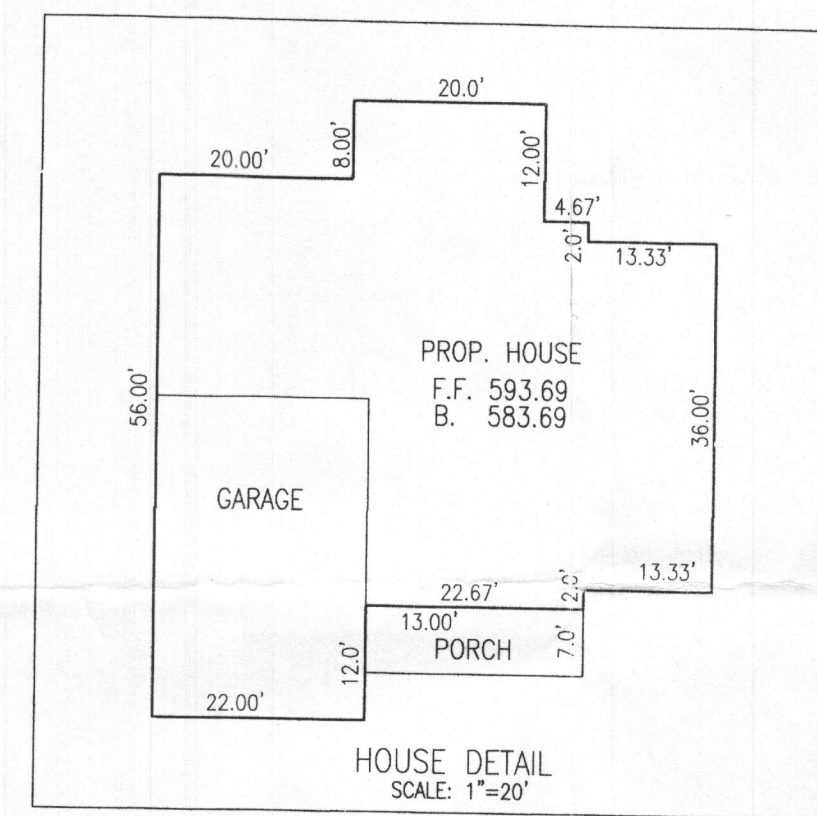
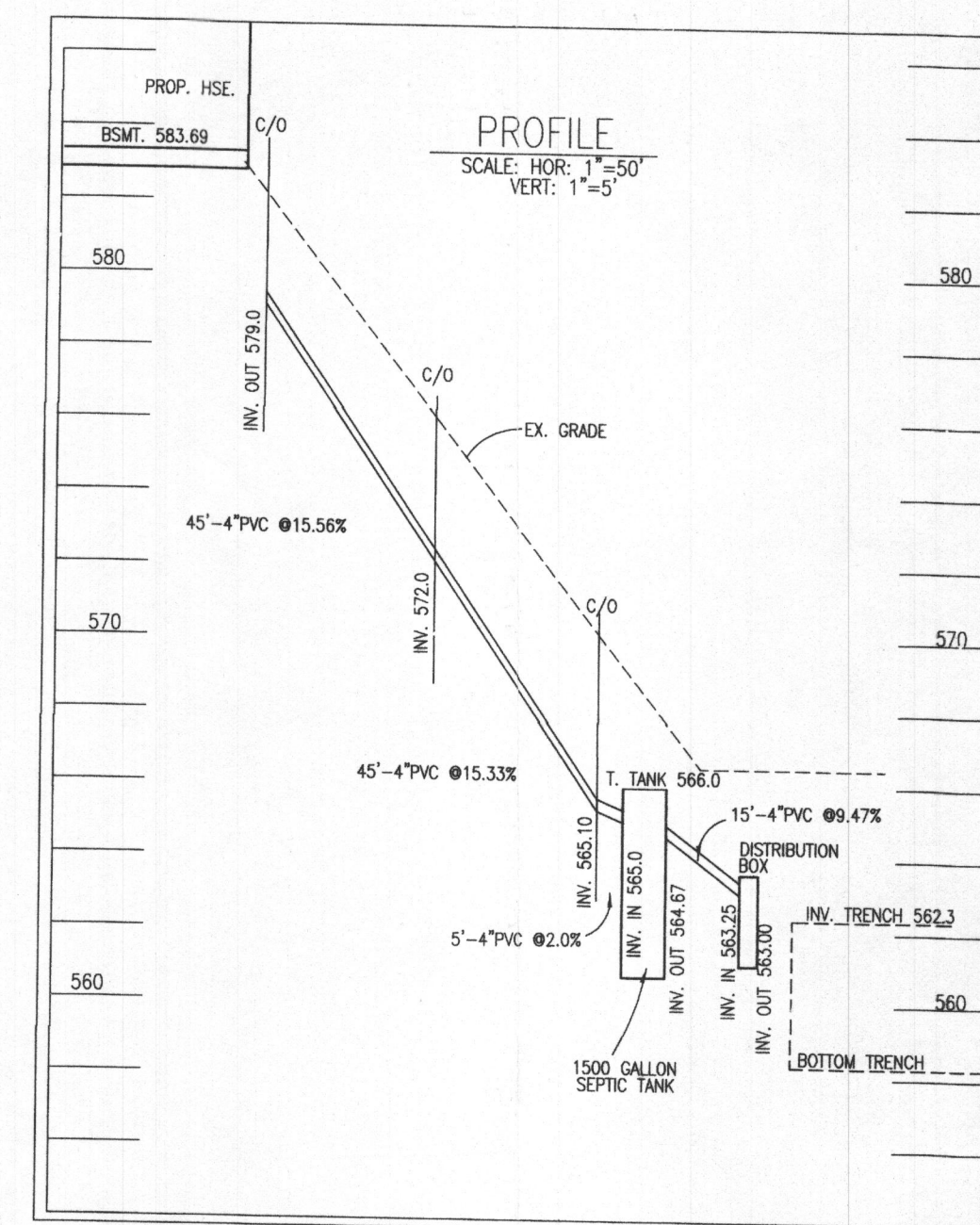
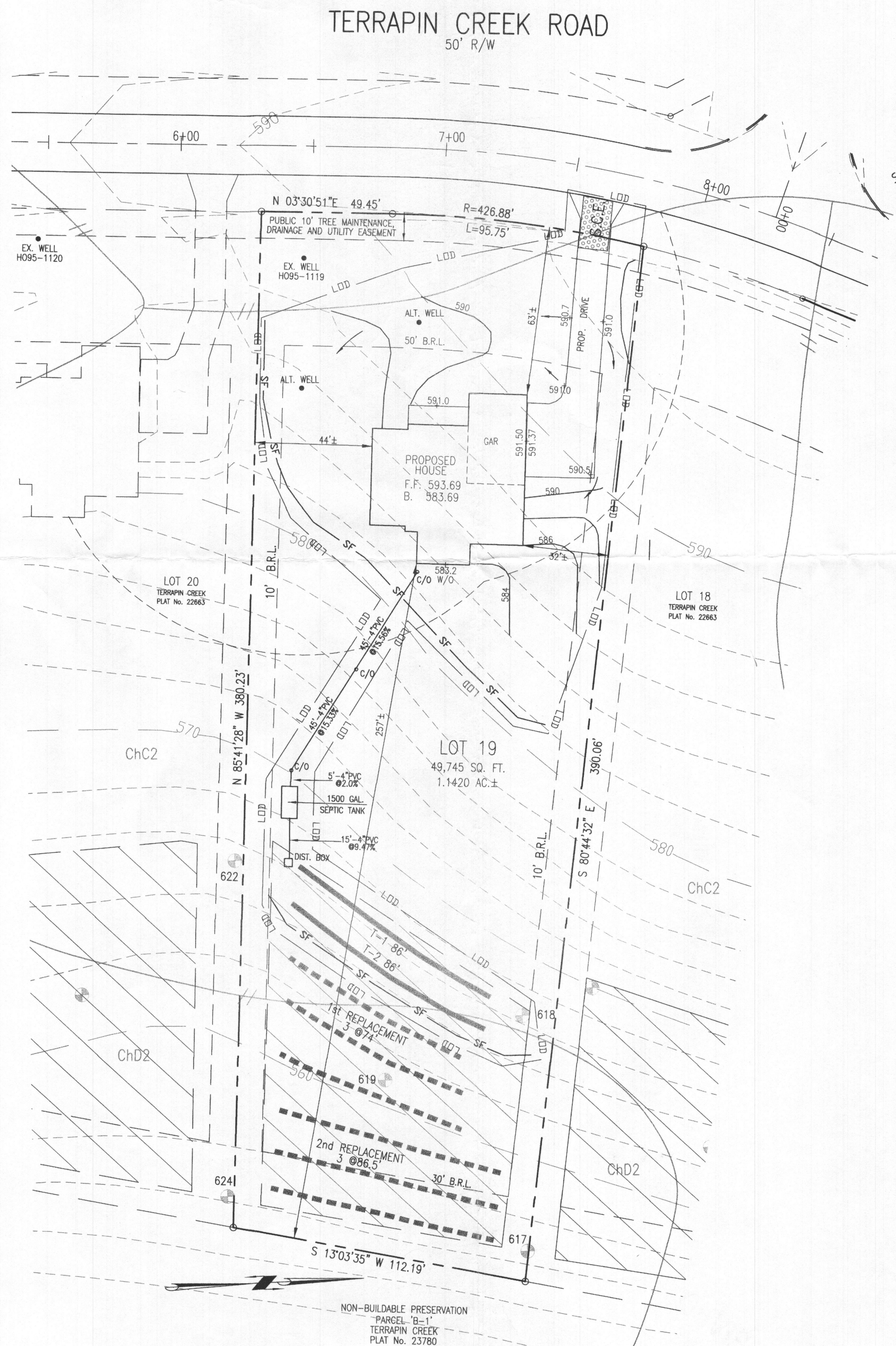
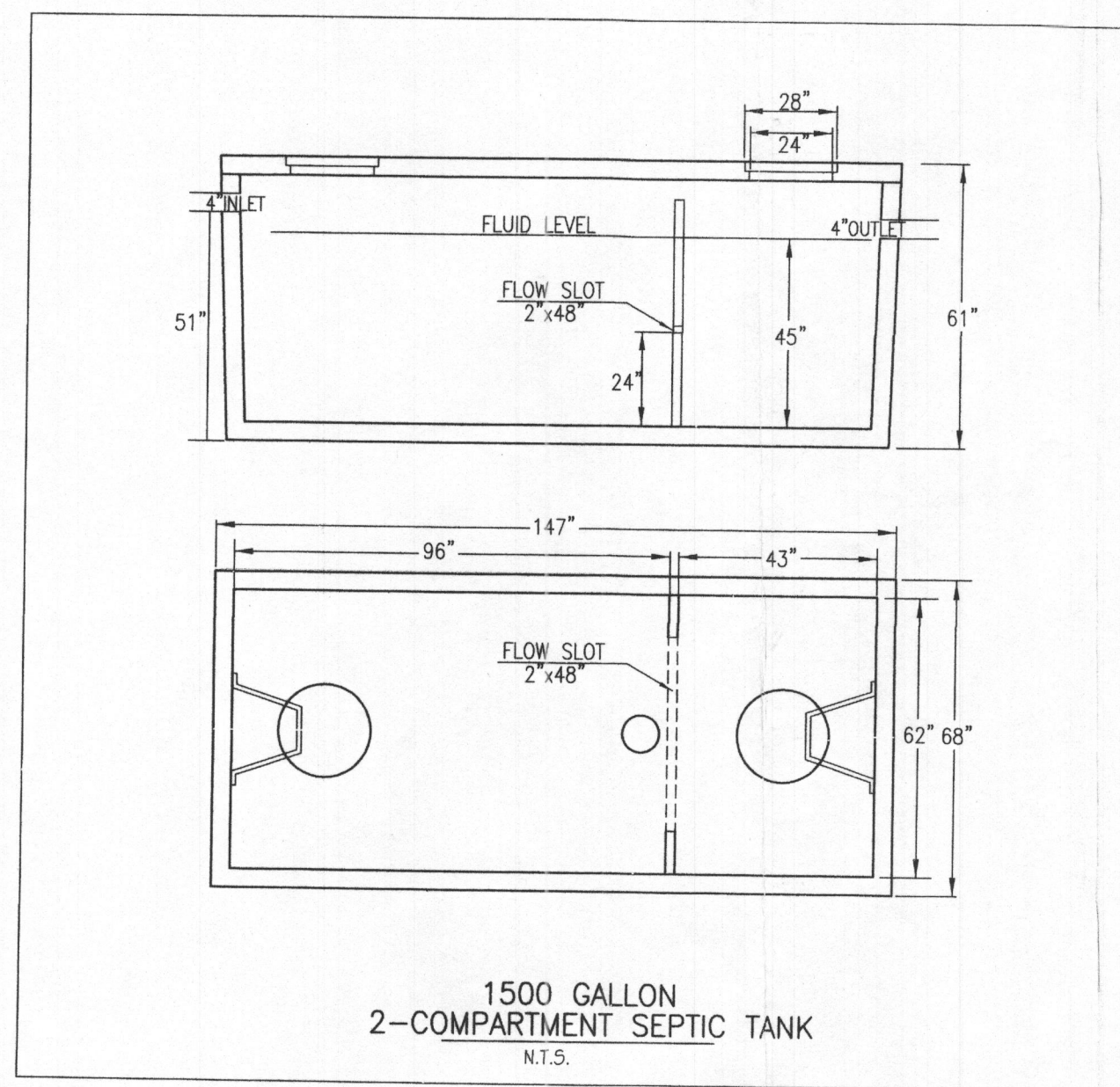
Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229 - 410-788-0281
PlymouthRoadArchitects.com



NOTES:
 1. ALL ROOMS ARE TO BE FINISHED.
 2. ALL WALLS ARE TO BE FINISHED.
 3. ALL FLOORS ARE TO BE FINISHED.
 4. ALL CEILING ARE TO BE FINISHED.
 5. ALL LIGHTS ARE TO BE FINISHED.
 6. ALL DOORS ARE TO BE FINISHED.
 7. ALL WINDOWS ARE TO BE FINISHED.
 8. ALL STAIRS ARE TO BE FINISHED.
 9. ALL BATHS ARE TO BE FINISHED.
 10. ALL KITCHENS ARE TO BE FINISHED.

FINAL SET 1/3/18

4BR



- GENERAL NOTES:
- TOPOGRAPHY & PLANNIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
 - THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.
 - ZONING DISTRICT: RC-DEO
 - LIMIT OF DISTURBANCE (LOD) = 19,500 SQ.FT.
 - THERE ARE NO STREAMS, PONDS, FLOODPLAINS OR WETLANDS ON THIS LOT.
 - STORM WATER MANAGEMENT FACILITIES PROVIDED FOR AND CONSTRUCTED BY THE DEVELOPER UNDER PLAN F-07-086.

- SEPTIC SYSTEM TRENCH DESIGN
- INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.55 REDUCTION CREDIT = 172 LF TRENCH
TRENCH 1 (T1) EX. GRD=566.3 -INV. TRENCH=562.3 -B. TRENCH=559.3
TRENCH 2 (T1) EX. GRD=564.0 -INV. TRENCH=560.0 -B. TRENCH=557.0

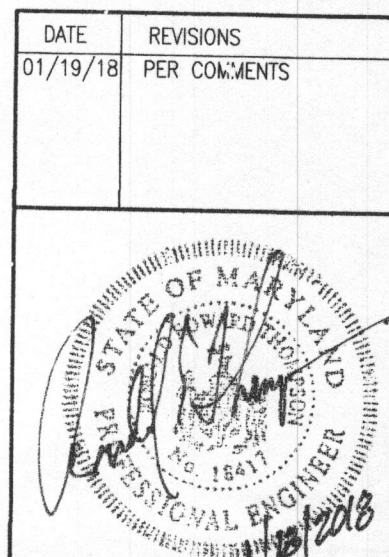
- 1st REPLACEMENT
- INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.71 REDUCTION CREDIT = 222 LF TRENCH
TRENCH 1 EX. GRD=563.0 -INV. TRENCH=559.0 -B. TRENCH=557.0
TRENCH 2 EX. GRD=561.7 -INV. TRENCH=557.7 -B. TRENCH=555.7
TRENCH 3 EX. GRD=560.2 -INV. TRENCH=556.2 -B. TRENCH=554.4

- 2nd REPLACEMENT
- INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.83 REDUCTION CREDIT = 259.5 LF TRENCH
TRENCH 1 EX. GRD=559.0 -INV. TRENCH=555.0 -B. TRENCH=553.0
TRENCH 2 EX. GRD=558.0 -INV. TRENCH=554.0 -B. TRENCH=552.0
TRENCH 3 EX. GRD=557.0 -INV. TRENCH=553.0 -B. TRENCH=551.0

- SITE PLAN NOTES:
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - MAXIMUM COVER OVER THE TANK IS 3 FEET. GREATER DEPTH WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 - THE WELL (TAG #10-95-1119) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 - ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

Approved Septic System Plan
Howard County Health Department
Hank Oswald 1/25/18
Signature Date

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-19.



OWNER:
LDG INC.
LEE PLAZA, SUITE 200
8601 GEORGIA AVENUE
SILVER SPRING, MD. 20910
301-585-7000

DEVELOPER:
CATONVILLE HOMES
11175 STRATFIELD CT.
MARRIOTTVILLE, MD. 21104
410-442-2211

ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

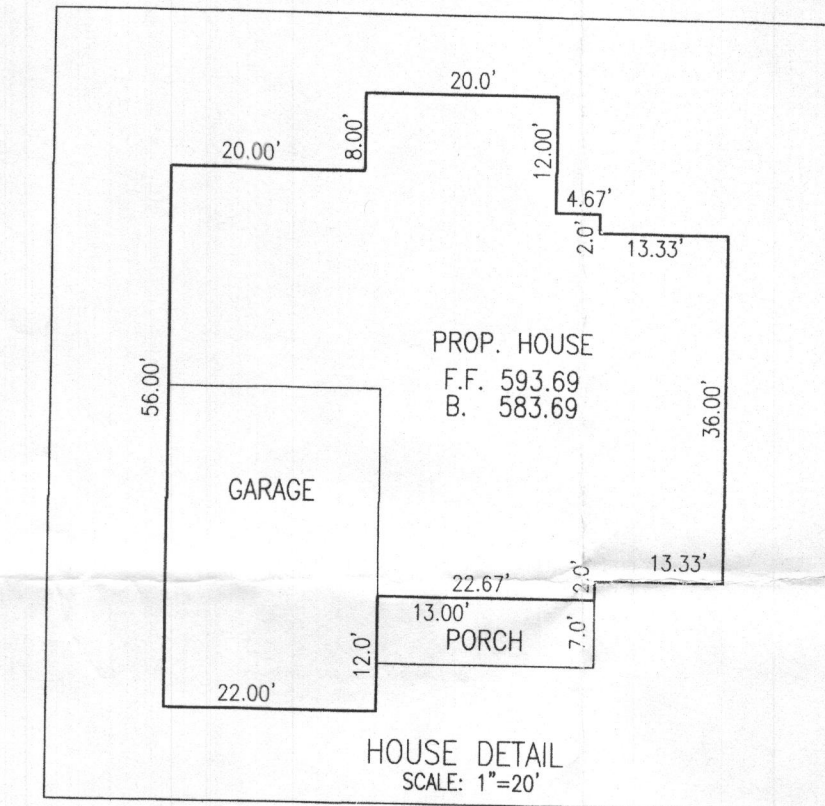
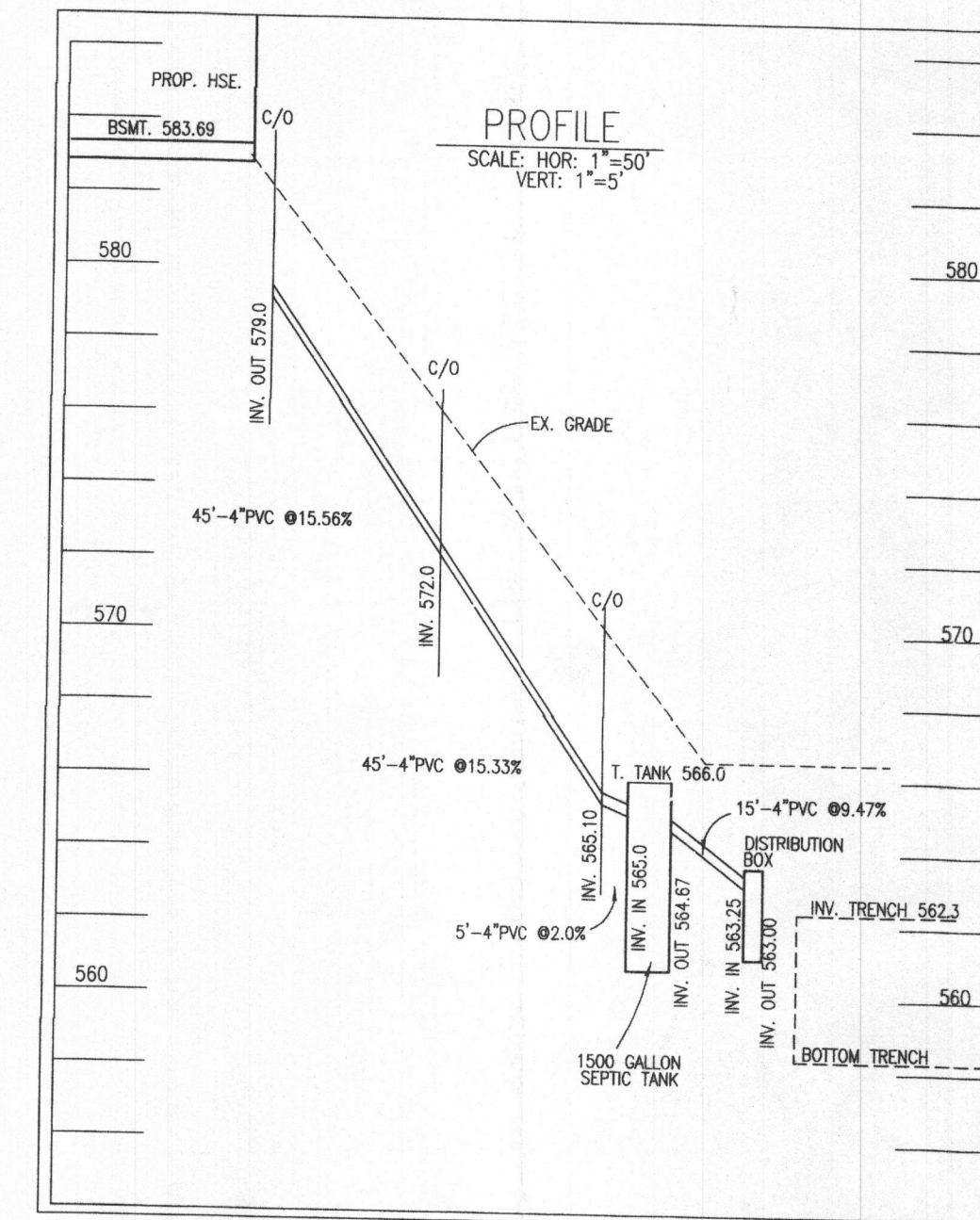
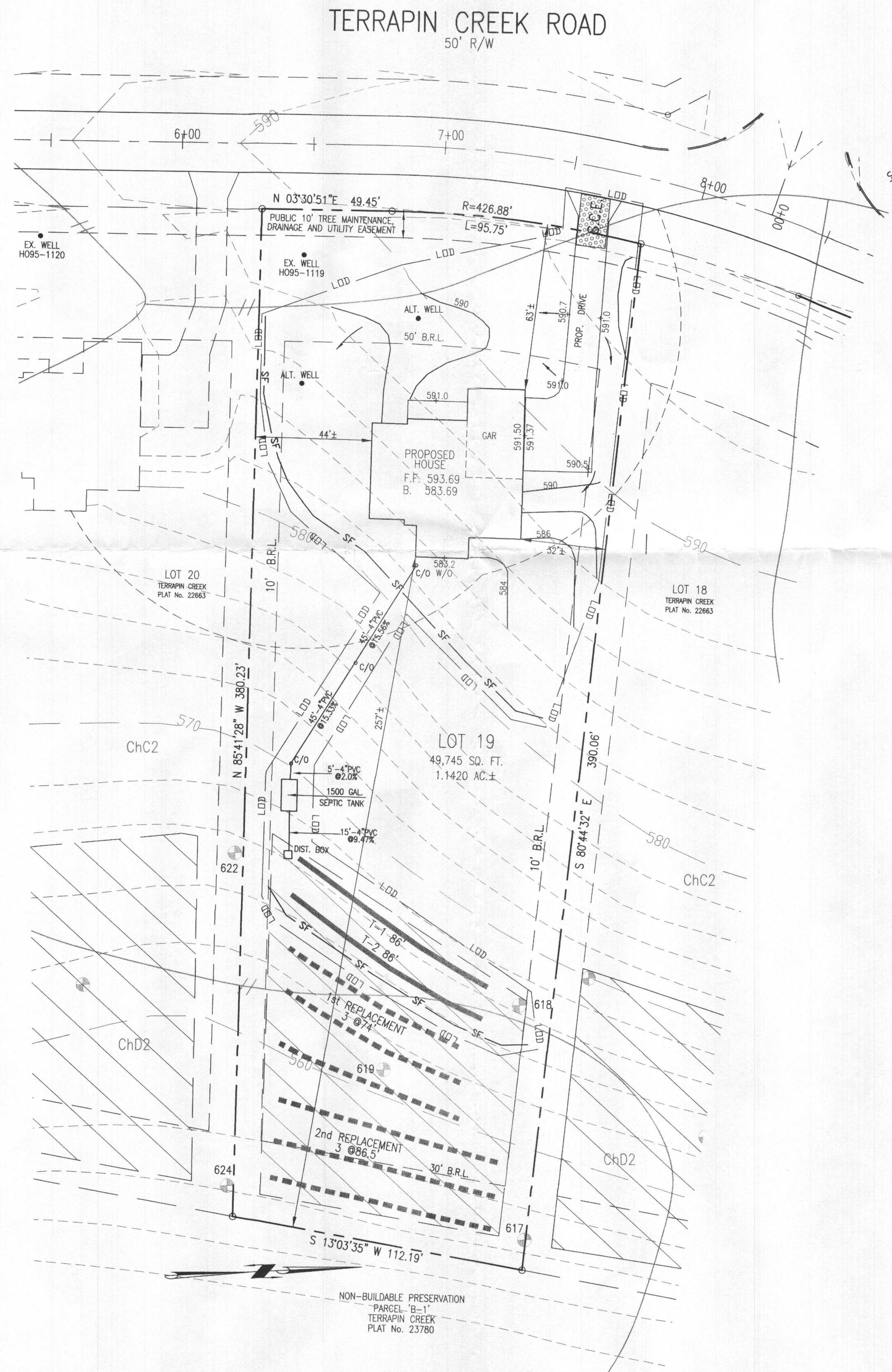
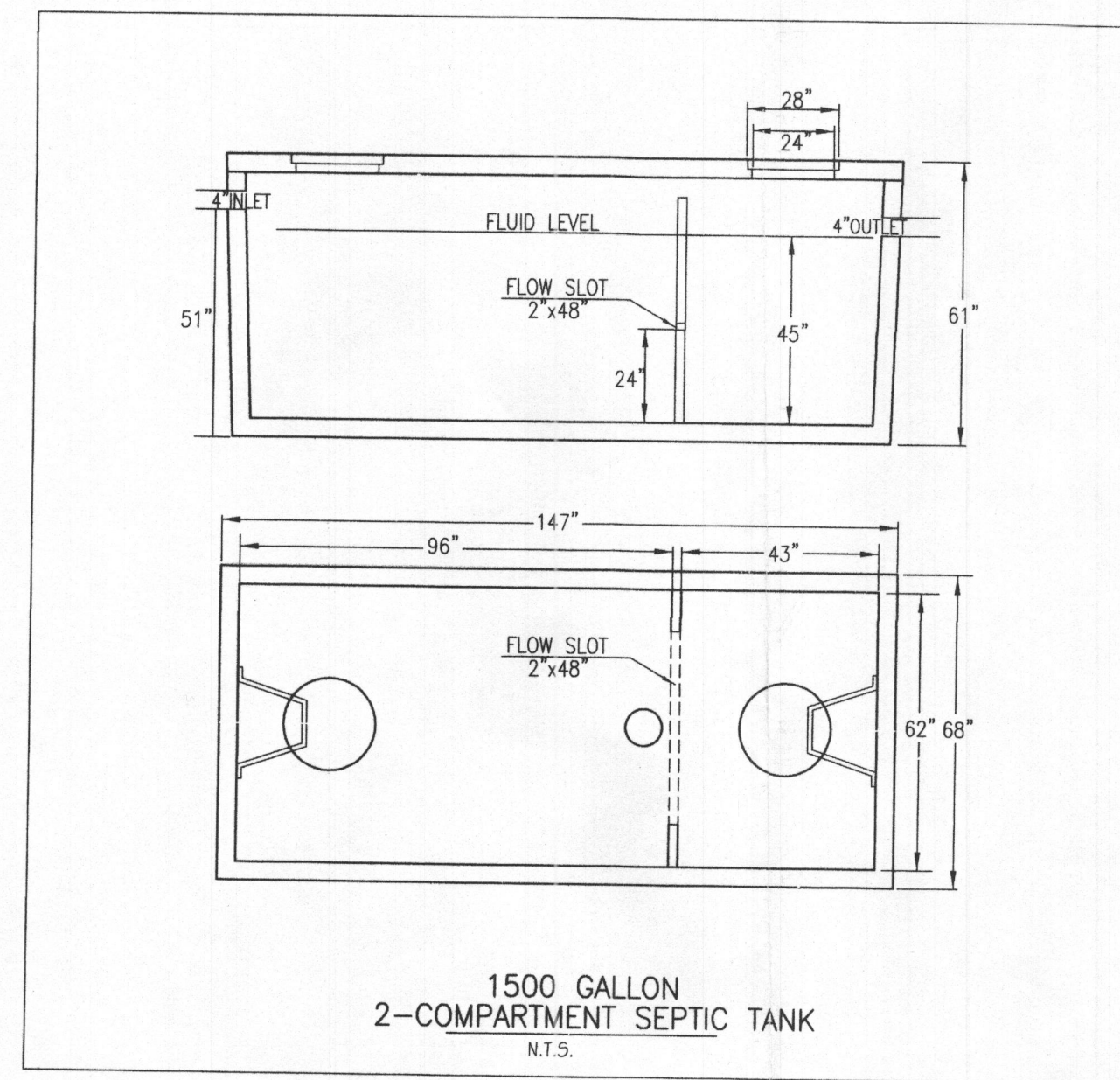
LOT 19
TERRAPIN CREEK

PLAT 22661 - 22664
TAX ID No. 03-285774
2018 TERRAPIN CREEK ROAD
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: 1" = 30' DECEMBER 2017

SHEET 1 OF 1

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 828-2890 (301) 831-5015 (410) 549-2751



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- LIMIT OF DISTURBANCE (LOD) = 19,500 SQ.FT.
- THERE ARE NO STREAMS, PONDS, FLOODPLAINS OR WETLANDS ON THIS LOT.
- STORM WATER MANAGEMENT FOR THIS LOT IS PROVIDED BY EXISTING TERRAPIN CREEK STORM WATER MANAGEMENT FACILITIES PROVIDED FOR AND CONSTRUCTED BY THE DEVELOPER UNDER PLAN F-07-086.

SEPTIC SYSTEM TRENCH DESIGN

INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
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937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.55 REDUCTION CREDIT = 172 LF TRENCH
TRENCH 1 (T1) EX. GRD=566.3 -INV. TRENCH=562.3 -B. TRENCH=559.3
TRENCH 2 (T2) EX. GRD=564.0 -INV. TRENCH=560.0 -B. TRENCH=557.0

1st REPLACEMENT
INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.71 REDUCTION CREDIT = 222 LF TRENCH
TRENCH 1 EX. GRD=563.0 -INV. TRENCH=559.0 -B. TRENCH=557.0
TRENCH 2 EX. GRD=561.7 -INV. TRENCH=557.7 -B. TRENCH=555.7
TRENCH 3 EX. GRD=560.2 -INV. TRENCH=556.2 -B. TRENCH=554.4

2nd REPLACEMENT
INITIAL NUMBER OF BEDROOMS = 5
APPLICATION RATE = 0.8 GPD / sq.ft.
DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
312.5 LF TRENCH X 0.83 REDUCTION CREDIT = 259.5 LF TRENCH
TRENCH 1 EX. GRD=559.0 -INV. TRENCH=555.0 -B. TRENCH=553.0
TRENCH 2 EX. GRD=558.0 -INV. TRENCH=554.0 -B. TRENCH=552.0
TRENCH 3 EX. GRD=557.0 -INV. TRENCH=553.0 -B. TRENCH=551.0

SITE PLAN NOTES:

- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- MAXIMUM COVER OVER THE TANK IS 3 FEET. GREATER DEPTH WILL REQUIRE A HEAVY LOAD BEARING TANK.
- ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
- THE WELL (TAG #10-95-1119) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

Approved Septic System Plan
Howard County Health Department

Signature: *Mark Oswald* Date: 1/25/18

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-19.

DATE	REVISIONS
01/19/18	PER COMMENTS

OWNER:
LDG INC.
LEE PLAZA, SUITE 200
8601 GEORGIA AVENUE
SILVER SPRING, MD 20910
301-585-7000

DEVELOPER:
CATONVILLE HOMES
11175 STRATFIELD CT.
MARIOTTVILLE, MD 21104
410-442-2211

ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

LOT 19
TERRAPIN CREEK

PLAT 22661 - 22664
TAX ID No. 03-285774
2018 TERRAPIN CREEK ROAD
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE: 1" = 30' DECEMBER 2017

SHEET 1 OF 1



VANMAR ASSOCIATES, INC.
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