

Building Permit Application

Howard County Maryland

Department of Inspections, Licenses and Permits

3430 Court House Drive

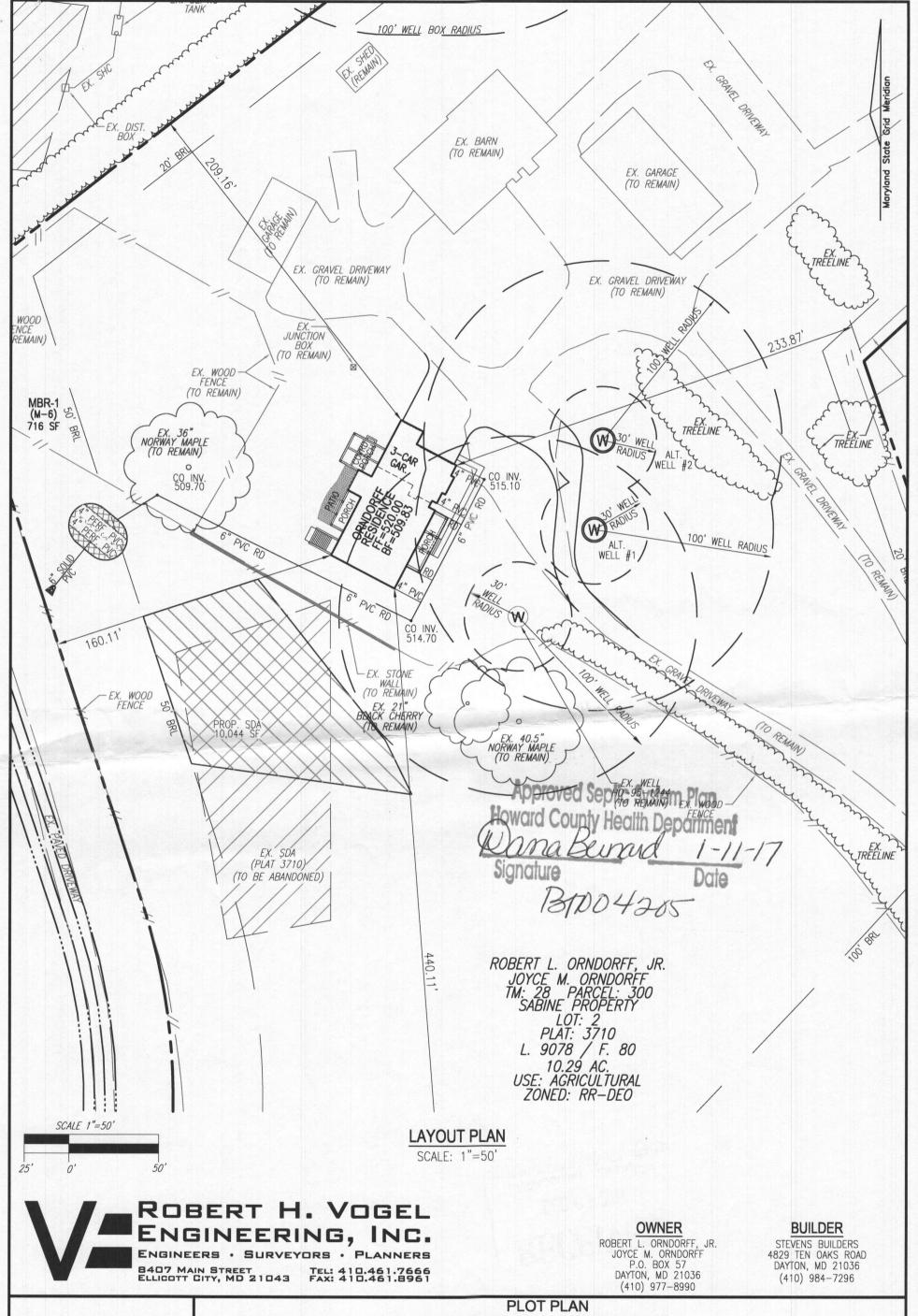
Permits: 410-313-2455

www.howardcountymd.gov

Date Received: 28 PM 11:1

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Permit No.	: 4	71	100	- marin	and the same	alordon).

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Building Address: 1378	O PRINDELPINA	Mu RA	Property Owner's Name:	BEDS +	DYCK C	RNDORF
city: CLARKSVILLE St	ate: MA Zip Code: 7	(long	Address: 10 10 4	- Training		The state of
Suite/Apt. #		-	City: Advisor State: Zip Code: 41336 Phone: 413, 734, 7236 Fax:			
Census Tract:	Subdivision: SARIA	IE	Email:	FROS F	PLOC RL	SCANTRACTAR
Section:	Area: Lot:	7	Applicant's Name & Mailing A	ddress. (If ot	her than state	CoM ed herein)
Tax Map: 78 Par	cel: 303 Grid:	19	Applicant's Name: 576	WENS I	SU I WOLL	2
Zoning: Map Coor			Address: 4879 TEN			vde: 7 1036
		10	Phone: 410 924 72	OFav.		N
Existing Use: SINGUE C			Email: MARY (2)			
Proposed Use: SINCUE			Contractor Company:	TEVEN	S DVII	クルメン
Estimated Construction Cost: \$	825,000		Contact Person: MAR Address: 4827 77	TA TO	18 Pa	40
Description of Work: 12 7	STORY SINGUE F.	DAY 3	City: State	40	Zin Code:	21236
CIR GARAGE UNFIN,	WAS BASEMENT, 4	BESROWA	License No.: MARR	86		2.1
3.1/2 good, RIMER CO	IVERS GROV 313	1960	Phone: 410 724 77	-9 6Fax:		
Occupant/Tenant Name: N/A			Email: AMRKO -	STOURN	GBUILD	EX- Coy
Was tenant space previously occur	500	-□No	Engineer/Architect Company:	JONATI	Van Piv	ERA
Contact Name:	3		Responsible Design Prof.:	JONATH	IN RI	VERG
Address:			Address: 1247 Mg	RGAN C	TATIM	ROM
City:		S .	City: WOOK NE State			
		- AF	Phone: 448-776.57		Zip Code: c	21 .11
Phone:	Fax:			Fax:		
Email:			Email:	3 "		
Commercial Building Characterist	rics Residential Building Ch	aracteristics	Utilities		建设设计	· 不可能是 是特定
Height:	SF Dwelling SF Tov		Electric: ☑ Yes □	No	Polymer)	
No. of stories:	Depth 18 0 / K + Life	Width	Gas: □FÝes □	No	関係が連	
Gross area, sq. ft./floor:	1 st floor: 48 · 4	34.9	Water Supply	+1.		
Area of construction (sq. ft.):	Basement: 44 -24		☐ Public		CALLER	
	☐ Finished Basement		☑-Private			
Use group:	☐ Únfinished Basement		Sewage Disposal			的短期是也以
. Construction tune:	Crawl Space		☐ Public			
Construction type: ☐ Reinforced Concrete	□ Slab on Grade No. of Bedrooms: □		■ Private			
☐ Structural Steel	Multi-family Dw	relling	Heating System			
☐ Masonry	No. of efficiency units:		☐ Electric ☐ Oil			
☐ Wood Frame	No. of 1 BR units:		☐ Natural Gas ☐ Propane	Gas		
☐ State Certified Modular	No. of 2 BR units: No. of 3 BR units:		Other:			
	Other Structure:		Sprinkler System:	·		
	Dimensions:		□ Yes □ No			
> Roadside Tree Project, Permi	t Footings:			3112	F 1000	2777
□Yes □No	Roof:		Grading Permit	Number:	61700	5677
Roadside Tree Project Permit			Building Shell Perm	it Number		
	Ivianuiaccureu Home		Building Silen Peril	iit Number.		
THE UNDERSIGNED HEREBY CERTIFIES AND WITH ALL REGULATIONS OF HOWARD COUTHIS APPLICATION; (5) THAT HE/SHE GRADY Applicant's Signature APRICANT STATEMENT OF THE STATEMENT OF TH	NTY WHICH ARE APPLICABLE THERETO	; (4) THAT HE/SHE W TER ONTO THIS PROF	VILL PERFORM NO WORK ON THE ABOVE R	EFERENCED PRO E WORK PERMIT	CEIV	FICALLY DESCRIBED IN NOTICES.
Title/Company	THEN'S ISHI C'SIN	_	(A)	N	OV 28 20	7
o/ vonckany			FINANCE OF HOWARD COUNTY	-LICEN	SES & PER	MITS
		PLEASE WRITE NE. -FOR OFFICE		en ma	DIVISION	
AGENCY DATE	SIGNATURE OF APPROVAL	SERVICE AND	INFORMATION	Filing Fee	\$ /	00.00
	SIGNATURE OF ACTROVAL.	Front:		Permit Fee	\$	
State Highways		Rear:		Tech Fee	. \$	
Building Officials	*	Side:		Excise Tax PSFS	\$	
PSZA (Zoning)			setbacks met? Yes No	Guaranty F	und \$	50
PSZA (Engineering)		Is Entrance P	ermit Required?	Add'i per F	ee \$	
Health//-/	* Meuro		for New Town Zone:	Sub- Total		
Is Sediment Control approval requi			approval date:	Balance Di		88
CONTINGENCY CONSTRUCTION	START			Check	# (124/16
tribution of Copies: White: Building Of	ficials Green: PSZA,Zoning	· Yellow	w: PSZA,Engineering	Pink: Health		Gold: SHA



AS SHOWN SCALE **JMR** DRAWN BY RHV CHECKED BY NOVEMBER 2017 DATE W. O. # 17-03

SHEET#

2 OF 5

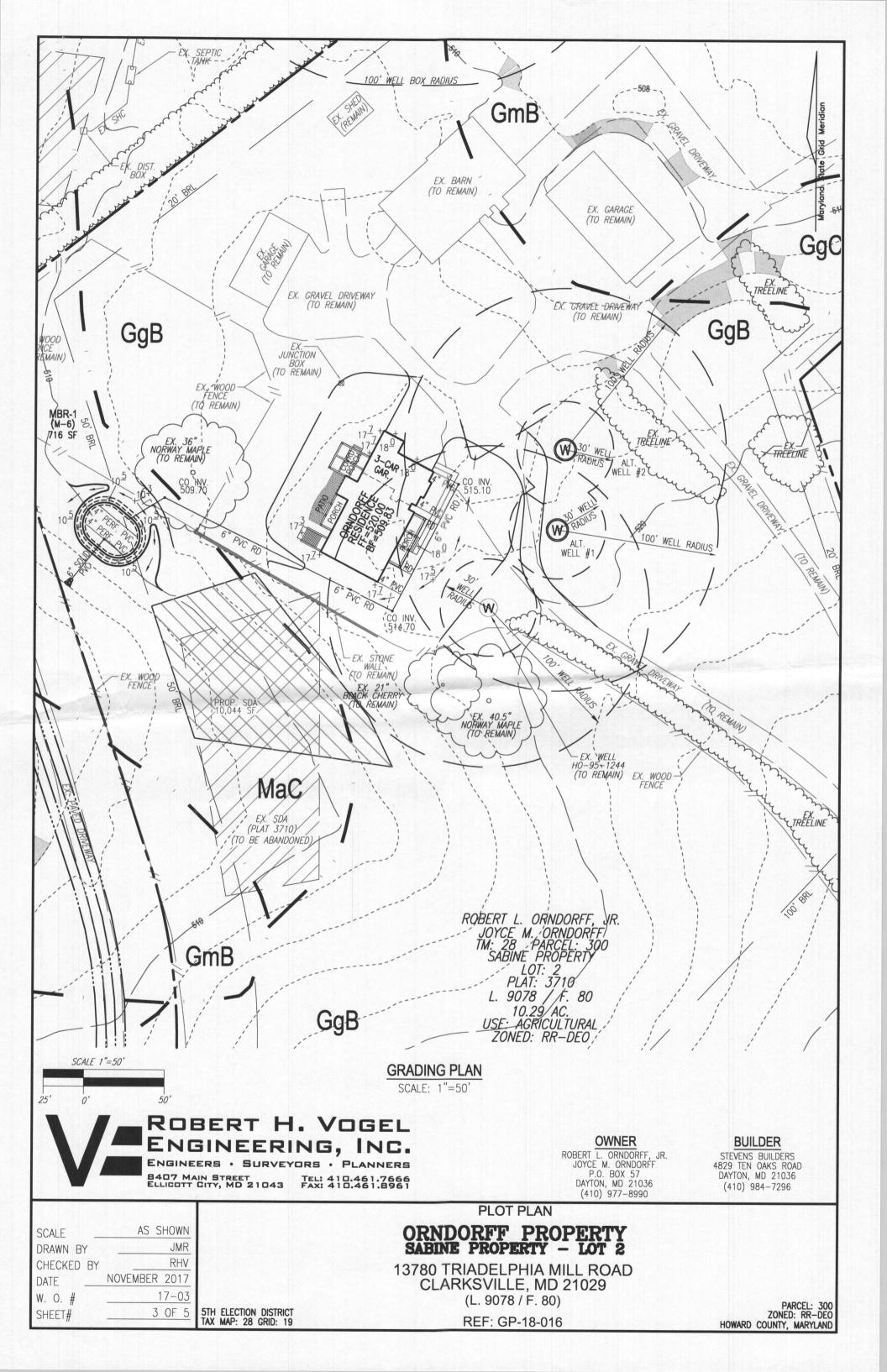
5TH ELECTION DISTRICT TAX MAP: 28 GRID: 19

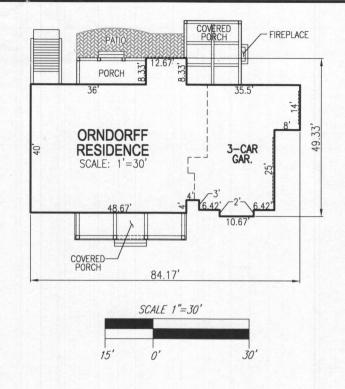
ORNDORFF PROPERTY SABINE PROPERTY - LOT 2

13780 TRIADELPHIA MILL ROAD CLARKSVILLE, MD 21029 (L. 9078 / F. 80)

REF: GP-18-016

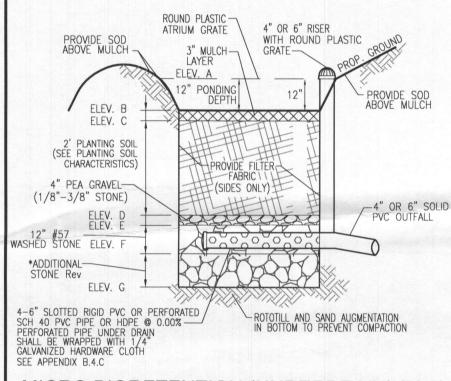
PARCEL: 300 ZONED: RR-DEO HOWARD COUNTY, MARYLAND





Appendix B.4. Construction Specifications for Environmental Site Design Practices

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; Γ _c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



4" OR 6" RISER WITH ROUND PLASTIC PROP. GROUND VARIES 2:1 MAX 3" MULCH LAYER ELEV. A 12" PONDING DEPTH PROVIDE SOD ABOVE MULCH PROVIDE SOD-ABOVE MULCH ELEV. B ELEV. 2' PLANTING SOIL (SEE PLANTING SOIL CHARACTERISTICS) 4" OR 6" Rev DISTRIBUTION PIPE PROVIDE FILTER 4" PEA GRAVEL-(1/8"-3/8" STONE) (SIDES ONLY) PIPE THROUGH STONE RESERVOIR* ELEV. D *ADDITIONAL STONE Rev ELEV. G **4-6" SLOTTED RIGID PVC
OR PERFORATED SCH 40 PVC
PVC PIPE OR HDPE ® 0.00%.
PERFORATED PIPE UNDER DRAIN
SHALL BE WRAPPED WITH 1/4" (SEE PLANS) -0" MIN. **UNDER DRAIN TO OUTFALL GALVANIZED HARDWARE CLOTH SEE APPENDIX B.4.C

MICRO BIORETENTION (UNDERDRAIN) (M-6)

NOT TO SCALE *ADDITIONAL STONE PROVIDED FOR 10 YEAR ATTENUATION/Rev

MICRO BIORETENTION (OVERFLOW) (M-6)

NOT TO SCALE *ADDITIONAL STONE PROVIDED FOR 10 YEAR ATTENUATION/Rev

MICRO-BIORETENTION FACILITY ELEVATIONS (M-6)										
FACILITY	A	В	С	D	Ε	F	G	UNDERDRAIN INV. OUT	OUTFALL INV.	FACILITY SIZE
MBR-1	510.50	509.50	509.25	507.25	506.92	505.92	505.22	506.17	506.00	716 SF



OWNER ROBERT L. ORNDORFF, JR.
JOYCE M. ORNDORFF
P.O. BOX 57
DAYTON, MD 21036
(410) 977-8990

BUILDER STEVENS BUILDERS 4829 TEN OAKS ROAD DAYTON, MD 21036 (410) 984-7296

ENGINEERING, INC. ENGINEERS . SURVEYORS . PLANNERS 8407 MAIN STREET TEL: 410.461.7666 FAX: 410.461.8961

PLOT PLAN

ORNDORFF PROPERTY SABINE PROPERTY - LOT 2

13780 TRIADELPHIA MILL ROAD CLARKSVILLE, MD 21029 (L. 9078 / F. 80)

REF: GP-18-016

PARCEL: 300 ZONED: RR-DEO HOWARD COUNTY, MARYLAND

SCALE _	AS SHOWN
DRAWN BY	JMR
CHECKED BY	RHV
DATE	NOVEMBER 2017
W. O. #	17-03
SHEET#	4 OF 5

5TH ELECTION DISTRICT TAX MAP: 28 GRID: 19

MICROBIORETENTION NOTES:

ONLY THE SIDES OF MICROBIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC. FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE MICROBIORETNTION WILL CAUSE THE MBR TO FAIL, AND THERFORE SHALL NOT BE INSTALLED.

2. WRAP THE PERFORATED MBR UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH.

3. PROVIDE 5' MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFERATED PIPE THROUGH STONE RESIVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS. (SEE PLANS)

OPERATION AND MAINTENANCE SCHEDULE FOR (M-6) MICROBIORETENTION AREAS

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

"MICRO-BIORETENTION" PLANTING SCHEDULE NOTES:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL. CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO 2. DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS

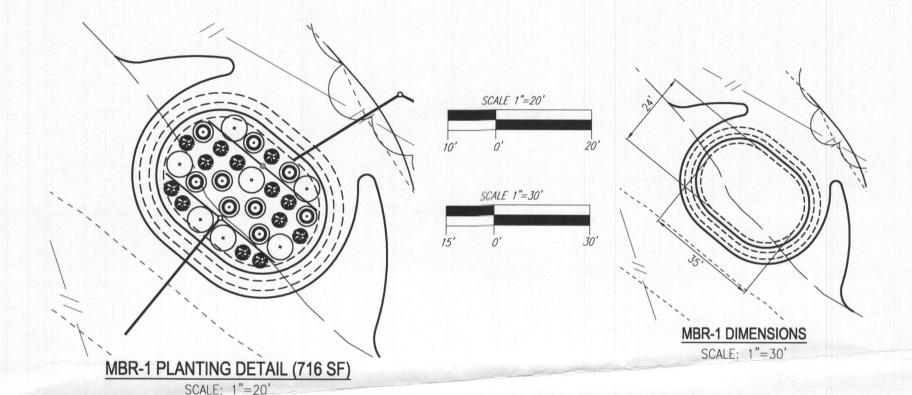
FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

MICROBIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (.0229 STEMS PER SQUARE FOOT). ABOVE PLANTING RATIOS ARE TO BE APPLIED TO THE AREAS PROVIDED IN THE ESDV SUMMARY.

FILTER AREA SHALL BE 50% COVERED BY PLANTINGS AT FULL GROWTH

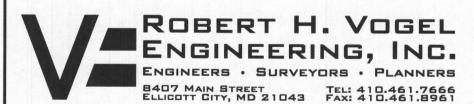
	T OT	DOTANICAL NAME (COMMON NAME	T	T
	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
\odot	7	LINDERA BENZOIN SPICEBUSH	5 GALLON	CONT
0	9	ILEX GLABRA INKBERRY	3 GALLON	CONT
8	13	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	3 GALLON	CONT

SF X 75% X .0229 STEMS PER SQUARE FOOT = PLANTS REQUIRED



HOWARD COUNTY - OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.



OWNER ROBERT L. ORNDORFF, JR. JOYCE M. ORNDORFF P.O. BOX 57 DAYTON, MD 21036 (410) 977-8990

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AS SHOWN SCALE DRAWN BY **JMR** RHV CHECKED BY NOVEMBER 2017 DATE 17-03 W. O. #

SHEET#

5 OF 5 5TH ELECTION DISTRICT TAX MAP: 28 GRID: 19

PLOT PLAN ORNDORFF PROPERTY SABINE PROPERTY - LOT 2

13780 TRIADELPHIA MILL ROAD CLARKSVILLE, MD 21029 (L. 9078 / F. 80)

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PARCEL: 300 ZONED: RR-DEO HOWARD COUNTY, MARYLAND

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NOTES:

- DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS,
- WHERE APPLICABLE, BALLOON FRAME EXTERIOR WALLS TO BE 2x6 SPF *2 OR BETTER STUDS * 12" O.C. UNLESS OTHERWISE NOTED ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
- ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH 2 OR BETTER WITH A FIG RATING OF 815 AND MODULUS OF ELASTICITY OF 1600,000 MIN. U.N.O. ALL HEADERS TO BE 2x10'S UNLESS NOTED OTHERWISE
- ALL LAMINATED YENEER LUMBER (LYL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAYE A FID RATING OF 2950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- ALL STRUCTURAL OPENINGS TO RECEIVE MIN, 3-2xIO HEADERS W/ 1/2" FILLER 4 I JACK STUD EACH END UNLESS NOTED OTHERWISE
- PROVIDE SOLID 2xIO BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW, BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
- PROVIDE ADEQUATE CLEARANCE . PLUMBING STACKS AS REQ.
- ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR REFORE START OF CONSTRUCTION, ANY DISCREPANCIES ON THE PLANS OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT OF ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
- WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS
- FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. IOD NAILS 4 8" O.C., STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR
- FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 16d NAILS © 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS, TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS, FOR BEAMS TOR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE 4-301 (OR BETTER) 1/2" DIA, BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM © 24" O.C. STAGGERED.

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD	30	
UIND PRESSURE (pound	17 +/- (90 m.p.h.	
BEISMIC CONDITION BY	В	
UBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
JINTER DESIGN TEMP.	13 °	
RADON RESISTANT CO		
FLOOD ZONE		

CODE INFORMATION

ALL WORK SHALL COMPLY WITH INTERNATIONAL CODE W/ LOCAL AMENDMENTS

International Residential Code, 2015 Edition 2011 National Electrical Code with Local Amendments (NFPS 70) International Mechanical Code, 2012 Edition The Life Safety Code, 2012 Edition 2009 National Standard Plumbing Code Illustrated 2009 National Fuel Gas Code (NFPA 54) International Energy Conservation Code, 2015 Edition

ITEMS OF PARTICULAR NOTE

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commercing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepencies or ambiguity with dimensioning the Contractor shall notify the Architect Immediately for clarification. Field verify ALL proposed
- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.
- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction: construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work: and protection of persons and property during construction until final completion is attained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility always shall be the exclusive responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.

DRAWING LIST

0.01	COVER SHEET				
0.02	GENERAL INFO				
1.01	ELEVATIONS				
1.02	ELEVATIONS				
1.03	ELEVATIONS				
1.04	ELEVATIONS				
2.01	FOUNDATION PLAN				
3.01	FIRST FLOOR PLAN				
3.02	SECOND FLOOR PLAN				
3.03	FRONT PORCH HOLD DOWNS				
3.51	BRACING-FIRST FLOOR PLAN				
3.52	BRACING-SECOND FLOOR PL				
3.53	BRACING DETAILS				
4.01	ROOF PLAN				
5.01	SECTIONS				
5.02	SECTIONS				
5.03	WALL SECTIONS				
E CE					
10.4					

AREA INFO

FLOOR	SQUARE FOOTAGE
BASEMENT	1,954 s.f.
FIRST FLOOR	2,152 s.f.
SECOND FLOOR	1,686 s.f.
GARAGE	1,044 s.f.
TOTAL	5,792 s.f.



PROFESSIONAL CERTIFICATION I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland License Number #14678 Expiration Date: 6/30/2018



CONTACT: MARK STEVENS 4829 Ten Oaks Road Dayton, MD 21036-1002 (410) 531-2100 www.StevensBuilders.com

Maryland [+] en O Z 1 9 Si -S E K Road, A (4) S Mill 0

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7

	REVISIONS	
	1-18-16	REY
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	SCALE:	

SITEWORK

- GENERAL: These drawings do not cover sitework, grading or landscaping
- Building foundations have been designed based on an assumed soil bearing capacity of 3000 PSF. Additional engineering is required if soil bearing capacity is less than 3000 PSF.
- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both Interior and exterior drains are required, provide minimum | 1/2' dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.
- -- Slope all stoops, parches, walks and garage slabs away from building
- All work shall comply to local code.

WEATHER/THERMAL

- insulation for slab on grade construction shall begin at the inside and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)
- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade.

Thickness	Location
3 1/2"	Basement Walls
5 1/2"	2x6 Walle (exterior)
9,	Crawl Space
	Floors exposed to unheated condition
12"	Roof
T.	Apply blown insulation as required by manufacturer's specifications
	3 1/2" 5 1/2"

- Provide venta as per local code.
- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roo ngs, hips, valleys, ridges, domers and where roof intersects wall.
- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.
- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.
- All exterior joints between windows, doors and other surfaces shall be
- DAMPPROOFING, Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastometric, vinyl acrylic maetic, 35 Mil. min. thickness or other approved equal.
- SLAB VAPOR BARRIER: 6 Mil. polyethlene sheet where noted on drawings
- SILL SEALER: 18" x 5 18" compressible fiberglass beneath all exterior sill plates
- Provide approved corrosion-resitive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof interes
- ROOFING: unless noted otherwise, roofing shall be min 200° Class "C" Fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" interior face of wall line may be also installed at the owner discretion.
- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS
- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinish aluminum leaders. Lead to splashblocks or collector as required.

CONCRETE

- Concrete works shall conform to American Concrete institute Standard 318-83
- Bottom of all footings shall be located a minimum of 36 (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.
- All interior concrete slabs shall have 6"x6"x10" W.W.M. or control joints. Monolithic turned down slabs for townhouses shall have a control joint
- Concrete used in exposed areas implicit to freezing and thawing both during construction and service life) shall be air-entrained accordance with local code. Exterior flat-work shall be coated with an approved curing compound.
- Foundation walls of habitable rooms located below grade shall be dampproofed or water proofed using materials and methods approved by local building jurisdiction
- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strengt
- Footings	3000 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3000 PSI
- Garage and Exterior Slabs	3500 PSI

(or as per local code)

- Concrete works shall conform to American Concrete Institute Standard 318-83
- All Interior Concrete footings and slabs shall have a minimum 28 Day Compressive Strength of 2500 psi unless noted otherwise.
- REINFORCING RODS: ASTM A-615 and A-305 MESH: 6x6 1.4/1.4 UUF ASTM
- Reinforcing in footings is required where variations in soil conditions may exist
- All interior slabs of 30 FEET or more in any dimension shall have UWF, Control
- Vapor barrier under all slabs EXCEPT garages: 6 MIL Polyethylens, Lap all edges 6", Lay over 4" Gravel bed.
- Exterior Concrete Slabs: 5% to 7% Air Entrained and shall have a minimum 28
- Day Compressive Strength of 2500 psi unless noted otherwise
- Foundation Italia: Poured in place walls shall have a minimum 28 Day Compressive Strength of 3000 PSI. (SEE 4.01)

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	T'-O"
8" Poured Concrete	T'-O"
10" Poured Concrete	8'-0"

- Masonry veneer shall be installed over 15* felt or approved water at will openings if recommeded by window and door manufacturers.

 Slab perimeters exposed to outside or within 30" of grade: 4,5x24", either vertical veneer, i.e. bay windows, Off-eet chimneys, etc..
 - Masonry veneer shall be attached and anchored in accordance with the local code requirements.
 - inside of Walls over T-0" or on unstable soil shall be engineered and certified by a registered professional engineer.
 - Concrete masonry units shall meet ASTM C-30 Grade A solid block of ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 2000 psi.
 - Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a cost of approved bituminous material applied at the ended rate below grade.
 - MAGONARY LINTEL®: Proivide lightweight pre-cast lintels for all openings and and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two *4 bars at top and bottom and with *2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads
 - Use Type "M" mortar for masonry below grade in contact with earth.
 - Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

MISCELLANEOUS

- Pre-Built fireplace shall be UL approved and installed according to
- Chimneys shall extend a minimum of 2'-0" above any 189f structure within
- Provide overflow pans and drains for wet appliances when located on bedroom level, or as noted on plans.
- Provide 22"x54" attic access with pull chain light (of as per local code)
- Kitchen and bath plans are approximate. See manufacturer's plans for exact layout and dimensions

WOOD

- Wall bracing shall be installed as per local code.
- All roof trusses and floor systems shall be engineered by others.
- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code, see manufacturer's plans for exact layout and construction.
- All trusses are stamped and certified by a registered engineer and meet
- See drawings for type of floor construction.
 - Tongue and groove floor decking glued and nailed on (SPF *2) 2x8 or 2x10 or 2x12 floor joists at 16° o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.
 - Tongue and groove floor decking glued and natiled on pre-engineered wood joists/trusses at 24*6,c. maximum to meet the American Plywood Association Sturd-I-Floor system.
- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.
- Structural lumber to have minimum bending stress of 1,200 psi
- All exterior walls are 2x6 stud *16" centers, minimum SPF stud grade unless
- All Interior walls are 2x4 stud "16" centers, minimum SPF stud grade unless
- All opening headers to be 3-2x10's unless noted otherwise
- Joist hangers to be installed as required
- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated ride bearing at all structural members as required by local code.
- All materials shall be installed per manufacturer's specifications and as per applicable building codes
- All work shall comply to local code.

METAL

- Strap anchors or anchor boits shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each and with intermediate strap/bolts at 6-0" o.c. maximum. (or as per local code)
- Galvanized metal brick ties shall be installed as per local code
- All steel shall conform to ASTM Space for A-36 Steel
- All steel designed for maximum bending stress of 24,000 ps
- Metal joist hangers (Standard wood ledger) Shall be used where required at Joist without direct bearing and be 18 G.A., galvanized steel, Use all nails specified by the manufacturer.
- Veneer ties shall be 1" wide, 22 GA., galvanized steel installed 24" O.C. Horiztonally and 16" O.C. Vertically.
- Steel lintels for all opening and recesses in brick or Brick Faced Masonry wall not specifically detailed: Provide (I) steel angle for each 4" of wall thickness. Steel angles to have minimum 6"baering at each end. Horizonta leg shall be 3 15, unless noted otherwise

LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

L-1 L-2 L-3 L-4	3 ½"x3-1/2"x5/16" 4"x 3-1/2"x5/16" 5"x 3-1/2"x3/8" 6"x3-1/2"x1/2"	STEEL ANGLE STEEL ANGLE STEEL ANGLE STEEL ANGLE	UP TO 3' OPG. 3' TO 5' OPG. 5' TO 6'-6" OPG. UP TO 9' OPG.
L-5	6"x 4"x5/8"	STEEL ANGLE	UP TO 10'-0"
L-6	8" OR 9"x4"x9/16"	STEEL ANGLE	16' GARAGE

- Lintels shown shall not support any superimposed leads
- All steel angles in masonry walls are to be flashed and painted - Paint all exterior ferrous or galvanized metals EXCEPT completely e-finished factory items.
- All work shall comply to local code

MECH. PLUMB. ELEC.

- mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building
- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable co.
- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and
- Smoke & Carbon Monoxide detectors Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup Provide detectors at each sleeping room if required by local code. Provide detectors outside each elegating area within 10-0 of each door. Supply and install Per IRC R314 and R315, Provide Radon vent per code.
- Fire suppression systems shall be installed as per local building code
- All work shall comply to local code

DESIGN - LIVE LOADS

- RECOMMENDED MINI	MUMS:	SNOW LOADS:	
- Ground Snow Load	55 per	ROOF:	: 12.6 PSF
- Roof	30 per	GROUND:	: 20.0 PSF
- Sleeping Floors	30 psf	FLAT ROOF:	; 14.0 PSF
- Living Floors	40 psf	EXP. FACTOR:	: 0.01
- Exterior Decks	60 per	IMPORT FACTOR	: 1.0
- Staire	100 pef	ATTIC AREAS	: IOPSF
- Garage Slabs	50 psf	UNACCESSIBLE	
- Wind Load	17 per		: 16 PSF (EXPOSURE C)

WIND LOAD:

at any point in any direction.

- Dead Load

- Guardralls

LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION WALLS TO BE ENGINEERED.

: 30 PCF MAXIMUM

STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS
- All stairs shall comply with all local codes
- Minimum finish width: 36" Minimum finished headroom height: 6'-8"
- Maximum riser height: 7 3/4"
- Minimum tread depth: 10" Maximum epaca batusen ballisters: 4"
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.
- Provide a minimum of 1 1/2" space between handrall and wall.
- . Stair winder shall have a minimum inside width of 6" and
- Stair landings shall be a minimum of 36" x 36"
- Stairways with 3 or more risers are required to have a handrail.

SPECIALTIES

- Concrete works shall conform to American Concrete Institute Standard 318-83
- FIREPLACES: Pre-built U.L. Approved, selected by the owner, and installed ording to code and manufacturer's recommendations, IF APPLICABLE.
- Toilet and bath accessories per plans or by owner.
- MIRRORS: TBD by builder or by owner
- Provide two towel bare for each full bath, one per powder room.
- Provide either shower rods 80"a.f.f. or tempered or safety laminate

DOORS and WINDOWS

- Provide safety glazing as required by local code.
- Garage door into dwelling shall be fire rated minimum 45 minute or as per local building code. The threshold of the door opening between the garage and the adjacent interior space shall not be less than 4" above the garage door. (or as per local code.
- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

GENERAL NOTES

- All work shall comply to all applicable local codes
- All construction shall be classified as and comply to either of the following
- -- Use Group R-4 under the 2015 International Residential Code.
- All work shall comply to International Energy Conservation Code, 2015 edit. SEE IECC CODE COMPLIANCE notes bel
- These plans and notes are the property and sole responsibility of JRArchitecture, LLC. Use of these plans without the written consent of JRArchitecture, LLC, is prohibited,
- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they
- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper
- These plans are not to be scaled for Construction purposes majons and notes supersede all scaled reference
- In the event certain features of Construction are not fully shown o the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
- Integral garages in dwelling units shall be separated from all adjacent living space with fire separation as required by local code.
- Field verify ALL dimensions

IECC CODE COMPLIANCE

Compliance Method

- Mandatory and Perscriptive Provisions Exterior Frame Wall Construction
- 2x6 Stude # 16" o.c.
- R-21 Kraft faced batt insulation 7/16" O.S.B. (continuous)
- 8-49 Basement IIIall Insulation
- R-13/R-10 Foll Faced Continuous Batts Full Height extending from floor above to finish grade level and then vertically or horizontally as additional 2'-O'
- Floor insulation over Uncorditioned Space
- R-38 batt insulation Window u-Value/9HGC
- U-Value = .34 SHGC = .31
- Slab on Grade Floors less than 12" below grade R-10 Rigid Foam Board under slab extending 2'-0" vertically or 2'-0"
- horizontally Attic Access Access Scuttle will be usatherstripped and insulated R-49
- Access souther will be desarranged and the state of the Building Thermal Envelope (air leakage)
 Exterior walls and penetrations will be sealed per this section of the 2012 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable naterial
- Building Envelope Tightness Test
 Building envelope tightness and insulation must meet the inspection criteria listed in table 402.4.2. A "Blower Door Air infiltration Test" shall be performed. See also Section 4303.4 of the 2012 IRC.
- All wood burning masonry fireplaces will have gasketed doors and outdoor combustion air. Gasketed doors are not required for
- prefabricated units. cessed Lighting - Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.
- All duelling units will have at least I programmable thermostat for each separate heating and cooling system per 2012 IECC section 403.1 librar a heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from
- coming on when the heat pump can meet heating load. chanical Duct Insultation
 - Supply ducts in attic R-8 minimum oply ducts outside of conditioned spaces R-8 minimum - All other ducts except those located completely inside the building themal envelope R-6 minimum. Ducts located under concrete slabs
- Duct Sealing - All ducts, air handlers, filter boxes will be sealed. Joints and seams will co with section MI601.4.1 of the IRC. - A duct tightness tess ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a pos
- test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space. hanical Ventilation Outdoor (make-up) air will be brought into the home thru a duct with an
- automatic OR gravity damper Equipment Sizing
 - All furnaces will be 80% efficient furnaces minimum
- Lighting Equipment
 A minimum of 15% of all lamps (lights) must be High-Efficact Lamps
- Minimum efficiency established by NAECA

Contractor will be responsible for generating Certificate of Compliance and affixing to electrical panel.

ONATHAN RIVERA

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SCALE

GENERAL INFO

Tuesday, August 08, 201



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REVISIONS	
1 1-18-16	REVIEW
SCALE:	1/4" - 1' 0"

ELEVATIONS



RIGHT ELEVATION

NOTE:
STAIRS WITH 2 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL
BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE
MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIA SPHERE.



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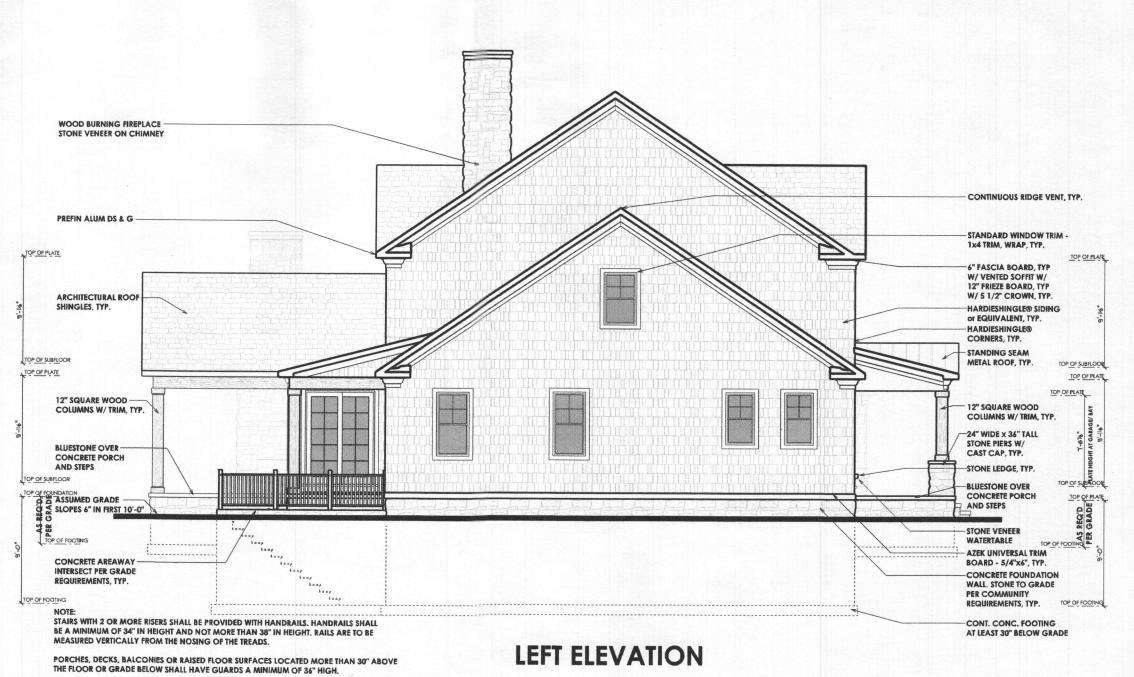
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REVISIONS

SCALE: 1/4" = 1'-0"

ELEVATIONS



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1/4" = 1'-0" **ELEVATIONS**



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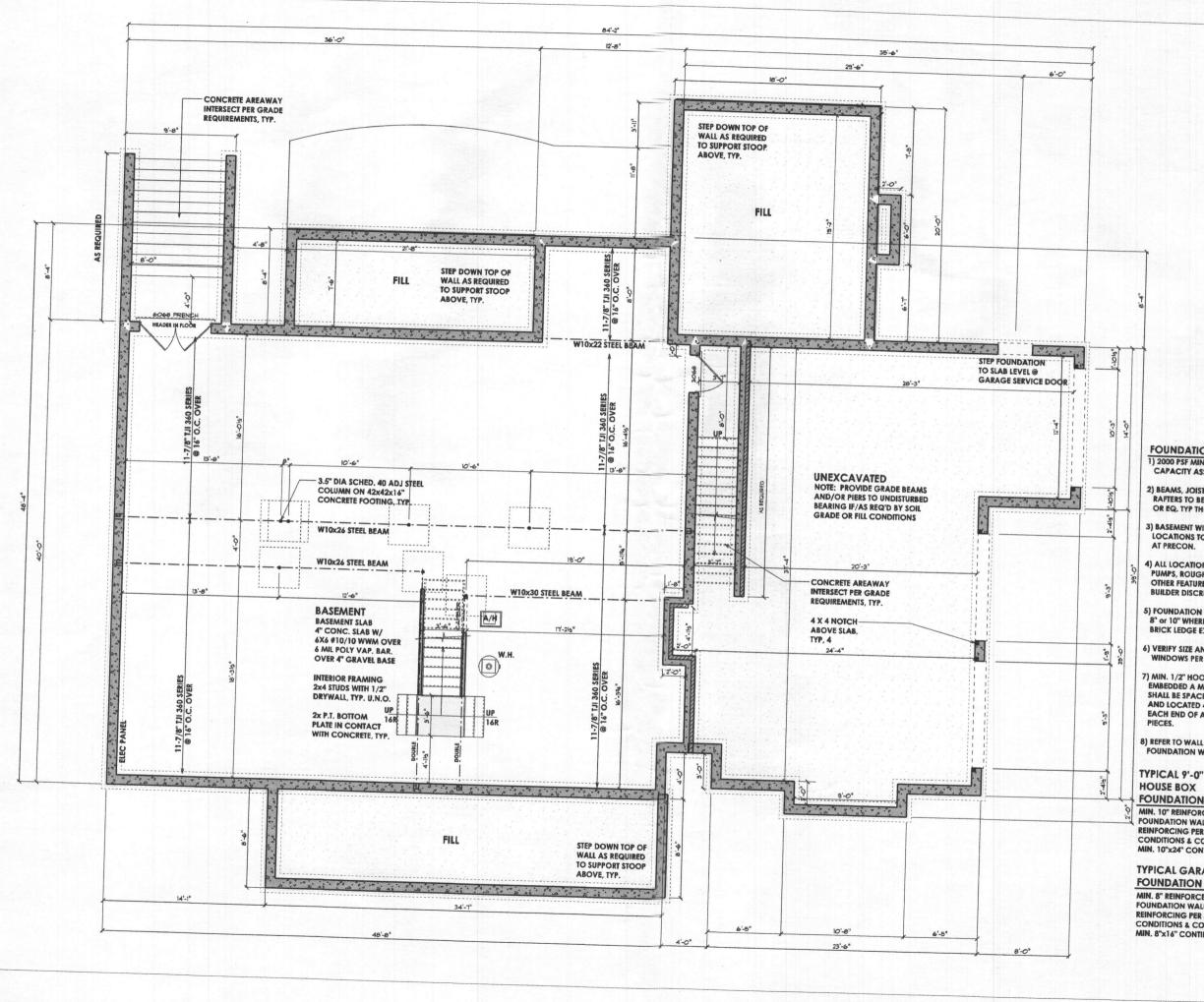
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ELEVATIONS





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FOUNDATION NOTES 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED

- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.
- 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED
- 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
- 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC.
 SHALL BE SPACED AT 4" O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE
- 8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

HOUSE BOX **FOUNDATION WALL**

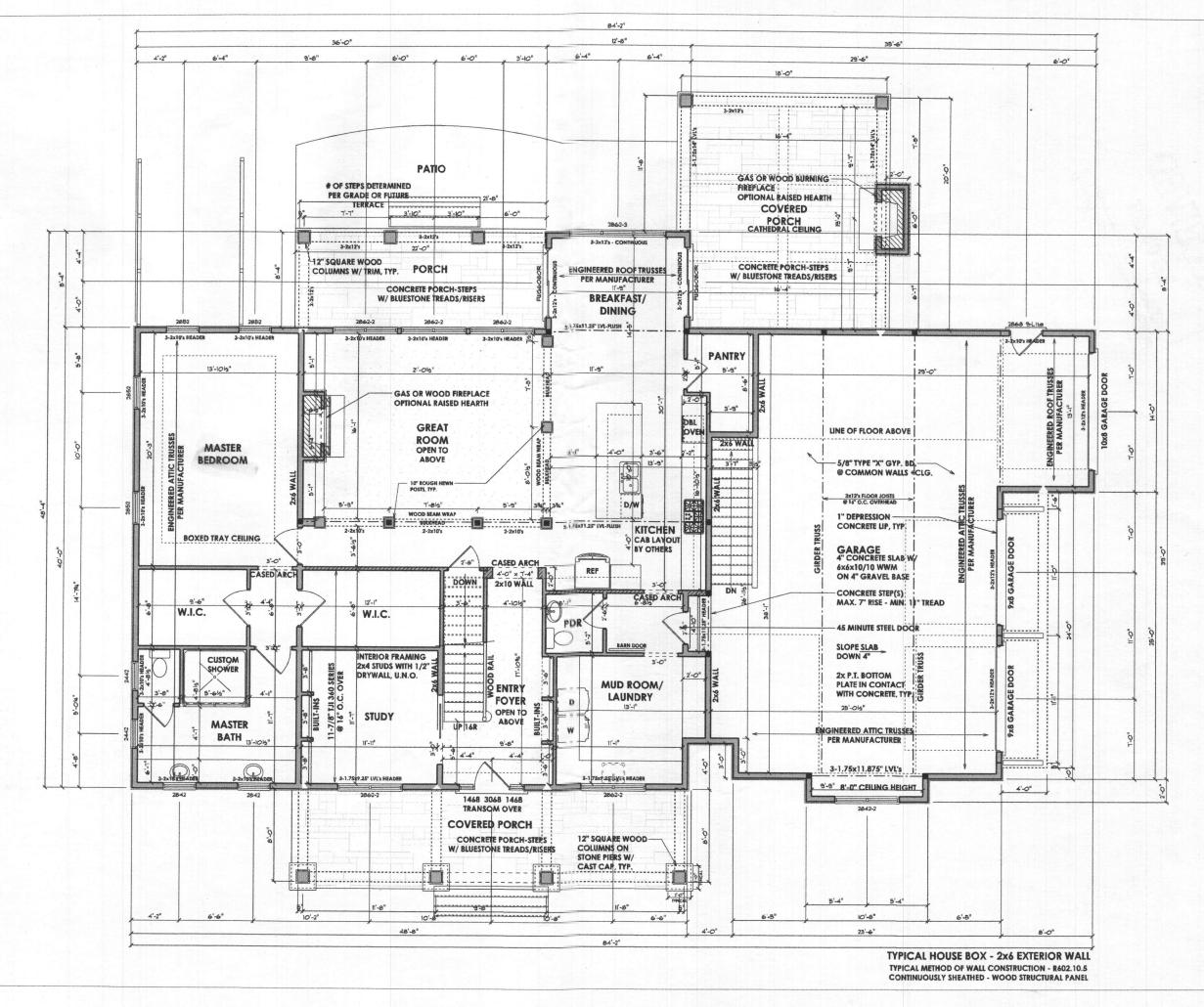
MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)
MIN. 10"x24" CONTINUOUS FOOTING

TYPICAL GARAGE FOUNDATION WALL

MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE) MIN. 8"x16" CONTINUOUS FOOTING

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SCALE: FOUNDATION



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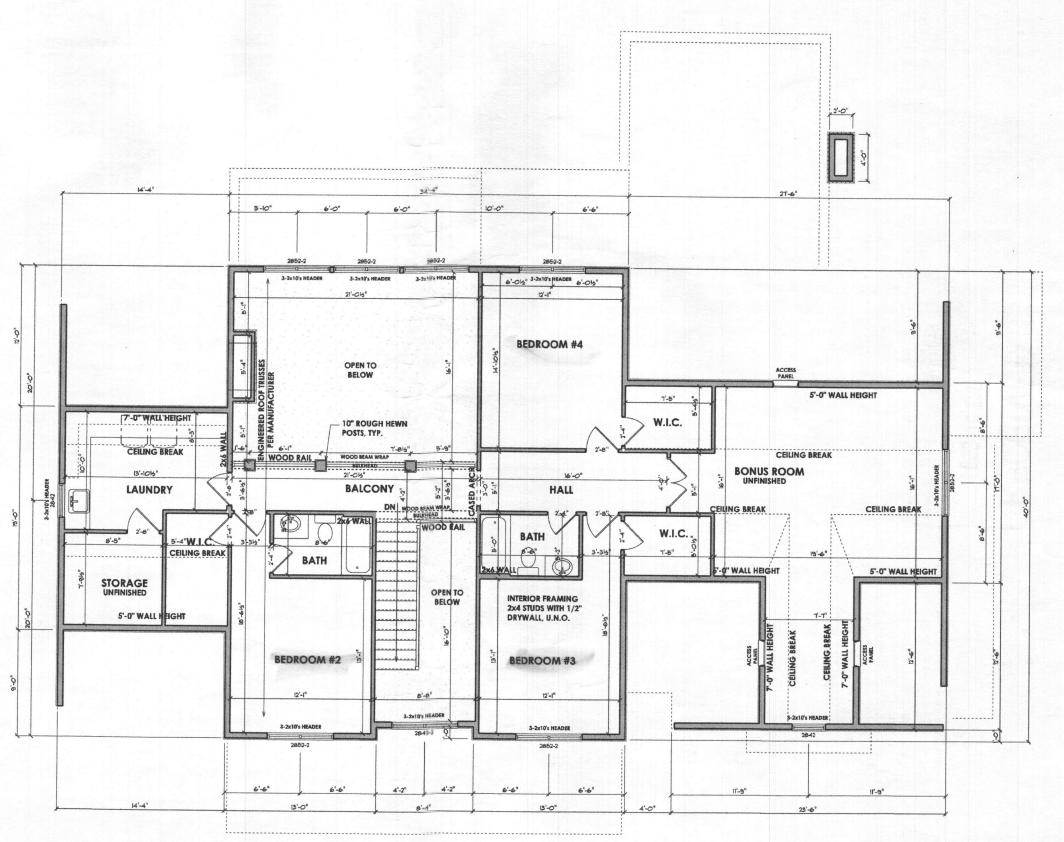
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SCALE: 1/4" = 1'-0" 1ST FLOOR

uesday, August 08, 2017



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SCALE: 1/4" = 1'-0" 2ND FLOOR

PRINT DATE :

TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

