



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DATE 2018 JUN 21 PM 10:2

Date Received: _____

Permit No.: B18002211

Building Address: 10241 Maryland Dr
City: Waldorf State: MD Zip Code: 21797
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Larline
Section: _____ Area: _____ Lot: 10
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 1.3

Existing Use: 250
Proposed Use: 250
Estimated Construction Cost: \$ 4000
Description of Work: Initial 100% of subgrade
Propose to build

Occupant/Tenant Name: _____
Was tenant space previously occupied? ☐ Yes ☐ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☐ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms:
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
☐ Yes ☐ No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: 10241 Maryland Dr
Address: 2215 State: MD Zip Code: 21797
City: Waldorf State: MD Zip Code: 21797
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Michelle Henry
Address: 2215 State: MD Zip Code: 21797
City: Waldorf State: MD Zip Code: 21797
Phone: _____ Fax: _____
Email: Michelle.Henry@howardcountymd.gov

Contractor Company: Tech Air
Contact Person: Kevin Brown
Address: 15601 D Tulch State: MD Zip Code: 21797
City: Waldorf State: MD Zip Code: 21797
License No.: 8215
Phone: 410-941-523 Fax: _____
Email: _____

Engineer/Architect Company: CEC
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities
Electric: ☐ Yes ☐ No
Gas: ☐ Yes ☐ No
Water Supply
☐ Public
☒ Private
Sewage Disposal
☐ Public
☒ Private
Heating System
☐ Electric ☐ Oil
☐ Natural Gas ☐ Propane Gas
☐ Other:
Sprinkler System:
☐ Yes ☐ No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name _____

Email Address _____

Date 10/19/18

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>7/9/18</u>	<u>A-X</u>

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>10478</u>

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

\\\\Operations\\Updated Forms\\Building applmp 03.21.2017.docx

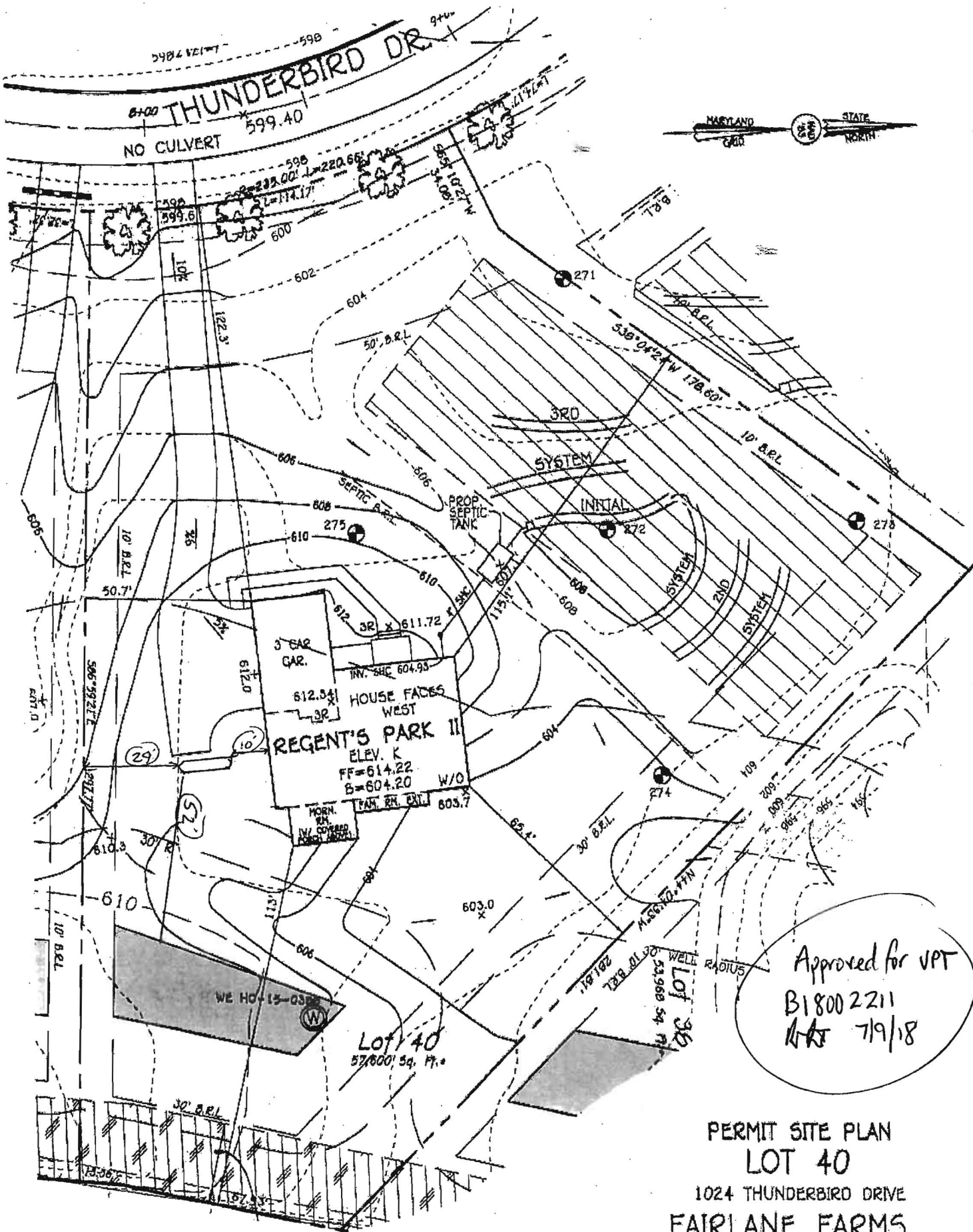
OWNER/DEVELOPER

HY HOMES
9780 PARLANT WOODS DRIVE
COLUMBIA, MD 21046
410-379-8986

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0388, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

STORMWATER MANAGEMENT NOTES:

STORMWATER MANAGEMENT TREATMENT OF ALL IMPERVIOUS AREA FOR LOT 40 IS BEING PROVIDED BY BMP NO. 4 AND BMP NO. 5 (BIORETENTION FACILITIES).



Approved for VPT
B18002211
7/9/18

PERMIT SITE PLAN LOT 40 1024 THUNDERBIRD DRIVE FAIRLANE FARMS PHASE TWO

ZONED: RC-DEO

TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8

5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1"=40' DATE: APRIL 25, 2018

SHEET 1 OF 1

PLAN

SCALE: 1"=40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTRAL SQUARE OFFICE PARK - 10078 BALTIC NATIONAL PIKE
BELLGATE CITY, MARYLAND 21048
(410) 481-2898

B18001570



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2018 MAY 7 PM3:42

Date Received: _____

Permit No.: B18001570

Building Address: 1024 Thunderbird Dr.
City: Woodbine State: MD Zip Code: 21797
Suite/Apt. # _____ SDP/WP/BA #: GP-18-35
Census Tract: _____ Subdivision: Fairlane Farm
Section: _____ Area: _____ Lot: 40
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: vacant lot
Proposed Use: single family house
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Regents Park II" with ELV 'K', 3 car garage, morning room, 4' EXT to family room, bonus rm, and finished basement (rec rm, bath, office, media rm, wet bar)
Occupant or Tenant: _____
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒ SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>52</u> x <u>60</u>
Area of construction (sq. ft.):	2 nd floor: <u>40</u> x <u>60</u>
Use group:	Basement: <u>52</u> x <u>60</u>
Construction type:	☒ Finished Basement
☐ Reinforced Concrete	☐ Unfinished Basement
☐ Structural Steel	☐ Crawl Space
☐ Masonry	☐ Slab on Grade
☐ Wood Frame	No. of Bedrooms: <u>4</u>
☐ State Certified Modular	Multi-family Dwelling
Roadside Tree Project Permit	No. of efficiency units:
☐ Yes ☒ No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	☐ State Certified Modular
	☐ Manufactured Home

Property Owner's Name: NVR Inc
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim @ Decatur building services . com

Contractor Company: NV Homes
Contact Person: Clint Cagle
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: CCagle @ NVR Inc . com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Water Supply	
☐ Public	
☒ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Electric: ☒ Yes ☐ No	
Gas: ☒ Yes ☐ No	
Heating System	
☒ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☒ Yes ☐ No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kernin
Email Address: Jim @ Decatur building services . com
Title/Company: AGENT NV Homes

Print Name: Jim Kernin
Date: 5/7/2018

RECEIVED

MAY 07 2018

LICENSES & PERMITS
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/17/18</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? ☒ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? ☐ Yes ☐ No
Is Entrance Permit Required? ☐ Yes ☐ No
Historic District? ☐ Yes ☐ No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>177170</u>

Distribution of Copies: White: Building Officials

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Yellow: PSZA, Engineering

Pink: Health

Gold: SHA

Operations\Updated Forms\Building applmp 8.2012.docx

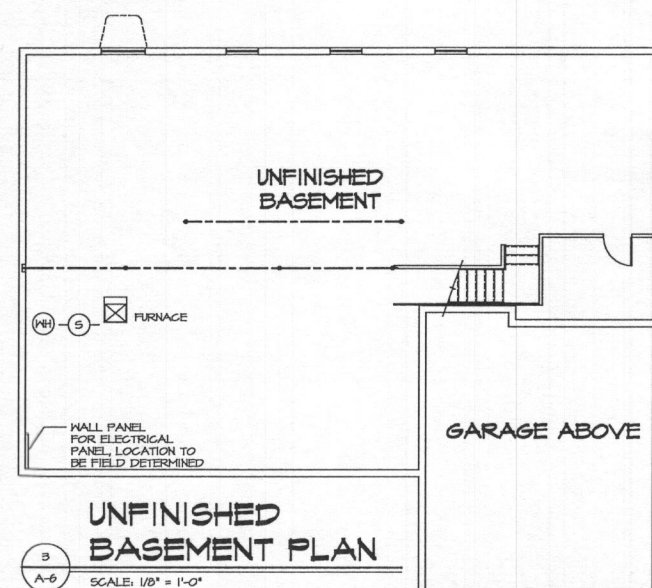
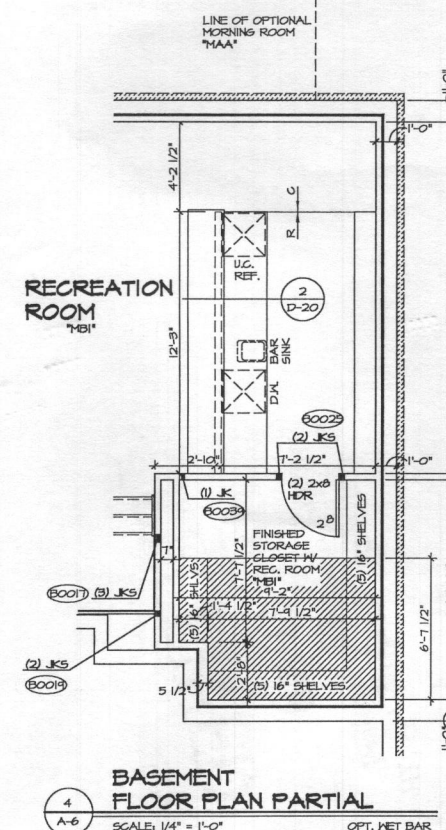
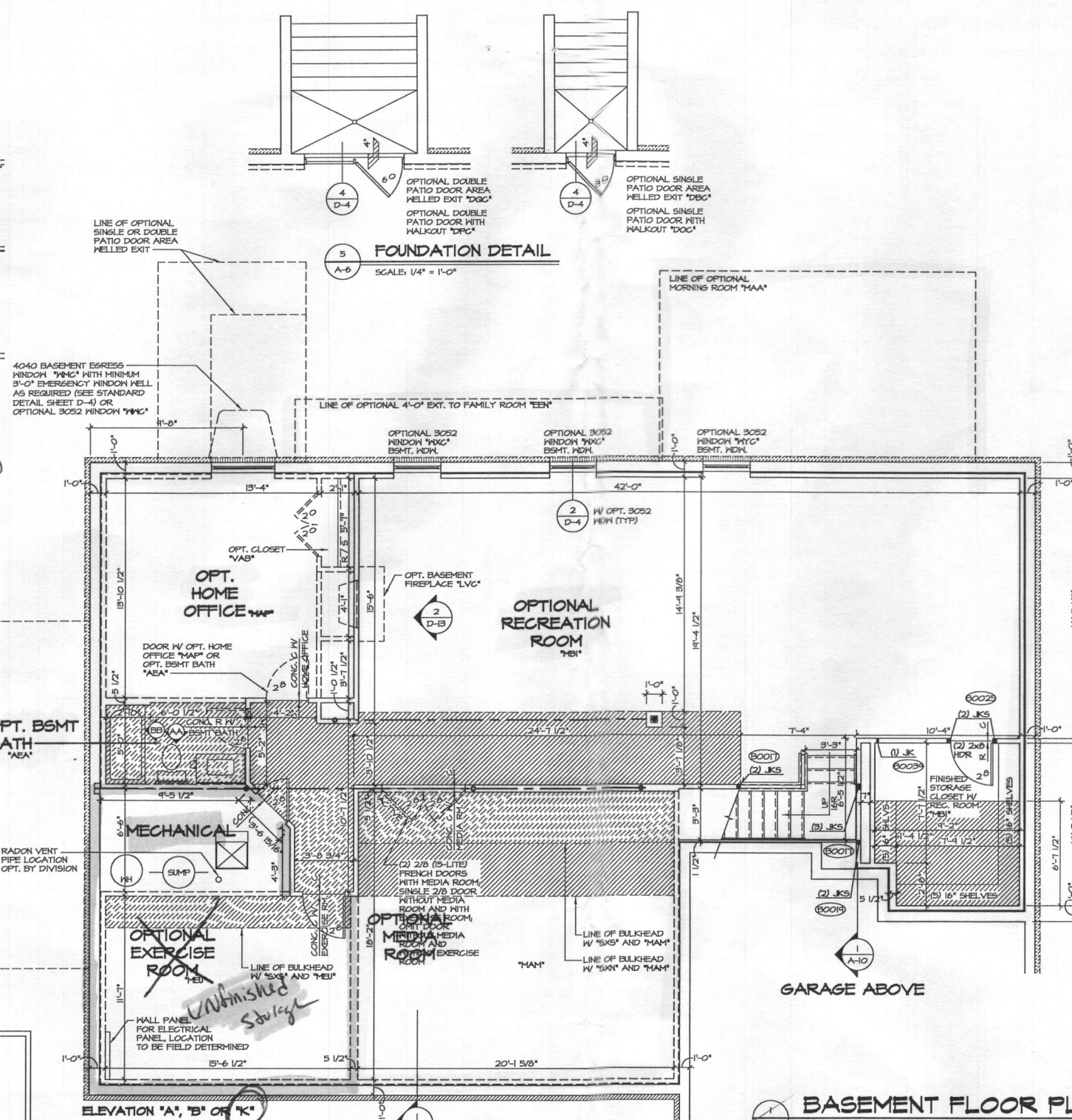
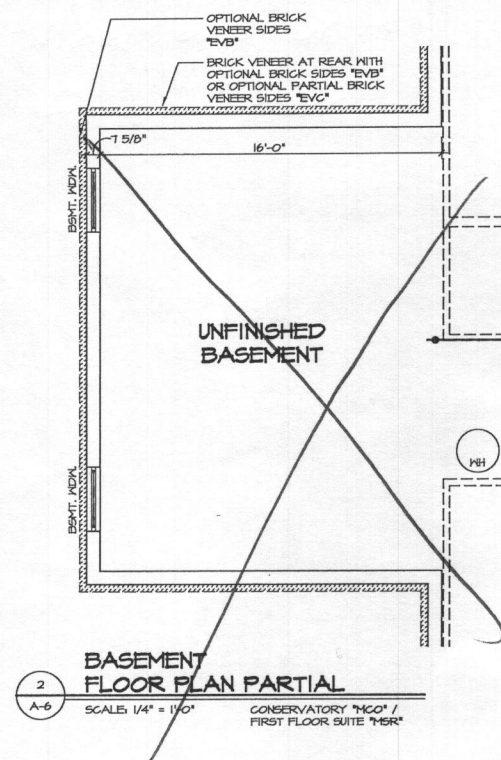
Grading permit hasnt come in yet.

AKI

HEALTH DEPT



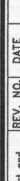
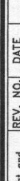
\\Dwg\nv\DETACHED\REGENTS PARK IL_10200_01\CS1.dwg 10/23/17 - 2:50 pm



NOTES:

1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE DROPPED CEILINGS.
4. ALL GASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED
WALL PANEL LOCATIONS

SHEET NO.	MODEL REGENT'S PARK II	SET NO. 10200		NVR, Inc. owner, expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without first obtaining the expressed written consent of NVR, Inc.
		DRAWING TITLE BASEMENT FLOOR PLAN		
A-6	DRAWN BY JEA	DATE: 01/4/13		NVR, Inc. Architectural Services 21 1/2e Court, Suite A Fremont, MI 48172
		OPTION		
47	OPTION DESCRIPTION			
		REV. NO. DATE REMARKS		
		10	2/24/05	GL5 - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		11	4/22/05	MBT - RELOCATED THE NET BASE (PAR ID, 32442)
		12	4/15/05	DDB - ADIT REVISION AD "AAA" LINE
		13	5/14/05	5895 - PARS #3024 - REVISED "HAP" DOOR LOCATION FOR TRIM
		14	10/16/05	AKS - MECHANICAL DOOR STD. GLASSIFIED MEDIA ROOM DOOR NOTE (PAR 3639)
		15	10/21/05	5895 - PARS #32470 - REVISED HALLS / PANELS TO MATCH FOR UNFINISHED STAIR
		16	11/16/05	AKS - MECHANICAL DOOR STD. GLASSIFIED MEDIA ROOM DOOR NOTE (PAR 3639)
		17	12/14/05	AKS - MECHANICAL DOOR STD. GLASSIFIED MEDIA ROOM DOOR NOTE (PAR 3639)
		18	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		19	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		20	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		21	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		22	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		23	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		24	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		25	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		26	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		27	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		28	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		29	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)
		30	1/17/06	GEL - ADIT - ADDED NOTE FOR 3641 OPTION (PAR ID 31917)



NOTE:

1. ELECTRICAL PLAN FOR ELECTRICAL DATA ONLY
2. LOCATION OF ELECTRICAL FEATURES ARE APPROXIMATE
3. INCLUDE ADDITIONAL OUTLET AT PANEL BOX LOCATION AS REQUIRED
4. OPTIONAL PENDANT LIGHTING TO BE 30"-36" ABOVE COUNTERTOP
5. OPTIONAL UNDER CABINET LIGHTS; SEE KITCHEN LAYOUT DRAWING FOR WALL, CABINET SIZES AND LOCATION



ELECTRICAL LEGEND

	SINGLE POLE SWITCH		EXHAUST FAN MOTOR WITH LIGHT
	THREE WAY SWITCH		DOOR CHIME
	FOUR WAY SWITCH		LIGHT FIXTURE - WALL MOUNTED
	DUPLEX RECEPTACLE		LIGHT FIXTURE - CEILING MOUNTED
	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED		LIGHT FIXTURE - RECESSED
	DUPLEX RECEPTACLE - FLOOR MOUNTED		LIGHT FIXTURE - RECESSED WEATHER PROOF
	RECEPTACLE - 220V		LIGHT FIXTURE - HANGING
	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT		LIGHT FIXTURE - PENDANT
	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT		LIGHT FIXTURE - FLUORESCENT
	SMOKE DETECTOR - WIRED IN SERIES		LIGHT FIXTURE - UNDER CABINET LIGHT
	CARBON MONOXIDE DETECTOR		PULLCHAIN LAMPHOLDER
	EXHAUST FAN MOTOR		KEYLESS LAMPHOLDER

NOTE:
ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY AND NOT INTENDED AS ENGINEERED DRAWINGS. THESE PLANS REPRESENT THE DESIGN INTENT FOR SWITCH AND RECEPTACLE LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" X 8'-0" CEILING SPACE FOR THE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

NOTES:

1. ALL HEADERS ARE (3) 2x6,
UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6"
UNLESS OTHERWISE NOTED.
ALL INTERIOR WALLS ARE 3 1/2"
UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE
DROPPED CEILING.
4. ALL GASED OPENINGS AT 7'-11",
UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT
PER PLAN OR REVERSE PLAN
(WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED
WALL PANEL LOCATIONS

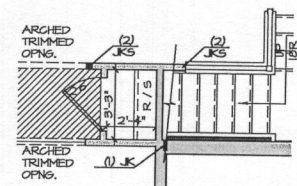
SHEET NO.	MODEL	SET NO. 10200
A-6b	DRAWING TITLE	VERSION 01
	BASEMENT FLOOR PLAN PARTIALS	DRAWN BY CHB
48	OPTION DESCRIPTION	DATE: 11/8/13
	4'-0" EXTENSION TO FAMILY ROOM MORNING ROOM	OPTION EEN MAA

NVR, Inc., owner, expressly reserves its common law copyright and all other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, except as they may be assigned to any third party, without first obtaining the express written consent of NVR, Inc.

NVR

NVR, Inc.
Architectural Services
Architects
21 Bye Court, Suite A
Frederick, MD 21702

[illegible]

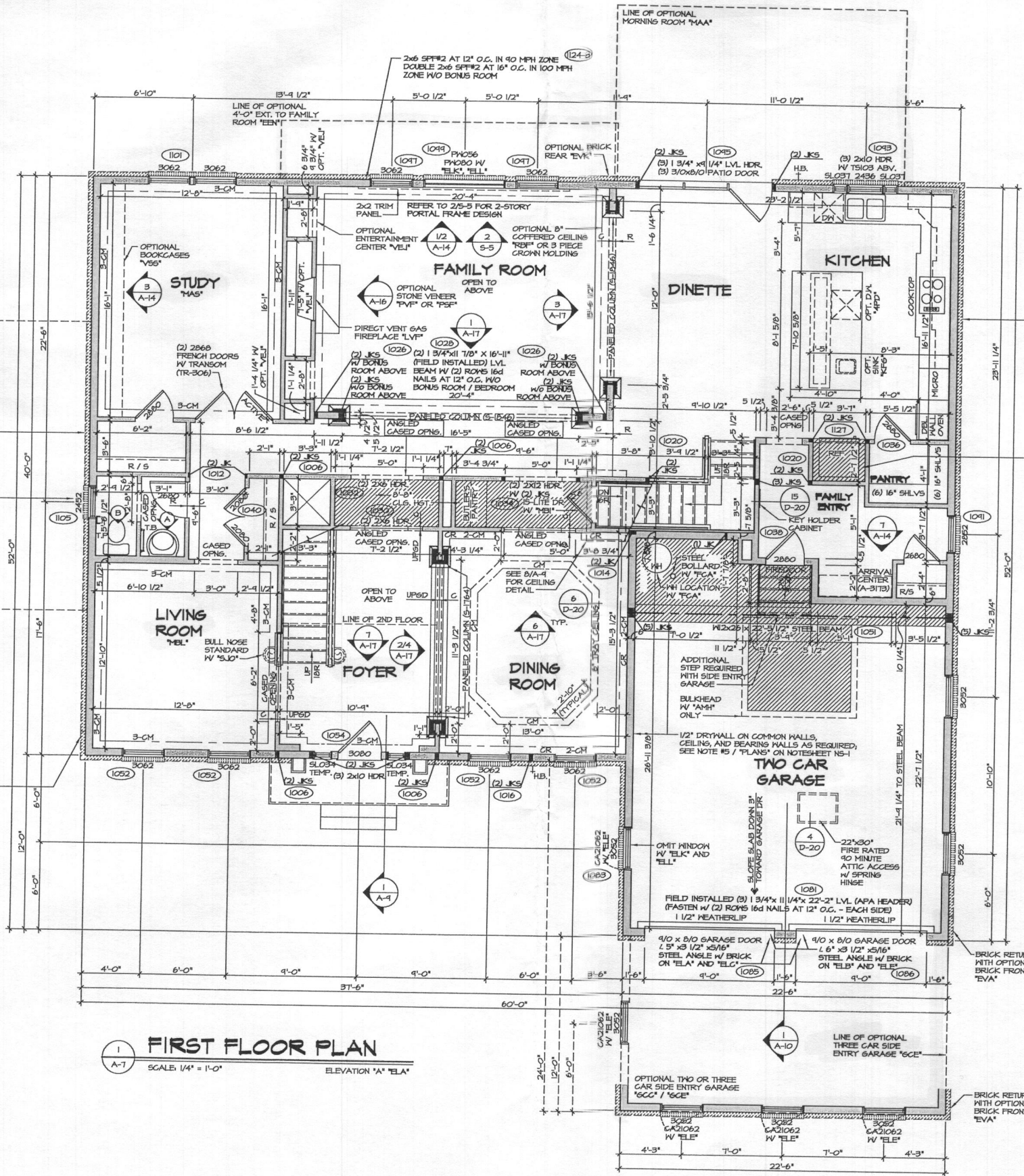


FIRST FLOOR PLAN PARTIAL

SCALE: 1/4" = 1'-0" GRAVEL FOUNDATION "FGA"

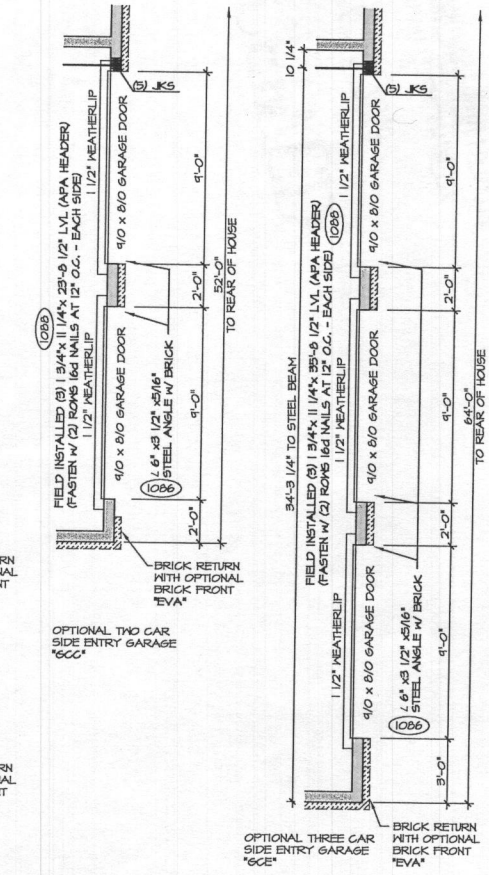
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" ELEVATION "A" "ELA"



- NOTES:**
1. ALL HEADERS ARE (B) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL HEADERS TO BE AT 1'-0 1/2", UNLESS OTHERWISE NOTED.
 6. ALL CASED OPENINGS AT 6'-3", UNLESS OTHERWISE NOTED.
 7. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 8. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET 5-5 FOR BRACED WALL PANEL LOCATIONS



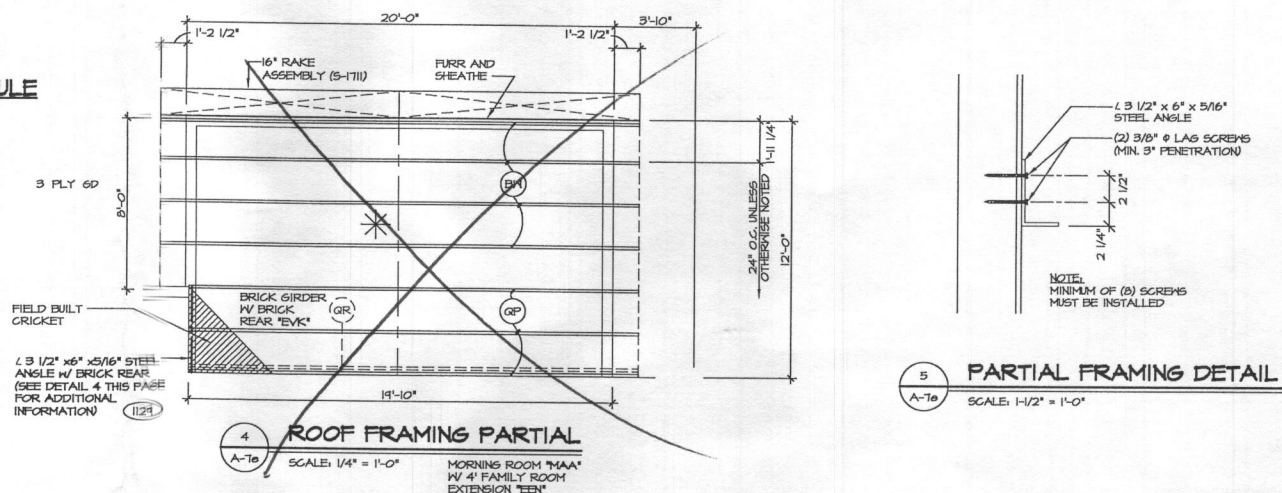
SHEET NO.	PROJECT NO.	REGEN'S PARK II		DATE	REV. NO.	DATE	REMARKS
		DRAWING TITLE					
		FIRST FLOOR PLAN					
		OPTION DESCRIPTION					
A-7				9/25/14			
49.1							

SET NO. 10200
VERSION 01
DRAWN BY: DRA
DATE: 9/25/14
OPTION

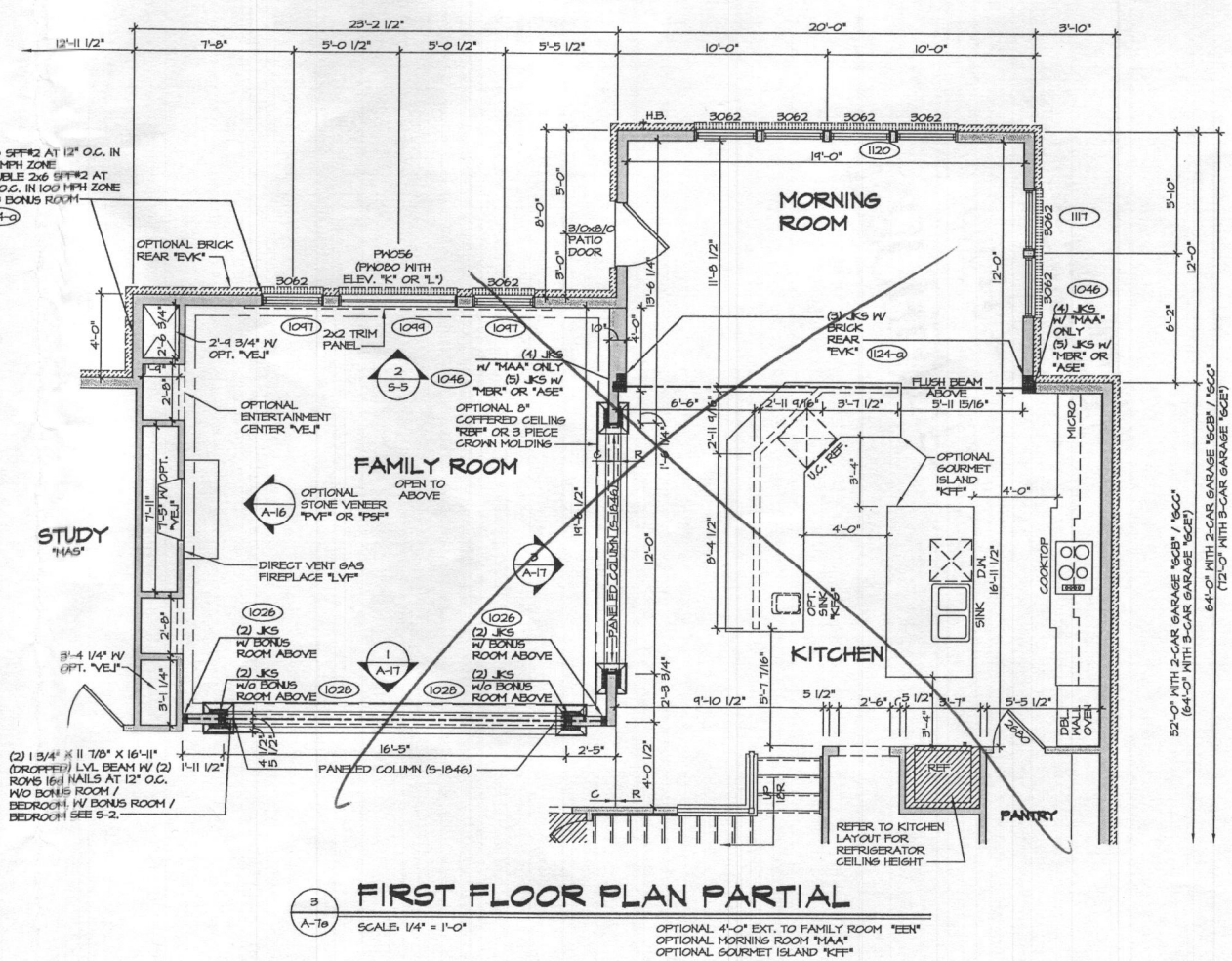
NVR, Inc. is hereby certifying that it is a duly licensed professional engineer and architect in the State of New York, and that it is the duly authorized agent of the State of New York for the purpose of representing the State of New York in the construction of the project described herein. The undersigned hereby certifies that the project described herein is the property of NVR, Inc. and that the project is being constructed in accordance with the plans and specifications of NVR, Inc. and that the project is being constructed in accordance with the plans and specifications of NVR, Inc.

NVR, Inc.
Architects
21 Blye Court
Franklin, NJ 07122

J.A. Dwyer & Associates, Inc. 08/30/17 - 12/4/17



A-7e SCALE: 1/4" = 1'-0"



A-7a SCALE: 1/4" = 1'-0"

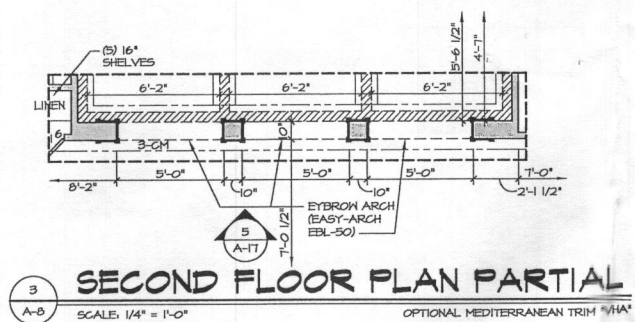
REMARKS
0004 - REVISED KITCHEN ISLAND W/ OPTION VENT PAR 30762
0005 - PAR 3536 - ADDED 2X6 TRIM PANEL IN FAMILY ROOM TO FLOOR PLANS
0006 - PAR 3536 - ADDED 2X6 TRIM PANEL, ROOMY HALL, OPENING TO 8'-0" PAR TO 450474
0007 - PAR 3536 - ADDED 2X6 TRIM PANEL, ROOMY HALL, OPENING TO 8'-0" PAR TO 450474
0008 - CLARIFIED HOSE BOWL LOCATIONS
0009 - ADDED HOSE BOWL LOCATIONS
0010 - REVISED TRIMMED OPENINGS
0011 - PAR - INTERNAL ADJUST
0012 - PAR - INTERNAL ADJUST
0013 - REVISED ISLAND DIM. TO MATCH KITCHEN DIMS. PAR 47114
0014 - ADDED OPT. DIMENSIONS FOR VENT PAR 24811

REV. NO.	DATE
10	2/20/52
11	2/20/52
12	4/20/52
13	8/20/57
15	6/10/64
16	4/25/64
7	9/27/64
8	12/15/64
9	12/15/64

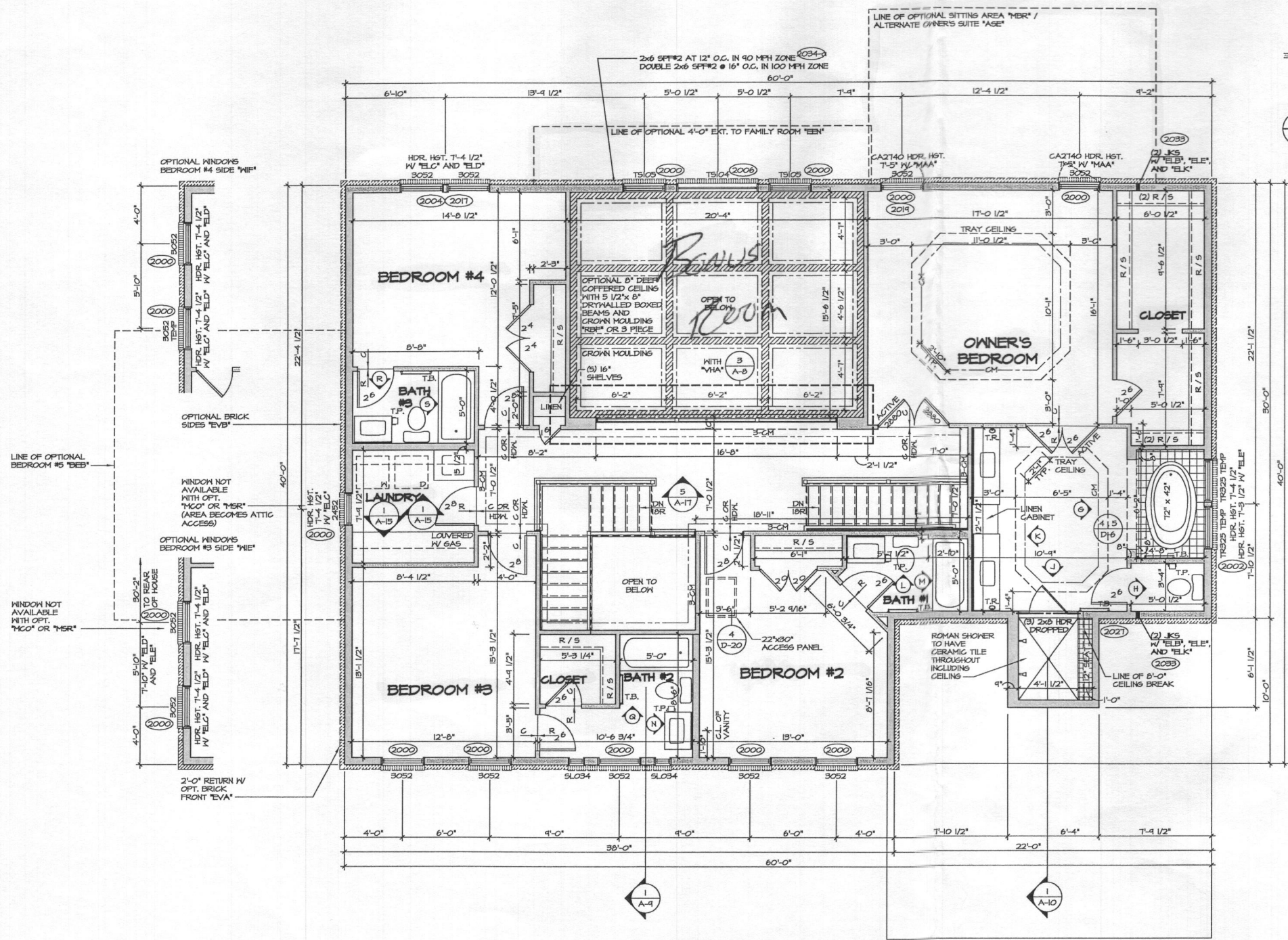
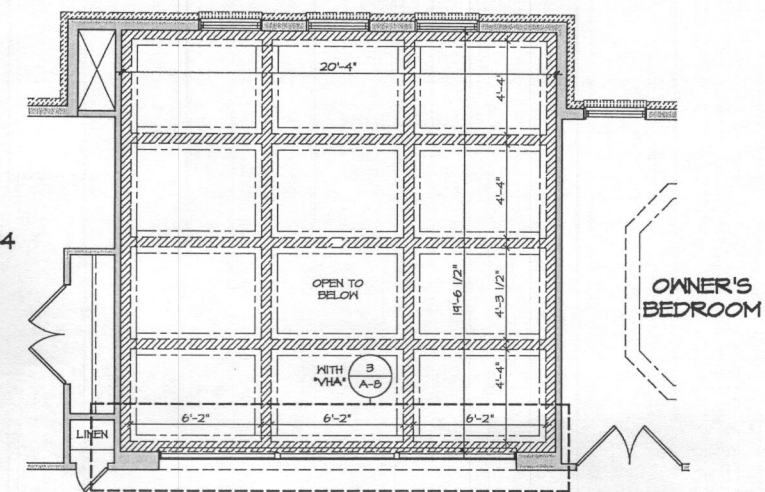


NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

SHEET NO.	MODEL	SET NO. 10200
A-70	REGENT'S PARK II	VERSION Q1
	DRAWING TITLE	DRAWN BY JEA
	FIRST FLOOR PLAN PARTIAL	DATE: 3/14/13
	OPTION	OPTION
	4'-0" EXTENSION TO FAMILY ROOM	EEN
53		



BEDROOM #4

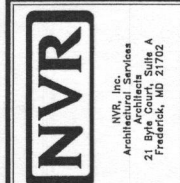


- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL GATED OPENINGS AT 6'-11", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
 SEE SHEET S-5 FOR BRACED HALL PANEL LOCATIONS

REV. NO.	DATE	REVISIONS
1	4/10/19	DDP - AUDIT REVISIONS
2	5/21/19	KAD - PROJECT #155 - ADDED COUNTERTOP LAYOUT FOR OWNER'S BATH
3	5/23/19	REB - REMOVED THE TYPED WINDOW AT BEDROOM #3 PER CODE (PAR 5032)
4	10/16/14	JLR - SHORTENED REAR STAIRS 10' (FROM TRSH PAR #3818)
5	11/11/14	GDB - TRSH AUDIT REVISIONS
6	2/10/15	SMH - ADDED DETAIL BUBBLE FOR TRSH ACCESS PANEL PAR 30452
7	3/17/15	SSS - ADDED PAD HALL TO OWNER'S SHOWER
8	4/20/15	SSS - PAR #32489 - CENTERED DOOR TO LAUNDRY ROOM
9	5/15/15	REB - SHIFTED LAUNDRY / BATH TO ACCOMMODATE DOOR TRSH (PAR 32854)

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SHEET NO.	MODEL	SET NO.	10200
A-8	REGENT'S PARK II	VERSION	01
	DRAWING TITLE	DRAWN BY	DRA
	SECOND FLOOR PLAN	DATE	3/14/19
	OPTION DESCRIPTION	OPTION	
54			

- NOTE:**
SEE SHEET S-5 FOR BRACED
WALL PANEL LOCATIONS

NOTE:

INSTALL SOLID SHIMS AT EACH END OF STEEL BEAM AT BEARING POINTS

TALL SOLID SHIMS AT
 CH END OF STEEL
 ANCHOR BEARING POINTS

2x6 STUD WALL
 2 X 6 BEAM SILL
 3/4" T & G SHTS

I-JOISTS AT 14.2"
 O.C. SPACING
 I-JOIST HANGER
 1/2" GYPSUM BOARD

2x = SILL PLATE GLUED AND 16d
 NAILS AT 16" O.C. GLIMCHED OVER
 BEAM FLANGE OR FASTEN WITH (2)
 ROWS OF HILTI DN4789 POWDER
 ACTIVATED FASTENERS (1 7/8" LONG)
 OR EQUAL = SPACE FASTENERS AT
 24" O.C. (STAGGERED)

STEEL I-BEAM (W10X26)
 BRICK VENEER
 STEEL I-BEAM (W8X48)
 2x10 BLOCKING BOLTED W/ 1/2" DIA. x
 5" A307 THRU-BOLTS W/ WASHER
 AND NUT AT 14.2" O.C. SPACING
 MEMBRANE DECKING OVER
 EXTERIOR GRADE SHEATHING
 (SEE DETAIL B / D-40)
 2x10 JOISTS AT 16" O.C.
 (SEE SHOP DRAWING)
 JOIST HANGER
 SOLID SHIM UNDER
 BEARING
 2x10 BLOCKING BOLTED W/ 1/2" DIA. x
 1" A307 THRU-BOLTS W/ WASHER AND
 NUT AT 14.2" O.C. SPACING

5
 A-10

PARTIAL FRAMING DETAIL

PARTIAL FRAMING DETAIL



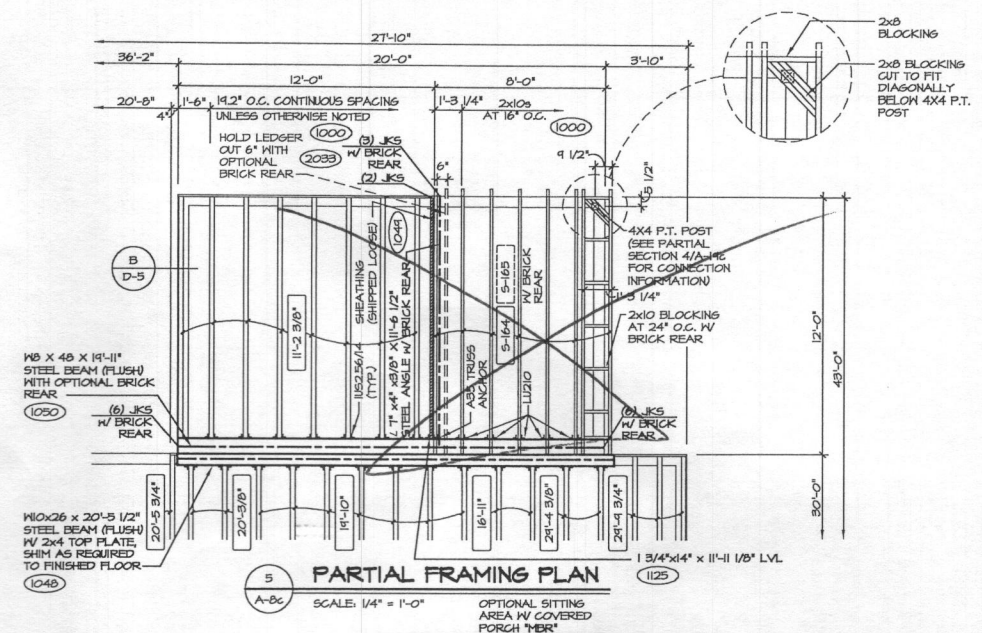
OPTIONAL SITTING AREA W/
COVERED PORCH "MBR" W/ 4'-0"
EXTENSION TO FAMILY ROOM
"EEN" AND BONUS ROOM "MAV"



OPTIONAL SITTING AREA W/
COVERED PORCH "MBR" W/ 4'-0"
EXTENSION TO FAMILY ROOM
"TEN"



OPTIONAL SITTING AREA W/
COVERED PORCH "MDR" W/ 4'-0"
EXTENSION TO FAMILY ROOM
"TEN" AND BONUS BEDROOM
"BVV"



PARTIAL FRAMING PLAN

SCALE: 1/4" = 1'-0"

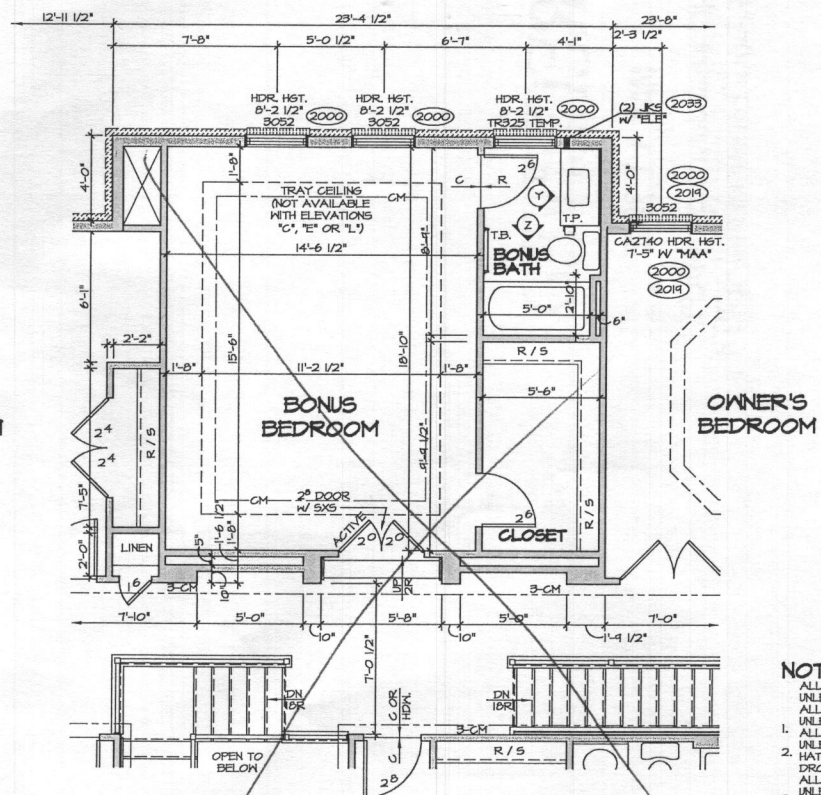
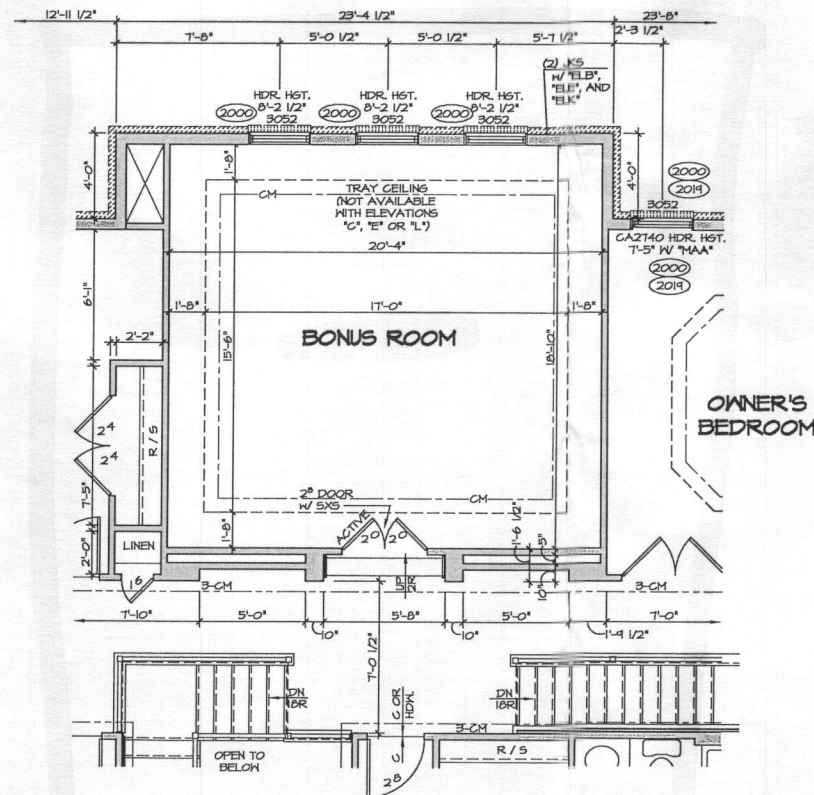
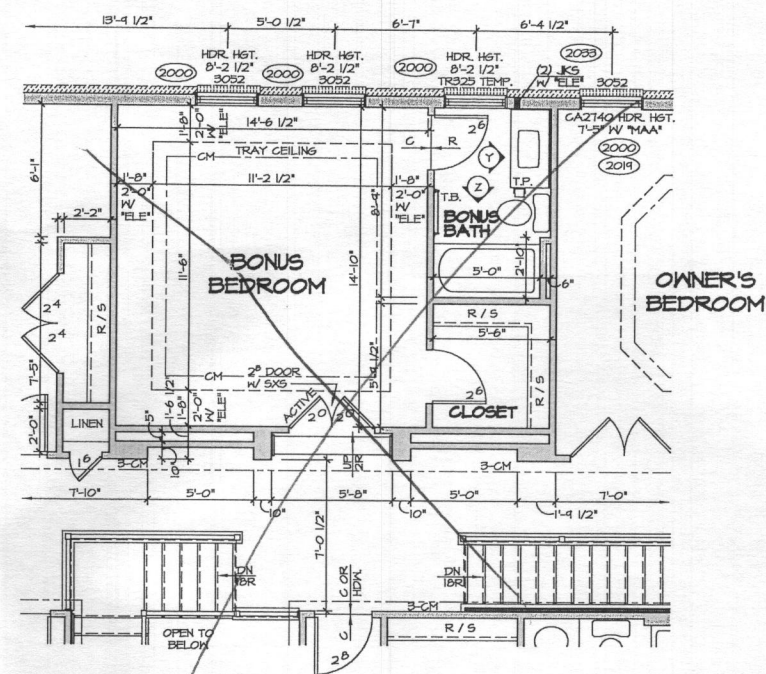
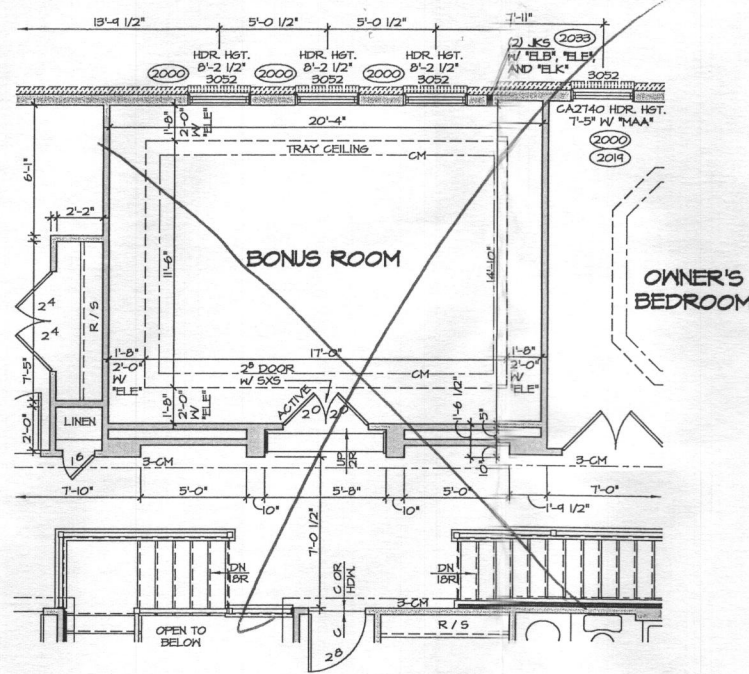
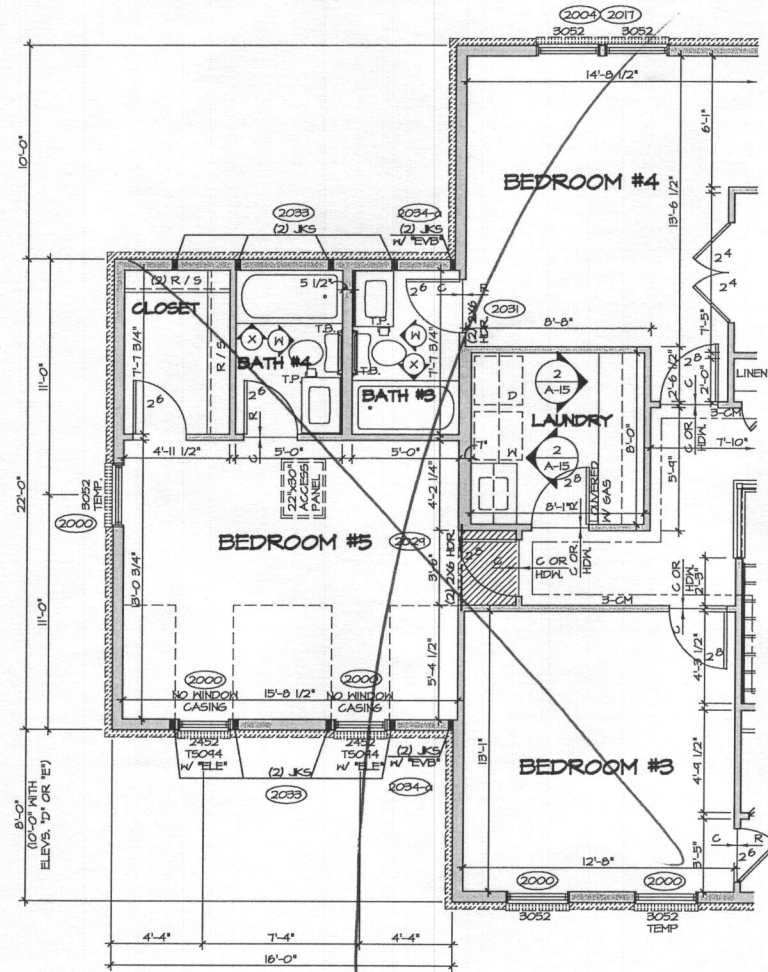
OPTIONAL SITTING

AREA W COVERED
PORCH "MBR"



OPTIONAL SITTING AREA W/
COVERED PORCH "MBR"

J:\Dwg\NY\DETACHED\REGENTS PARK II_10200_01\PLN2_MR.dwg 02/14/17 - 4:27 pm



- NOTES:
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
10	2/20/17	KAD - PROJECT #1999 - ADDED COUNTERTOP LAYOUT FOR OWNER'S BATH
11	6/20/17	CAB - REMOVED STUD SPACING NOTES FROM BAY AND HAY. (PAR #11962)
12	1/23/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
13	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
14	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
15	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
16	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
17	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
18	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916
19	2/14/18	DEB - REVISED ENTRY DOOR SIZE - PAR #23916

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SET NO. 10200
VERSION 01
DRAWN BY JEA
DATE: 5/14/15
OPTION
DEB
MAY, BY
EEN

MODEL
REGENT'S PARK II
DRAWING TITLE
SECOND FLOOR PLAN PARTIAL
OPTION
DEB
MAY, BY
EEN

SHEET NO.
A-8d
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