



Howard County
Health Department

Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE:

7-5-18

ONSITE SEWAGE DISPOSAL SYSTEM

P

563048

APPROVAL DATE:

7/30/18 SEC

PERMIT: CONSTRUCTION

A

PROPERTY ADDRESS: 1008 Thunderbird Drive

SUBDIVISION: Fairlane Farms

LOT: 43

TAX ID:

CONTRACTOR: South Carroll Backhoe

EMAIL: scbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157

PHONE: 410-596-3618

PROPERTY OWNER: NV Homes

EMAIL:

OWNER ADDRESS: 9720 Patuxent Woods Drive, Columbia, MD 21046

PHONE: 410-379-5956

SEPTIC TANK SIZE (GALLONS): 2000

TANK MANUFACTURER: Babylon Vault or equivalent

PUMP MODEL: N/A

PUMP SIZE: N/A

PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:



GRAVITY



PRESSURE DOSED

BEDROOMS: 5

APPLICATION RATE

1.2

TRENCHES:	LINEAR FEET REQUIRED: 87.50' low	INLET DEPTH: 4' 5"
	TRENCH WIDTH: 3	MAXIMUM BOTTOM DEPTH: 8
	MINIMUM SPACE BETWEEN TRENCHES: 10	EFFECTIVE AREA BEGINNING DEPTH: 4
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

ISSUED BY: Hank Oswald

ISSUE DATE:

7-5-18

EXPIRATION DATE:

7-5-19

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM



ELECTRICAL PERMIT ISSUED

E

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

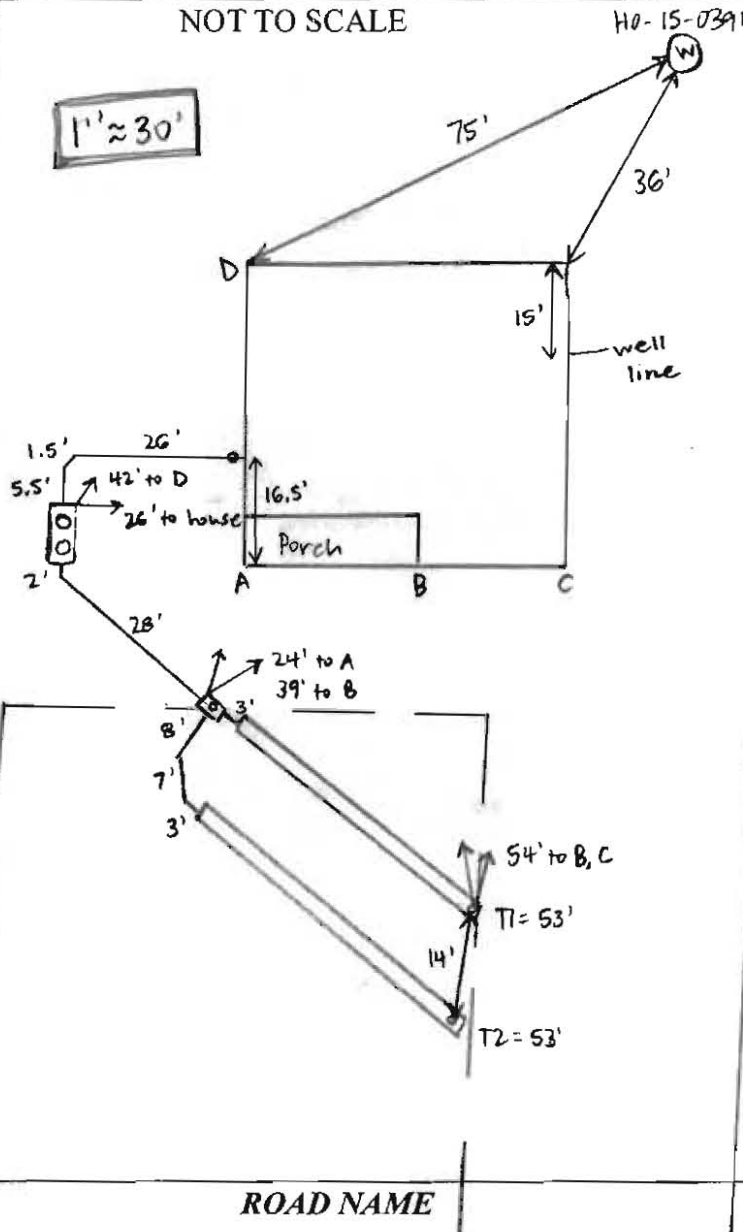
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE

1" ≈ 30'

**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
3'	5'	8'
NUMBER OF TRENCHES	2	
TOTAL LENGTH	106'	
ABSORPTION AREA	318' + SIDEWALL	
DISTRIBUTION BOX LEVEL	YES	
DISTRIBUTION BOX BAFFLE	YES	
DISTRIBUTION BOX PORT	YES	

SEPTIC TANK DATA

SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABILON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	2.5-3.5'
BAFFLES	YES
BAFFLE FILTER	NONE
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	4-10-18

PUMP/SEPTIC TANK LEVEL

MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

7/26/18 Met S. Carroll on site for layout. Tank + SDA corners staked. Sewer line comes out under footer - dug it up to get depth + shoot elevation. Tank will have 3.5' cover where staked. OK to move tank downhill slightly to get 2.5-3' cover (cannot move any closer to well on lot 42). Laid out 2x44' trenches on contour - slightly different contour than shown on plan, trenches are parallel with each other. (SC) 7

INSTALLATION: 7/27/18 Trenches complete + left open @ ends for inspection. 3' wide, 3.5' to stone. House connection made. On site while tank was set - no obvious cracks on bottom or sides. On site while D-box was connected to trenches. Levelled speed levelers in D-box. (SC) 7/30/18 S. Carroll cannot make fall to trenches from tank. Lower trench inlet to 5', extend 9' on each trench. On site while they dig new 9' and dug up pipe to drop inlet, careful to keep dirt out of stone. T1 inlet = 5'3", T2 inlet = 4'3". Reset D-box, levelled speed levelers in D-box. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 7/30/18

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.
Frank Manalansan II, L.S.
Stephanie Tuite, RLA, P.E., LEED AP BD&C

Transmittal

Via: ☐ Fax ☐ Mail ☒ Messenger ☐ E-Mail ☐ To Be Picked Up
☐ Fax (original to follow via U.S. Mail)

To: Bureau of Environmental Health 8930 Stanford Blvd. Columbia, Maryland 21046-4544	Attn: Hank Fax: Phone: 410-313-2640
---	---

From: Tony Fertitta	CC:
----------------------------	-----

Re: Fairlane Farms, Lot 43	W.O.# 05106-3003
Date: April 3, 2018	Pages: 0 Page(s) Including this cover

We are forwarding:	<input checked="" type="checkbox"/> Prints	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Specifications	<input type="checkbox"/> Shop drawings	<input type="checkbox"/> Other
	<input type="checkbox"/> Urgent	<input type="checkbox"/> For your use	<input type="checkbox"/> As requested	<input checked="" type="checkbox"/> For Review & Comment	

Remarks:

Re: Fairlane Farm, Lot 43, 1008 Thunderbird Drive Rd.

Here are 3 new copies of the OSDS for Lot 43 for your review. Please let me know if you have any questions.

Thank You,

Tony.

Fisher, Collins, & Carter, Inc. Ph. 410-461-2855

CONFIDENTIALITY NOTICE

This transmission contains confidential information which may be legally privileged, and is intended only for the use of the individual named above. If you are not the intended recipient, you are hereby notified that any distribution (except to the intended recipient), copying, or disclosure of this transmission is strictly prohibited.

**FISHER, COLLINS
& CARTER, INC.**

CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr. P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.

Transmittal

Via: ☐ Fax ☐ Mail ☒ Messenger ☐ E-Mail ☐ To Be Picked Up
☐ Fax (original to follow via U.S. Mail)

To: NV HOMES 9720 PATUXENT WOODS DRIVE COLUMBIA, MD 21046	Attn: JIMMY ANASTASIA Fax: NA Phone: (240) 712-0528
--	--

From: MARK L. ROBEL	CC:
----------------------------	-----

Re: FAIRLANE (LOT 43) FND LOC SURVEY	W.O.# 05106-3003
Date: JUNE 14, 2017	Pages: 2 Page(s) Including this cover

We are forwarding:	<input type="checkbox"/> Prints	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Specifications	<input type="checkbox"/> Shop drawings	<input type="checkbox"/> Other
	<input type="checkbox"/> Urgent	<input checked="" type="checkbox"/> For your use	<input checked="" type="checkbox"/> As requested	<input type="checkbox"/> For Review & Comment	

Remarks:

PLEASE FIND ATTACHED THE FOUNDATION LOCATION SURVEY FOR LOT #43, FAIRLANE FARM.

IF YOU HAVE ANY QUESTIONS OR COMMENTS, PLEASE DO NOT HESITATE TO CALL.

CONFIDENTIALITY NOTICE

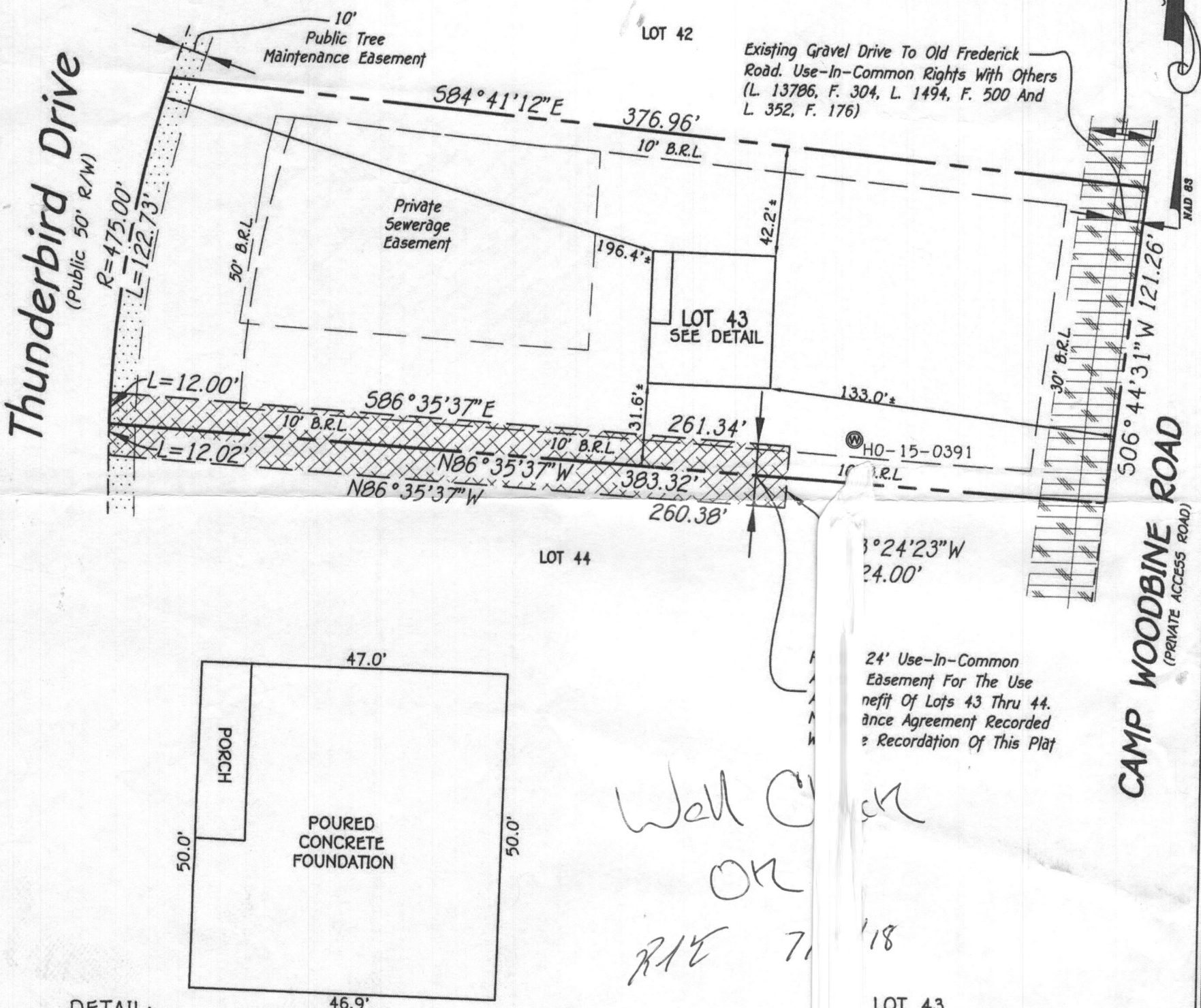
This transmission contains confidential information which may be legally privileged, and is intended only for the use of the individual named above. If you are not the intended recipient, you are hereby notified that any distribution (except to the intended recipient), copying, or disclosure of this transmission is strictly prohibited.

GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C0035D EFFECTIVE 11-06-2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1'.
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-15-0391 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2018.
- 7) BUILDING PERMIT #B-18001115

Legend

- 10' Public Tree Maintenance Easement
- Existing 25' Private Easement For Ingress And Egress To Old Frederick Road For Tax Map B, Parcel B3
- Private Use-In-Common Access Easement



DETAIL:
1"=20'

#1008 THUNDERBIRD DRIVE
B.R.L. = BUILDING RESTRICTION LINE
TOP OF FOUNDATION ELEVATION = 618.2'

RESUBDIVISION
NON-BUILDABLE F
& REVISION PLAT-
PLAT N
FOUR
HOWA

LOT 43
PLANE FARM
HASE TWO
AT-LOTS 19 THRU 44, AND
ERVATION PARCELS 'I' THRU 'N',
ABLE PRESERVATION PARCEL 'A'
24367 THRU 24372
ELECTION DISTRICT
COUNTY, MARYLAND

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855

Drawing Name:



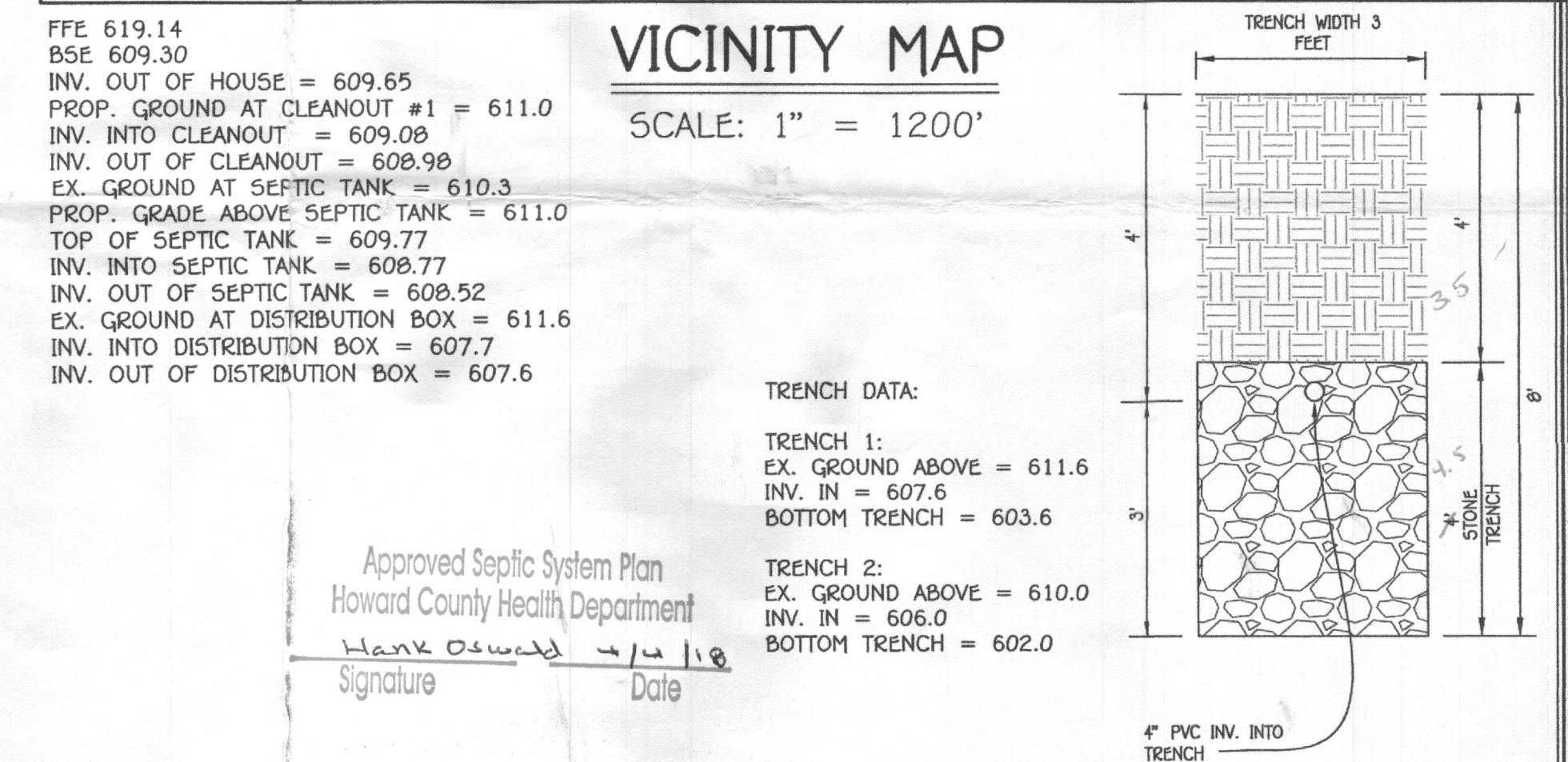
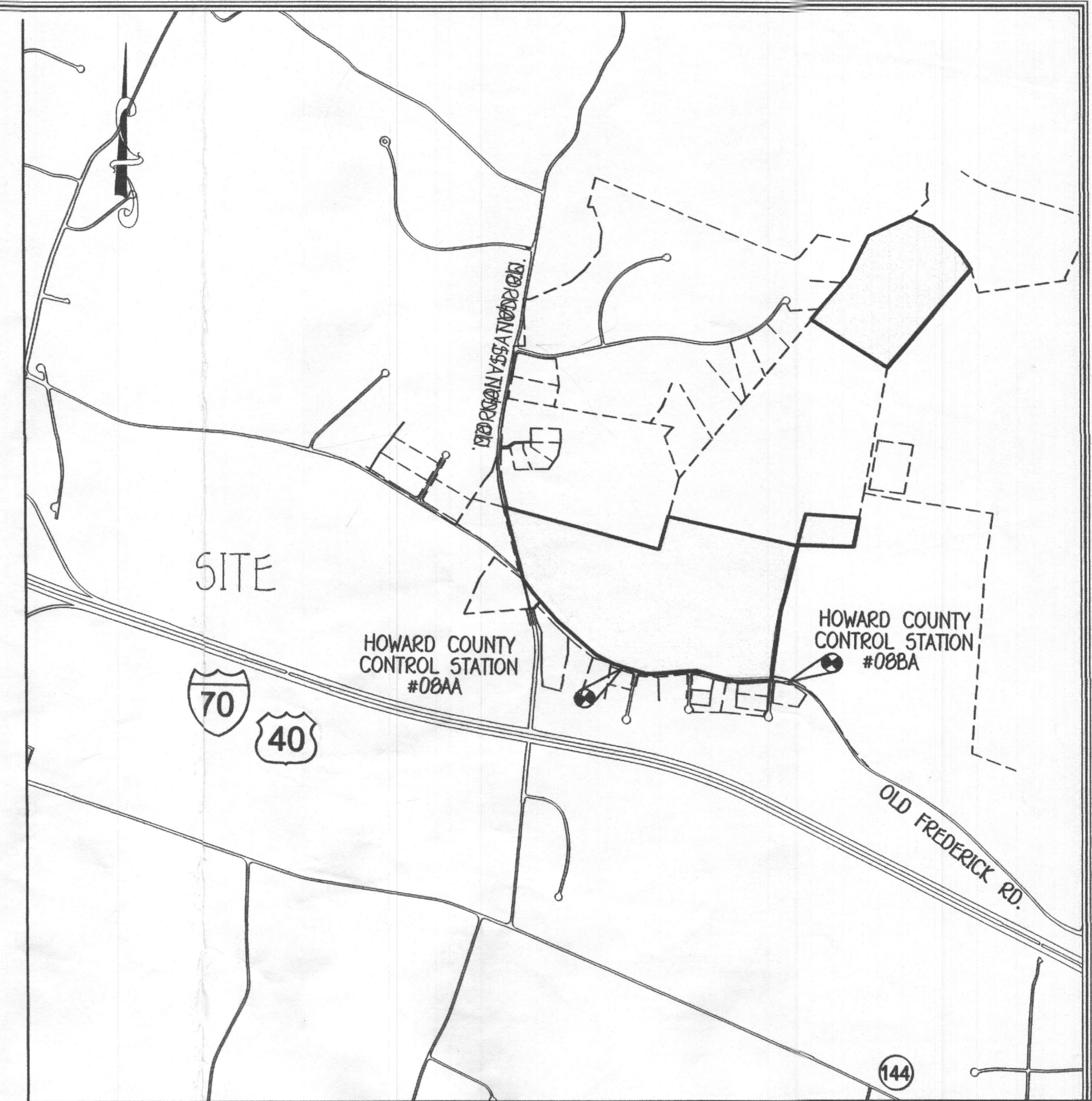
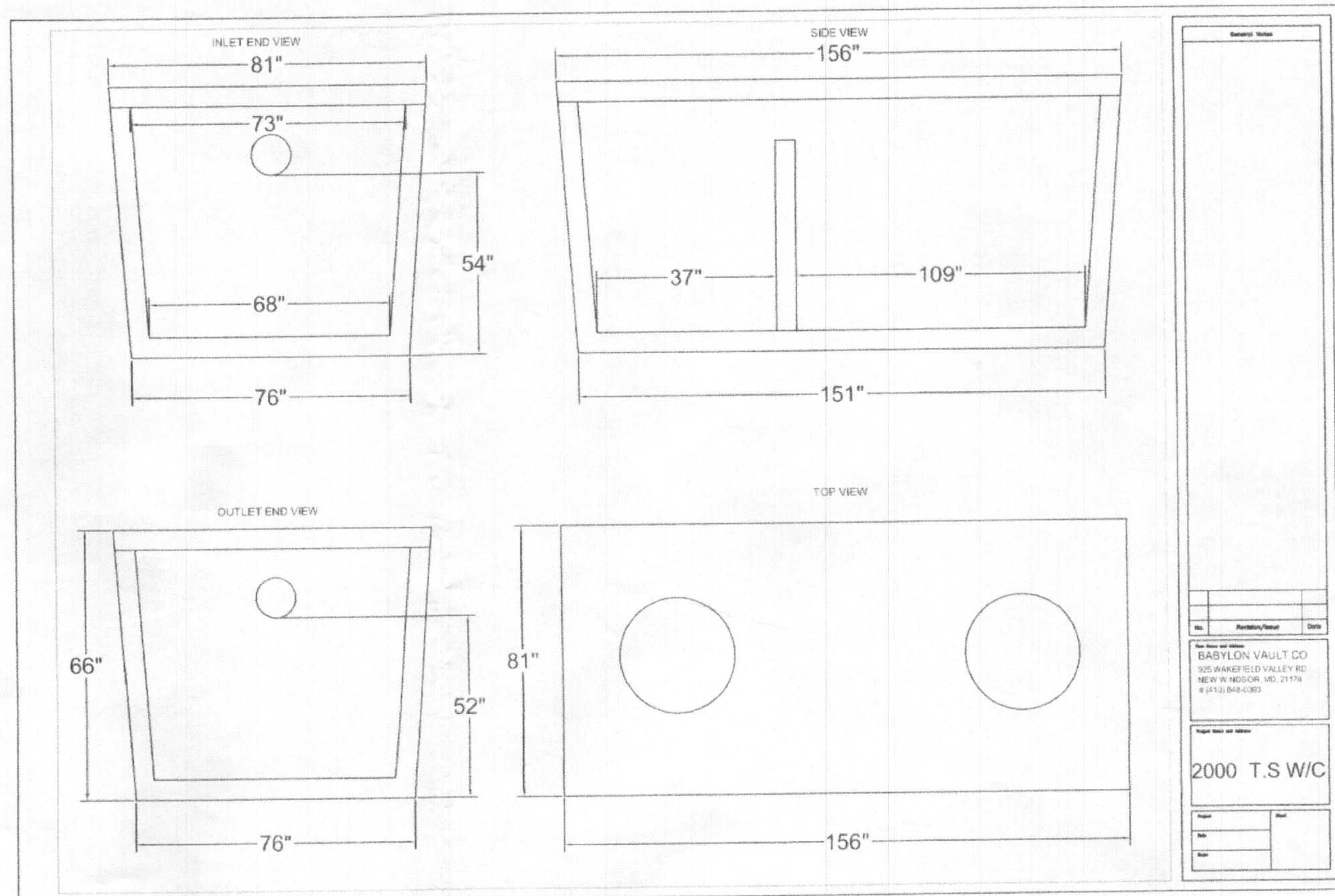
Mark L. Robel
PROPERTY LINE SURVEYOR
REG. #339

HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 6/11/18
FINAL LOCATION:
BOUNDARY SURVEY:

SCALE: 1"=50'
DATE: 6/12/18
DRAWN BY: MD
CHECKED BY: MLR
PROJECT No.: 05106-3003

1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
4. THE WELL HO-15-0391 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

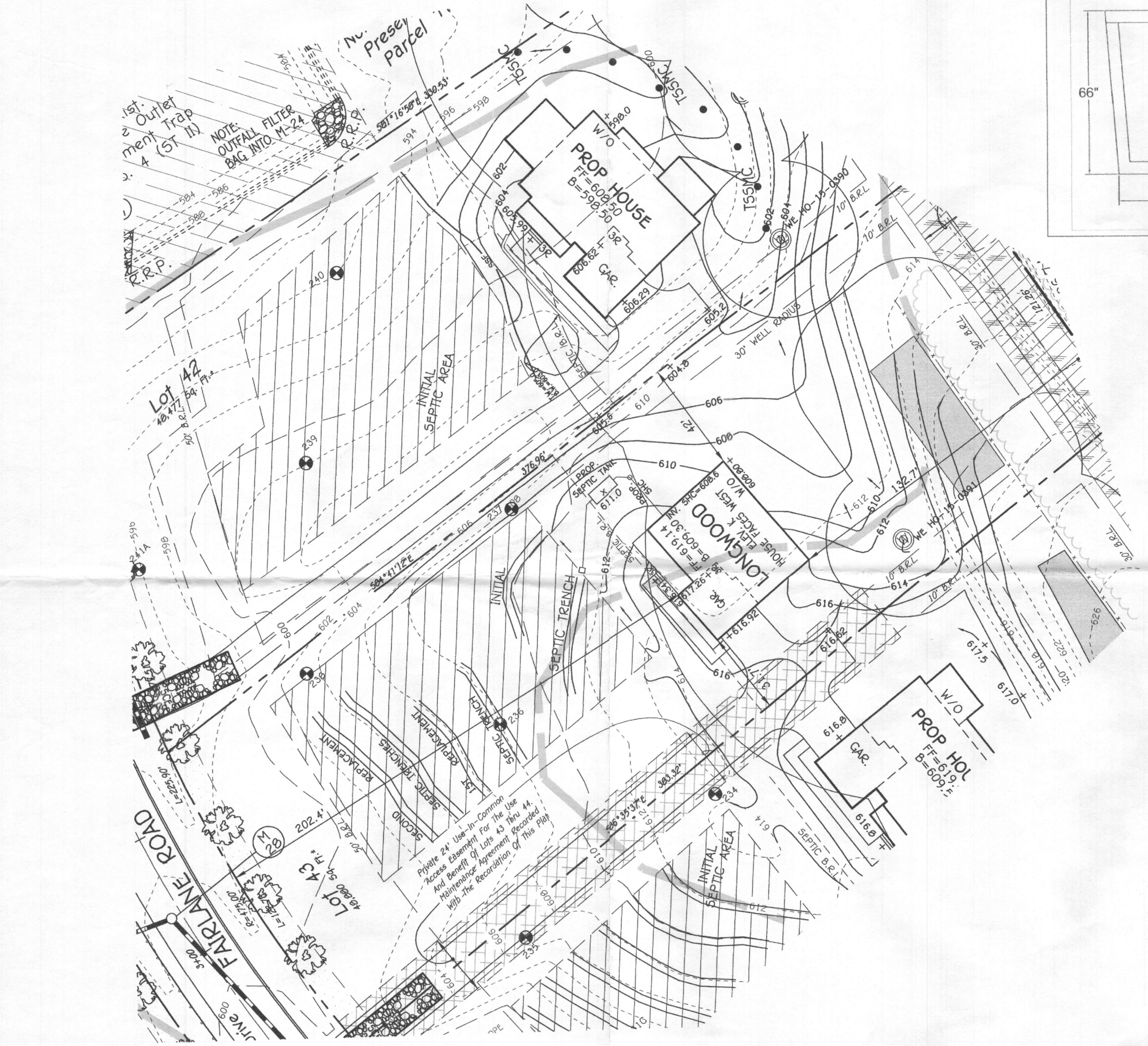
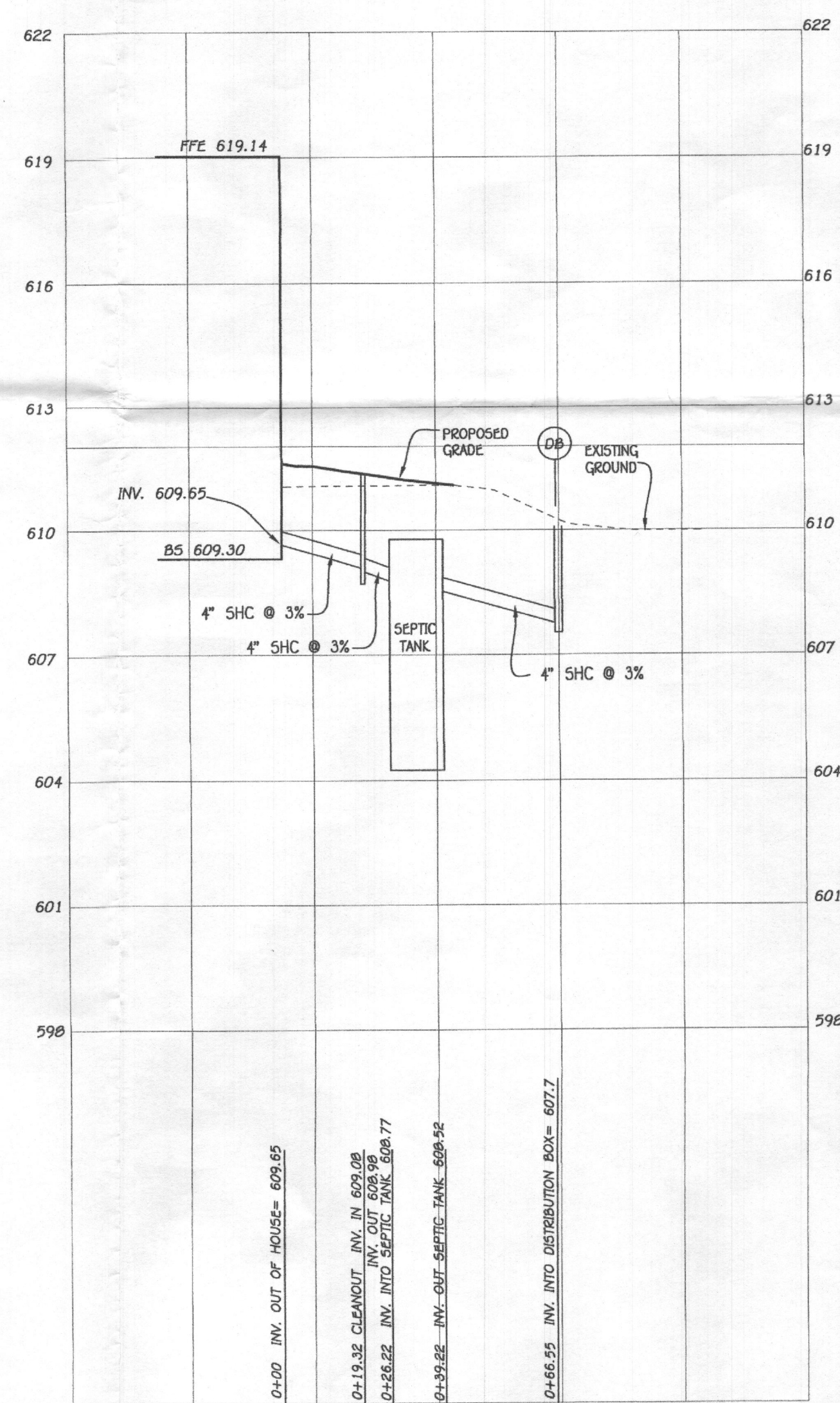


INITIAL SYSTEM
SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR 5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 4 FEET
TRENCH DEPTH = 0 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 4 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 625 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = $(W+2)/(W+1+2D) = (3+2)/(3+1+(2 \times 4)) = .42$
TRENCH LENGTH = 2083.3 SF X 0.42 = 87.50 FEET
(USE 2 TRENCHES AT 43.75 L.F.)
TRENCH SPACING = $2D+W = ((2 \times 4) + 3) = 7'$ USE 10'

2ND REPLACEMENT SYSTEM
SEWAGE DISPOSAL SYSTEM DATA, DESIGN FOR 5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 4 FEET
TRENCH DEPTH = 6 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 3 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 625 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = $(W+2)/(W+1+2D) = (3+2)/(3+1+(2 \times 4)) = .42$
TRENCH LENGTH = 2083.3 SF X 0.42 = 87.50 FEET
(USE 2 TRENCHES AT 43.75 L.F.)
TRENCH SPACING = $2D+W = ((2 \times 2) + 3) = 7'$ USE 10'

SEPTIC SYSTEM INSTALLATION SITE PLAN
LOT 43
1008 THUNDERBIRD DRIVE
FAIRLANE FARMS
PHASE TWO
ZONED: RC-DEO
TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30'
DATE: DEC. 13, 2017
SHEET 1 OF 1

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
43	1008 THUNDERBIRD DRIVE



PLAN
SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
GLUCCIOTT CITY, MARYLAND 21046
(410) 461-1895

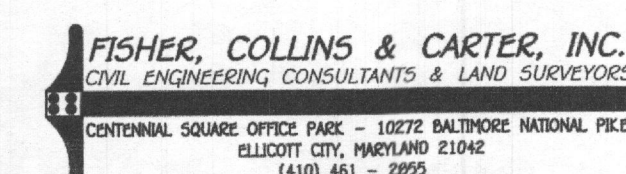
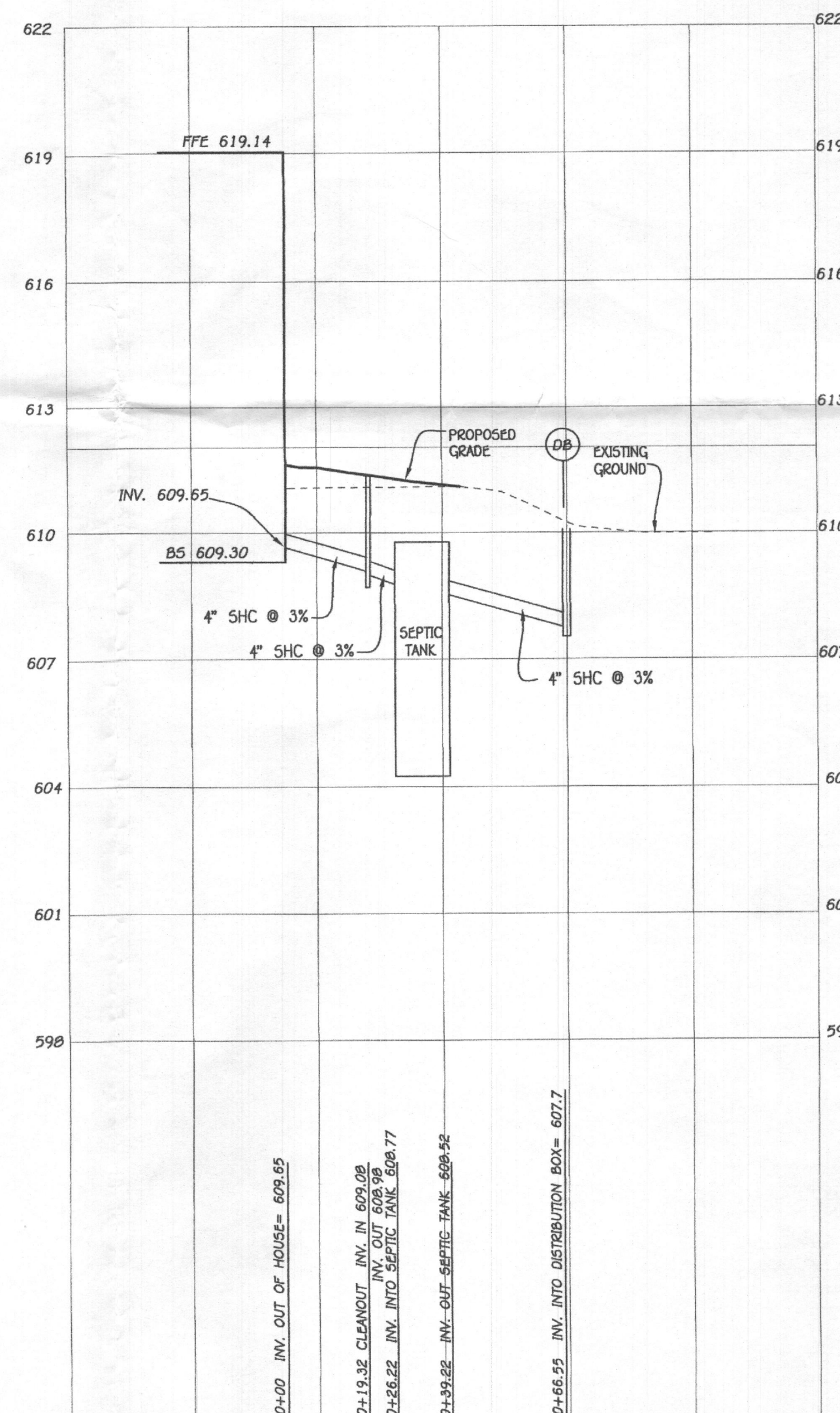
OWNER/DEVELOPER
RV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MD 21046
410-379-5956

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/2019.

Michael J. Viteri
Signature of Professional Engineer
4/3/19
DATE

SEPTIC PROFILE
SCALE: 1"=30'

-
- 66'



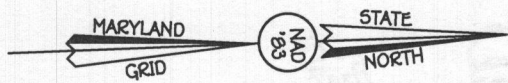
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME
AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND. LICENSE NO. 20748. EXPIRATION DATE: 02/22/2019.

4/3/19
DATE

[illegible]

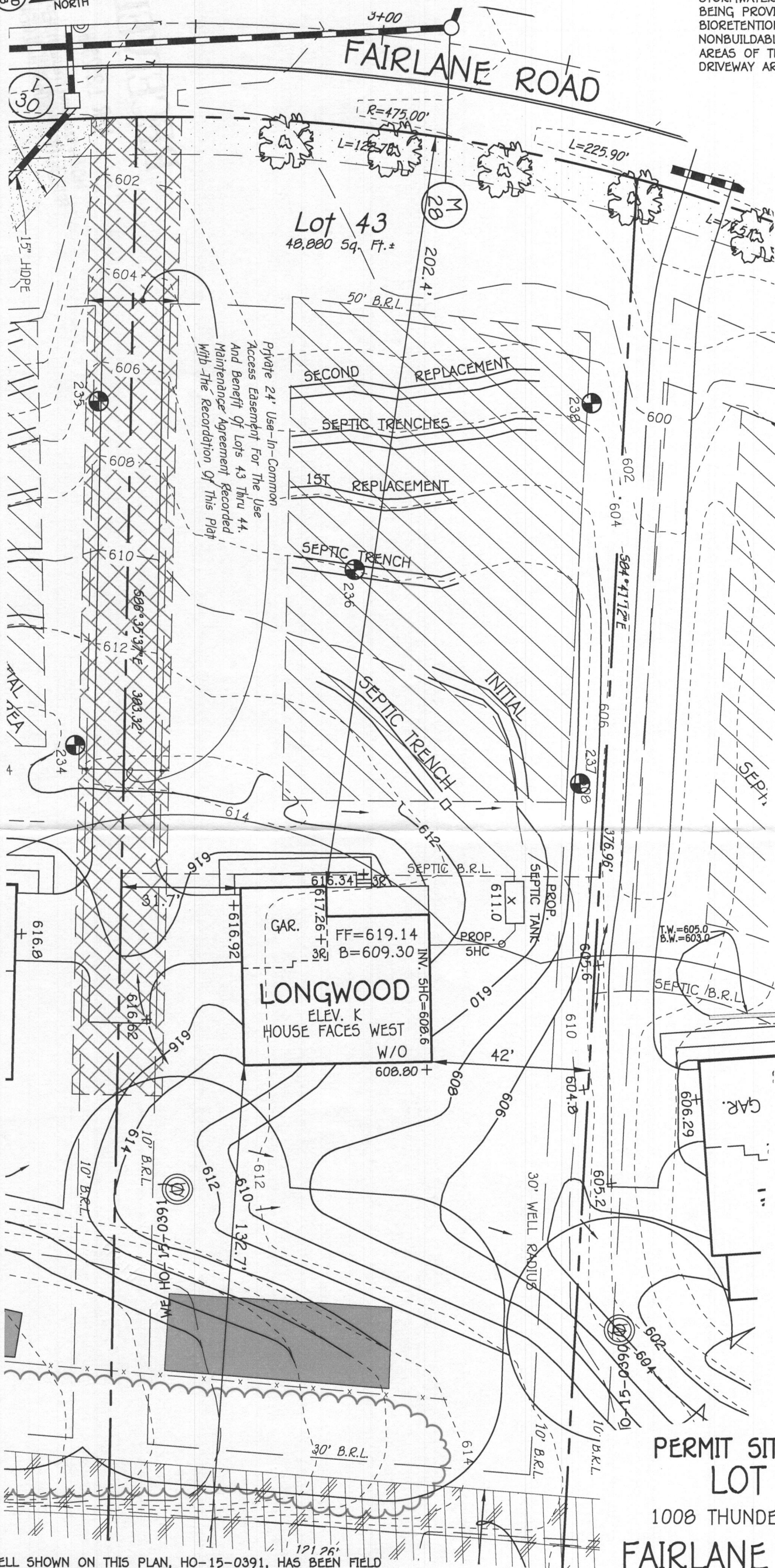
Diagram illustrating the layout of a trench. The trench is 4 feet wide and 4 feet deep. The trench is divided into two sections: a 4' PVC trench (top) and a 4' PVC trench (bottom). The trench is labeled "TRENCH WIDTH 3 FEET". The trench is labeled "4' PVC TRENCH" and "4' PVC TRENCH". The trench is labeled "4' PVC TRENCH" and "4' PVC TRENCH".

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
43	1008 THUNDERBOLT DRIVE



STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT FOR LOT 43 IS BEING PROVIDED BY BMP NO. 4, A BIORETENTION FACILITY, LOCATED ON NONBUILDABLE PARCEL 'M', FOR THE ROOF AREAS OF THE PROPOSED HOUSE AND THE DRIVEWAY AREA.



OWNER/DEVELOPER

NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MD 21046
410-379-5956

PERMIT SITE PLAN
LOT 43
1008 THUNDERBIRD DRIVE
FAIRLANE FARMS

PHASE TWO
ZONED: RC-DEO

TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: MARCH 29, 2018
SHEET 1 OF 1

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0391, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2225

PLAN

SCALE: 1" = 30'

Health Dept
1008 Thunderbird Drive
Lot 43 Fairlane Farms

LONGWOOD



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT												STANDARD DETAILS
	STD. DNGS.												
OPTIONS	OP-1												AD-1
SPEC SHEET	SS-1												FD-1
ELEVATIONS	5												FD-2
FOUNDATIONS	14												FD-2b
FOUNDATION HOLD DOWNS	14/20												FD-3
PLUMBING	21												SB-1
BASEMENT FLOOR PLAN	22												JT-1
FIRST FLOOR PLAN	24												JT-3
SECOND FLOOR PLAN	26												JT-3b
BUILDING SECTIONS	30/32												RF-1
STAIR SECTIONS	34												RF-1b
KITCHEN LAYOUT	37												ET-1
LAUNDRY CABINET LAYOUT	39												ET-1b
CABINET LAYOUT (OPTIONAL)	40												ET-1c
BATH ELEVATIONS	41												ET-1d
BASEMENT ELECTRICAL	42												ET-1f
FIRST FLOOR ELECTRICAL	44												ET-1h
SECOND FLOOR ELECTRICAL	46												ET-2
FIRST FLOOR FRAMING	50												ET-3
SECOND FLOOR FRAMING	51												ET-3b
ROOF FRAMING	53												WD-1
ROOF FRAMING (OPTIONAL)	54												WD-2
TRUSS BRACING	58												WD-3
WALL BRACING LAYOUT	60												DR-1
BASEMENT HVAC LAYOUT	64/65												DR-2
CRAWL SPACE HVAC LAYOUT	66/67												DR-3
FIRST FLOOR HVAC LAYOUT	68/69/70/71												FP-1
SECOND FLOOR HVAC LAYOUT	72/73												IT-1
													IT-1b
													IT-1c
													IT-2
													ST-1
													ST-2
													ST-3b
													MS-1
													KT-1
													SP-1
													SP-2
													SP-3
													SEP-1
													SEP-2
													SEP-3
													SEP-4
													F-1
													FC-1
													FC-2
													FC-4
													WB-1
													WB-2

FIRST FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1670 SF
	1670 SF

SECOND FLOOR SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	1861 SF
2ND FLOOR ELEV. 'B' OR 'K' (ADD. SF)	18 SF
	1880 SF

GARAGE SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
GARAGE	460 SF
	460 SF

BASEMENT SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	880 SF
	880 SF

UNFINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT STORAGE	923 SF
STORAGE	245 SF
MECHANICAL	242 SF
	811 SF

TOTAL FINISHED SQUARE FOOTAGE

DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	1670 SF
2ND FLOOR (BASE SF)	1861 SF
2ND FLOOR ELEV. 'B' OR 'K' (ADD. SF)	18 SF
	3549 SF

SET - VERSION

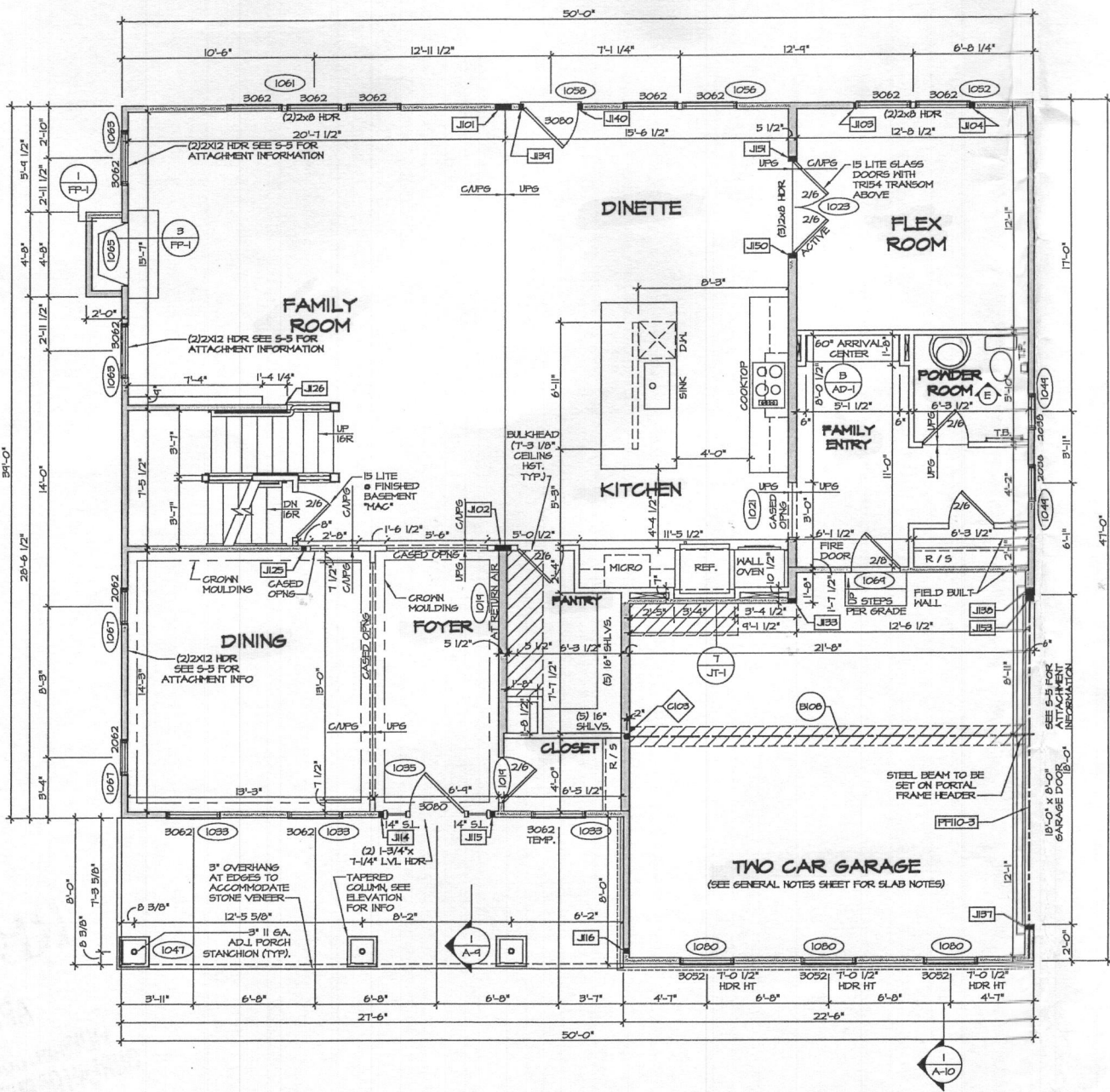
14000 - 01

CS-1

C:\NVR\Solves\LONGWOOD_14000_01\MOE-TF-0043\227500 Sheets\Lot Specific\CS-1 COVER SHEET.dwg 03/25/18 - 3:23 pm



ALL WINDOWS HAVE
8'-0" 1/2" HEADER HEIGHT
UNLESS OTHERWISE NOTED.



1 FIRST FLOOR PLAN
A-T SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (2) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPHUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPHUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPHUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C.
- 2A - (2) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C.
- 3A - (2) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C.
- 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 5A - (3) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 6A - (3) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE

FIRST FLOOR BEAM/HEADER SCHEDULE

IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
B108	BEAM STEEL - W10X44	22'-5"	SCC	1071, 1075, 1078	
PF1010-3	LVL - 22	20'-2 1/2"	SCC/IDK	1087, 1089, 1091	PORTAL FRAME - 6A

STEEL COLUMN SCHEDULE

IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. NUM.	REMARKS
C103	STANCHION - 3 IN SCH 40	8'-4 5/8"	SCC	1071, 1075, 1078	

FIRST FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J101	JACK - (1) 2X4 SFF		1024	
J102	JACK - (1) 2X4 SFF STUD GRADE		1024	
J103	JACK - 2X4 SFF STUD GRADE		1052	
J104	JACK - (2) 2X4 SFF STUD GRADE		1052	
J114	JACK - (2) 2X4 SFF STUD GRADE	ELK	1035	
J115	JACK - (2) 2X4 SFF STUD GRADE	ELK	1035	
J116	JACK - (2) 2X4 SFF STUD GRADE	ELK	1041	
J125	JACK - (2) 2X4 SFF STUD GRADE		1011	
J126	JACK - (2) 2X4 SFF STUD GRADE		1018	
J133	JACK - (2) 2X6 SFF STUD GRADE	ELB, ELK, ELL, ELR	1017	
J137	JACK - (2) 2X6 SFF STUD GRADE	SCC	1087, 1089, 1091	
J138	JACK - (3) 2X6 SFF STUD GRADE	SCC	1087, 1089, 1091	
J139	JACK - (2) 2X4 SFF STUD GRADE		1058	
J140	JACK - (2) 2X4 SFF STUD GRADE		1058	
J150	JACK - (2) 2X6 SFF STUD GRADE	MCF	1023	
J151	JACK - (2) 2X6 SFF STUD GRADE	MCF	1023	
J153	JACK - (2) 2X6 SFF STUD GRADE	SCC, ELB/ELK/ELL/ELR	1017	CRIPPLES

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REMARKS

REV. NO. DATE

NVR, Inc. is not responsible for any errors or omissions in these drawings. The user of these drawings is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The user of these drawings is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the engineer. The user of these drawings is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the engineer.

NVR
Architectural Services
21 Byle Court, Suite A
Frederick, MD 21702

SHEET NO. 14000

VERSION 01

DRAWN BY NGB

DATE:

OPTION

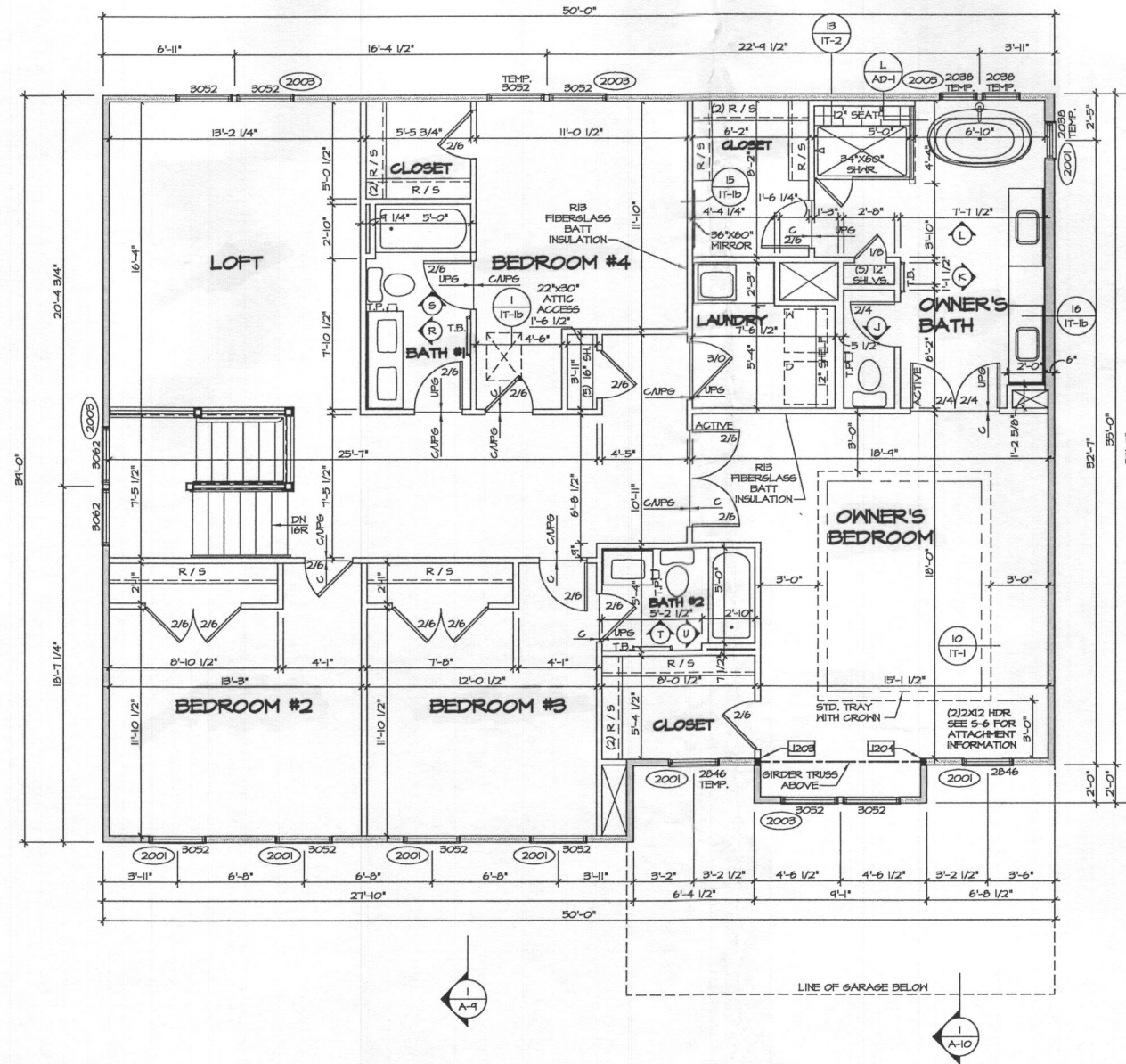
MODEL LONGWOOD

DRAWING TITLE FIRST FLOOR PLAN

OPTION DESCRIPTION

A-7

24



1
A-B
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J203	JACK - (3) 2X4 SFF STUD GRADE	ELK	2008	
J204	JACK - (3) 2X4 SFF STUD GRADE	ELK	2008	

NVR, Inc. owner, expressly warrants that the design and other property rights in these plans, these plans are not to be reproduced, copied, or in any form or manner whatsoever, nor may they be assigned to any other person without the written consent of NVR, Inc.



NVR, Inc.
Architectural Services
21 Byrd Court, Suite A
Frederick, MD 21702

SHEET NO. A-8	MODEL LONGWOOD	SET NO. 14000
	DRAWING TITLE SECOND FLOOR PLAN	VERSION 01
26	OPTION DESCRIPTION	DRAWN BY CAP
		DATE: OPTION

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Fisher, Collins & Carter, Inc.
10272 Baltimore National Pike
Ellicott City, MD 21042

FROM: Hank Oswald, L.E.H.S.
Well & Septic Program

RE: 1008 Thunderbird Road
Fairlane Farms, Lot 43

Date: April 2, 2018

The OSDS Plan for 1008 Thunderbird Road has been reviewed with the following comments:

- 1.) Show all 3 systems on the plan
- 2.) Confirm basement elevation on plan (609.65 or 609.30)
- 3.) 2nd replacement system specs are 4 and 6 ft. (not 5ft and 7ft)
- 4.) Initial trench detail only shows 3.5 feet of stone and 7 foot bottom trench (It should be 4 ft. and 8 ft.).

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Transmittal

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.
Frank Manalansan II, L.S.
Stephanie Tuite, RLA, P.E., LEED AP BD&C

Via: ☐ Fax ☐ Mail ☒ Messenger ☐ E-Mail ☐ To Be Picked Up
☐ Fax (original to follow via U.S. Mail)

To: Bureau of Environmental Health 8930 Stanford Blvd. Columbia, Maryland 21046-4544	Attn: Hank Fax: Phone: 410-313-2640
---	---

From: Tony Fertitta	CC:
----------------------------	-----

Re: Fairlane Farms, Lot 43	W.O.# 05106-3003
Date: March 27, 2018	Pages: 0 Page(s) Including this cover

We are forwarding:	<input checked="" type="checkbox"/> Prints	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Specifications	<input type="checkbox"/> Shop drawings	<input type="checkbox"/> Other
	<input type="checkbox"/> Urgent	<input type="checkbox"/> For your use	<input type="checkbox"/> As requested	<input checked="" type="checkbox"/> For Review & Comment	

Remarks:

Re: Fairlane Farm, Lot 43, 1008 Thunderbird Drive Rd.

Here are 3 new copies of the OSDS for Lot 43 for your review. Please let me know if you have any questions.

Thank You,

Tony.

Fisher, Collins, & Carter, Inc. Ph. 410-461-2855

CONFIDENTIALITY NOTICE

This transmission contains confidential information which may be legally privileged, and is intended only for the use of the individual named above. If you are not the intended recipient, you are hereby notified that any distribution (except to the intended recipient), copying, or disclosure of this transmission is strictly prohibited.

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Transmittal

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.
Frank Manalansan II, L.S.
Stephanie Tuite, RLA, P.E., LEED AP BD&C

Via: ☐ Fax ☐ Mail ☒ Messenger ☐ E-Mail ☐ To Be Picked Up
☐ Fax (original to follow via U.S. Mail)

To: **Bureau of Environmental Health**
8930 Stanford Blvd.
Columbia, Maryland 21046-4544

Attn: **Hank**
Fax:
Phone: **410-313-2640**

From: **Tony Fertitta**

CC:

Re: **Fairlane Farms, Lot 43**

W.O.# **05106-3003**

Date: **March 27, 2018**

Pages: **0** **Page(s) Including this cover**

We are forwarding: ☒ Prints ☐ Copy of Letter ☐ Specifications ☐ Shop drawings ☐ Other
☐ Urgent ☐ For your use ☐ As requested ☒ For Review & Comment

Remarks:

Re: Fairlane Farm, Lot 43, 1008 Thunderbird Drive Rd.

Here are 3 new copies of the OSDS for Lot 43 for your review. Please let me know if you have any questions.

Thank You,

Tony.

Fisher, Collins, & Carter, Inc. Ph. 410-461-2855

CONFIDENTIALITY NOTICE

This transmission contains confidential information which may be legally privileged, and is intended only for the use of the individual named above. If you are not the intended recipient, you are hereby notified that any distribution (except to the intended recipient), copying, or disclosure of this transmission is strictly prohibited.