



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/28/17

Permit No.: 4205
B1700

Building Address: 13780 IRINDLEPHIA Mill Rd
City: CURTISVILLE State: MD Zip Code: 21029
Suite/Apt. # SDP/WP/BA #
Census Tract: Subdivision: SARINE
Section: Area: Lot: 7
Tax Map: 28 Parcel: 300 Grid: 19
Zoning: Map Coordinates: Lot Size: 10.29 AC
Existing Use: SINGLE FAMILY HOME
Proposed Use: SINGLE FAMILY HOME
Estimated Construction Cost: \$ 225,000
Description of Work: NEW 2 STORY SINGLE FAM 3
CAR GARAGE UNFINISHED BASEMENT, 4 BEDROOM
3 1/2 BATH, REAR COVERED PORCH, 3838 SQ FT
Occupant/Tenant Name: N/A
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Property Owner's Name: ROBERT & JOYCE ORNDORF
Address: 10 BOX 57
City: ADYTON State: MD Zip Code: 21036
Phone: 410 984 7296 Fax:
Email: MARC@STEVENSBUILDERS.COM
Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: STEVENS BUILDERS
Address: 4829 TIEN OAK RD
City: ADYTON State: MD Zip Code: 21036
Phone: 410 984 7296 Fax:
Email: MARC@STEVENSBUILDERS.COM
Contractor Company: STEVENS BUILDERS
Contact Person: MARK STEVENS
Address: 4829 TIEN OAK RD
City: ADYTON State: MD Zip Code: 21036
License No.: M48R 86
Phone: 410 984 7296 Fax:
Email: MARK@STEVENSBUILDERS.COM
Engineer/Architect Company: JONATHAN RIVERA
Responsible Design Prof.: JONATHAN RIVERA
Address: 12472 MARGAN STATION RD
City: WOODBINE State: MD Zip Code: 21777
Phone: 443-226-5745 Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 48.4 57.8
Area of construction (sq. ft.):	2nd floor: 40 54.2
Use group:	Basement: 42.4 52.8
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: 4
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: G17000219
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: MARK B STEVENS BUILDERS.COM
Email Address: V.P. STEVENS BUILDERS
Title/Company:

Print Name: MARK STEVENS
Date: 11/28/17
NOV 28 2017

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

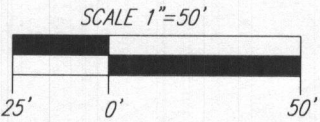
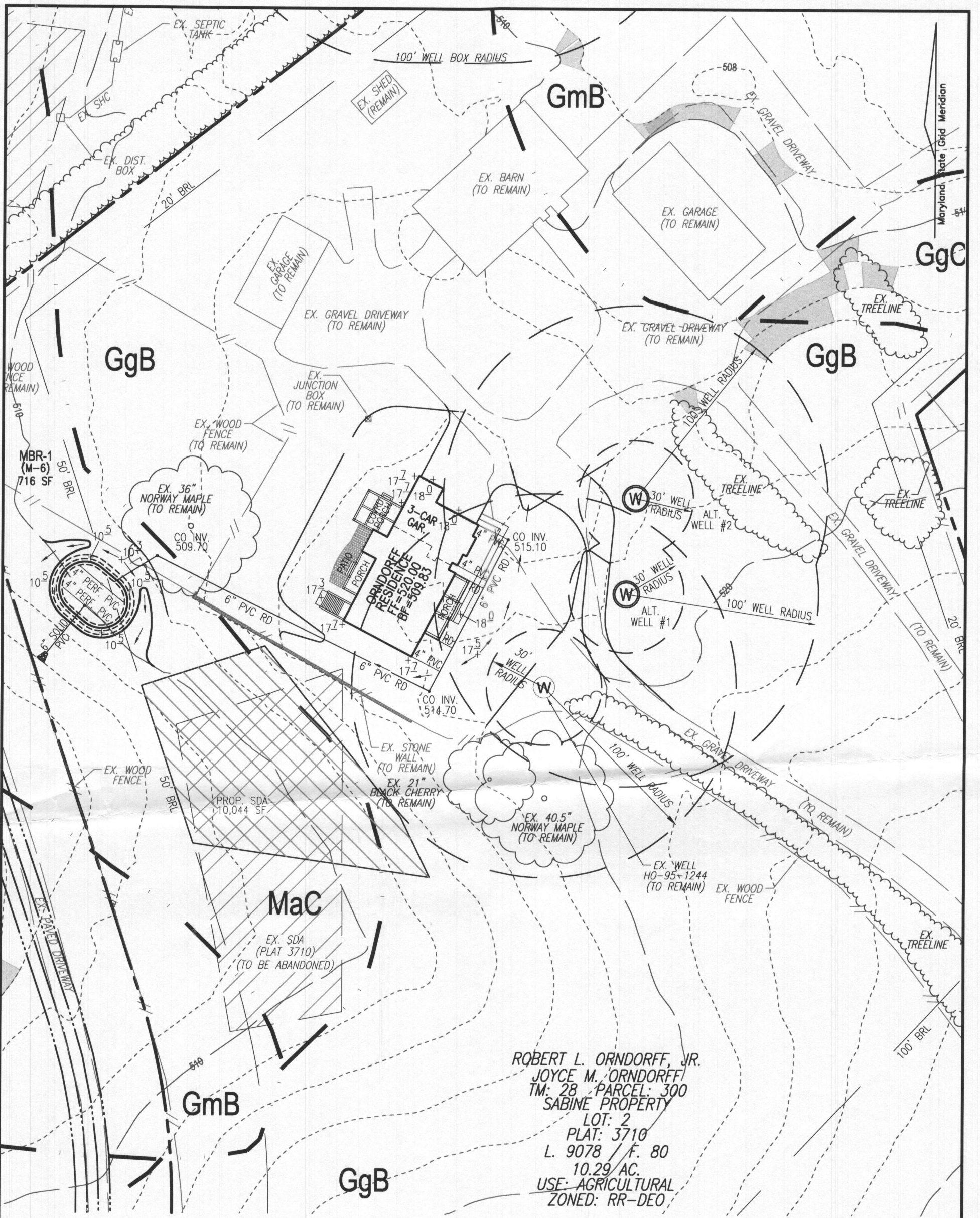
LICENSES & PERMITS
DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 9296

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



GRADING PLAN
SCALE: 1"=50'

ROBERT H. VOGEL
ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

OWNER
ROBERT L. ORNDORFF, JR.
JOYCE M. ORNDORFF
TM: 28 PARCEL: 300
SABINE PROPERTY
LOT: 2
PLAT: 3710
L. 9078 / F. 80
10.29 AC.
USE: AGRICULTURAL
ZONED: RR-DEO

BUILDER
STEVENS BUILDERS
4829 TEN OAKS ROAD
DAYTON, MD 21036
(410) 984-7296

SCALE AS SHOWN
DRAWN BY JMR
CHECKED BY RHV
DATE NOVEMBER 2017
W. O. # 17-03
SHEET# 3 OF 5

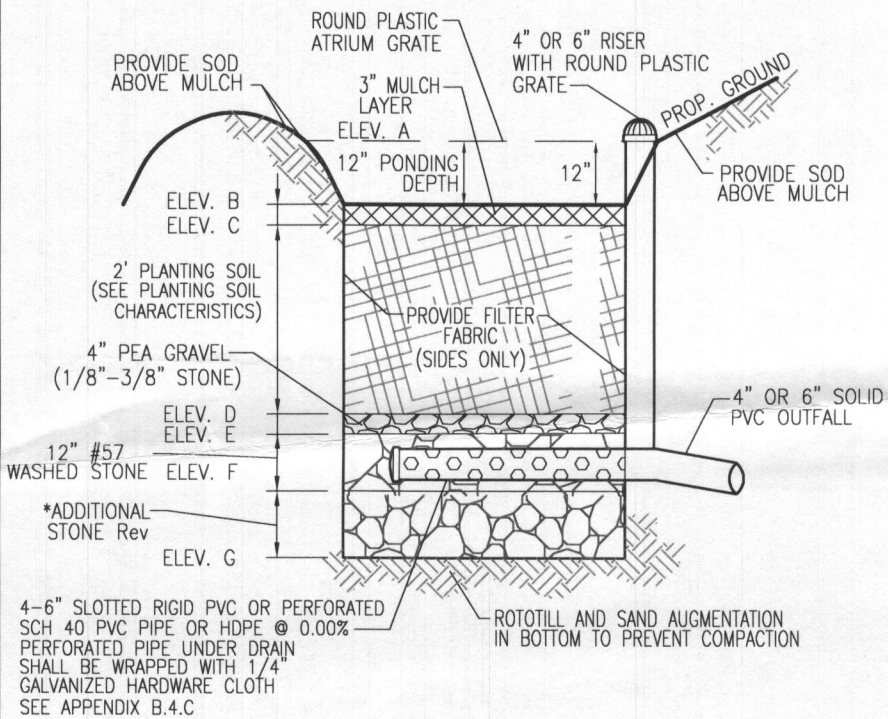
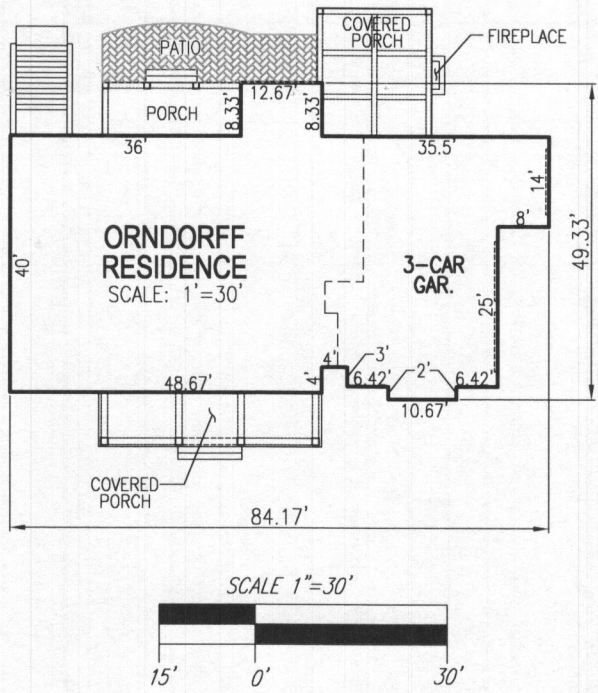
5TH ELECTION DISTRICT
TAX MAP: 28 GRID: 19

PLOT PLAN
ORNDORFF PROPERTY
SABINE PROPERTY - LOT 2
13780 TRIADELPHIA MILL ROAD
CLARKSVILLE, MD 21029
(L. 9078 / F. 80)
REF: GP-18-016

PARCEL: 300
ZONED: RR-DEO
HOWARD COUNTY, MARYLAND

Table B.4.1 Materials Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration-

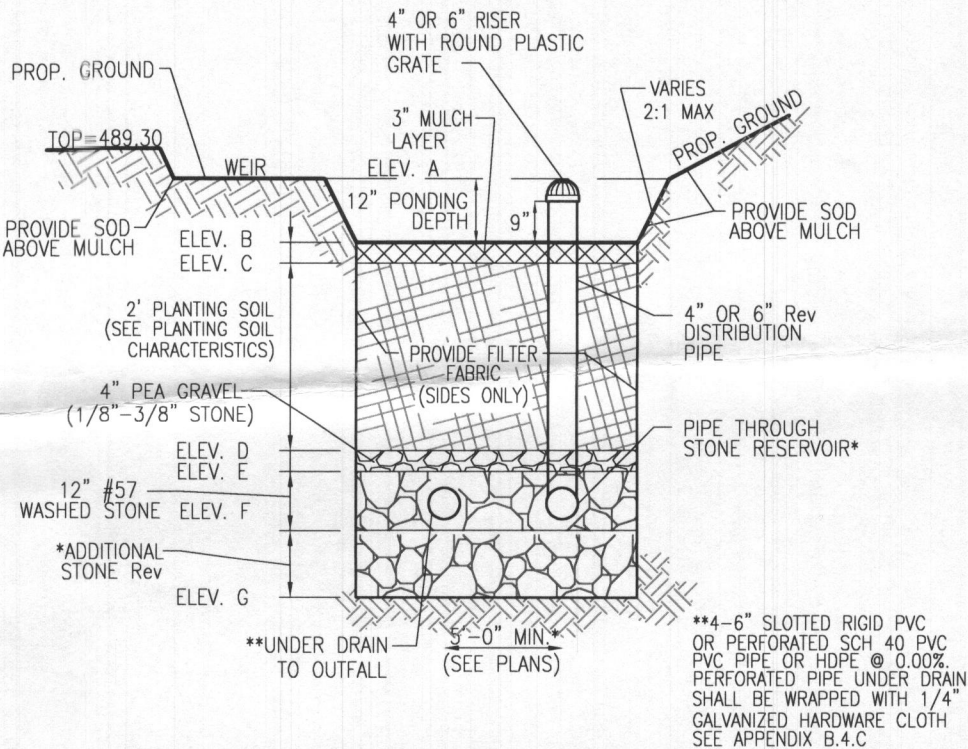
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobble	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; $f'_c = 3500$ psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) <i>not using previously approved State or local standards</i> requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



MICRO BIORETENTION (UNDERDRAIN) (M-6)

NOT TO SCALE

*ADDITIONAL STONE PROVIDED FOR 10 YEAR ATTENUATION/Rev



MICRO BIORETENTION (OVERFLOW) (M-6)

NOT TO SCALE

*ADDITIONAL STONE PROVIDED FOR 10 YEAR ATTENUATION/Rev

MICRO-BIORETENTION FACILITY ELEVATIONS (M-6)

FACILITY	A	B	C	D	E	F	G	UNDERDRAIN INV. OUT	OUTFALL INV.	FACILITY SIZE
MBR-1	510.50	509.50	509.25	507.25	506.92	505.92	505.22	506.17	506.00	716 SF

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MICROBIORETENTION NOTES:




- 1. ONLY THE SIDES OF MICROBIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC. FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE MICROBIORETENTION WILL CAUSE THE MBR TO FAIL, AND THEREFORE SHALL NOT BE INSTALLED.
- 2. WRAP THE PERFORATED MBR UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH.
- 3. PROVIDE 5' MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFERATED PIPE THROUGH STONE RESIVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS. (SEE PLANS)

OPERATION AND MAINTENANCE SCHEDULE FOR (M-6) MICROBIORETENTION AREAS

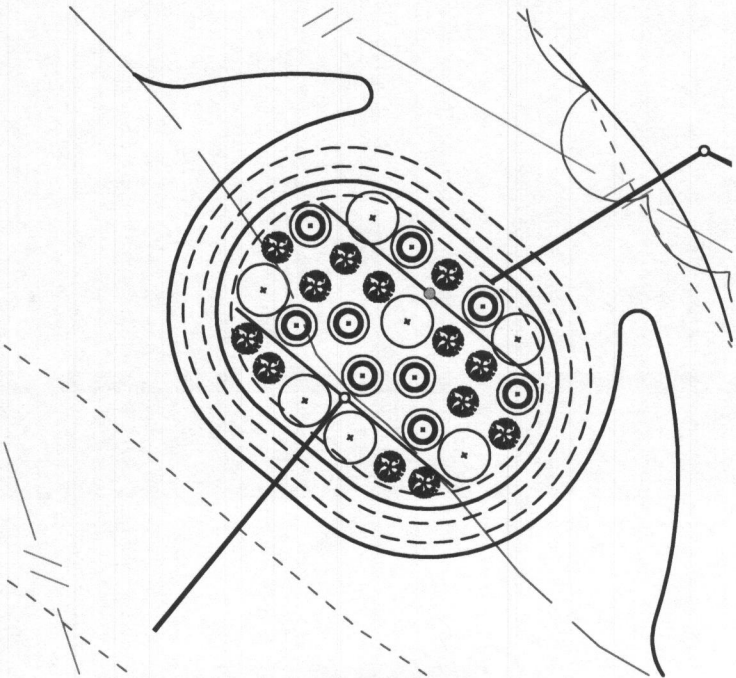
- 1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- 2. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- 3. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- 4. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

"MICRO-BIORETENTION" PLANTING SCHEDULE NOTES:

- 1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY PLANTING SPECIFICATIONS.
- 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- 3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- 5. MICROBIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (.0229 STEMS PER SQUARE FOOT). ABOVE PLANTING RATIOS ARE TO BE APPLIED TO THE AREAS PROVIDED IN THE ESDv SUMMARY.
- 6. FILTER AREA SHALL BE 50% COVERED BY PLANTINGS AT FULL GROWTH

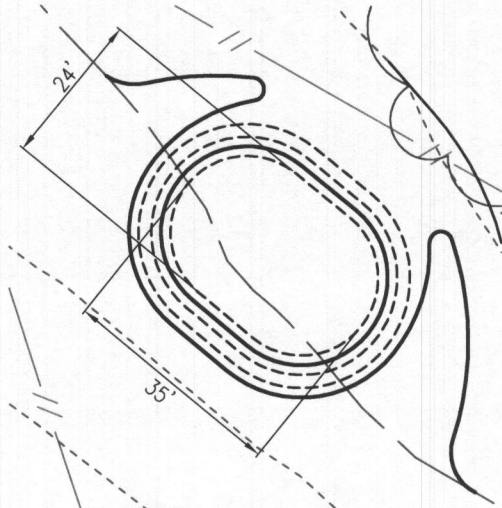
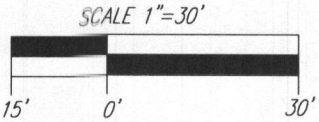
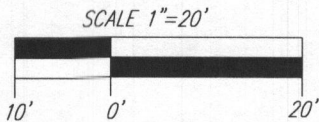
MICRO-BIORETENTION PLANTING SCHEDULE (MBR-1)				
	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	7	LINDERA BENZOIN SPICEBUSH	5 GALLON	CONT
	9	ILEX GLABRA INKBERRY	3 GALLON	CONT
	13	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	3 GALLON	CONT

SF X 75% X .0229 STEMS PER SQUARE FOOT = PLANTS REQUIRED



MBR-1 PLANTING DETAIL (716 SF)

SCALE: 1"=20'




MBR-1 DIMENSIONS

SCALE: 1"=30'

HOWARD COUNTY – OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

- A. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.



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SCALE _____ AS SHOWN
DRAWN BY _____ JMR
CHECKED BY _____ RHV
DATE _____ NOVEMBER 2017
W. O. # _____ 17-03
SHEET# _____ 5 OF 5

5TH ELECTION DISTRICT
TAX MAP: 28 GRID: 19

PLOT PLAN
**ORNDORFF PROPERTY
SABINE PROPERTY – LOT 2**
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- DOUBLE ALL FLOOR JOISTS UNDER W/1'S ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.
- WHERE APPLICABLE, BALLOON FRAME EXTERIOR WALLS TO BE 2x6 SFF #2 OR BETTER STUDS @ 12" O.C. UNLESS OTHERWISE NOTED
- ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
- ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. U.N.O.
- ALL HEADERS TO BE 2x10'S UNLESS NOTED OTHERWISE
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A Fb RATING OF 2950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 3-2x10 HEADERS W/ 1/2" FILLER & 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
- PROVIDE SOLID 2x10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
- PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.
- ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT or ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS
- FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.
- FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 10d NAILS @ 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS. FOR BEAMS 1" OR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE A-307 (OR BETTER) 1/2" DIA. BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM @ 24" O.C. STAGGERED.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)		30
WIND PRESSURE (pounds per square foot)		17 +/- (90 m.p.h.)
SEISMIC CONDITION BY ZONE		B
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES		13 °
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		

ALL WORK SHALL COMPLY WITH INTERNATIONAL CODE W/ LOCAL AMENDMENTS

International Residential Code, 2015 Edition
2011 National Electrical Code with Local Amendments (NFPB 70)
International Mechanical Code, 2012 Edition
The Life Safety Code, 2012 Edition
2009 National Standard Plumbing Code Illustrated
2009 National Fuel Gas Code (NFPA 54)
International Energy Conservation Code, 2015 Edition

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepancies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify ALL proposed dimensions.

- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction: construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is attained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility always shall be the exclusive responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.

0.01	COVER SHEET	
0.02	GENERAL INFO	
1.01	ELEVATIONS	
1.02	ELEVATIONS	
1.03	ELEVATIONS	
1.04	ELEVATIONS	
2.01	FOUNDATION PLAN	
3.01	FIRST FLOOR PLAN	
3.02	SECOND FLOOR PLAN	
3.03	FRONT PORCH HOLD DOWNS	
3.51	BRACING-FIRST FLOOR PLAN	
3.52	BRACING-SECOND FLOOR PLAN	
3.53	BRACING DETAILS	
4.01	ROOF PLAN	
5.01	SECTIONS	
5.02	SECTIONS	
5.03	WALL SECTIONS	

FLOOR	SQUARE FOOTAGE
BASEMENT	1,954 s.f.
FIRST FLOOR	2,152 s.f.
SECOND FLOOR	1,686 s.f.
GARAGE	1,044 s.f.
TOTAL	5,792 s.f.

PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland,
License Number #14678
Expiration Date: 6/30/2018

CONTACT:
MARK STEVENS
4829 Ten Oaks Road
Dayton, MD 21036-1002
(410) 531-2100
www.StevensBuilders.com

Orndorff Residence

PROPOSED RESIDENCE

Triadelphia Mill Road, Clarksville, Maryland

REVISIONS

[illegible]

SCALE: N/A

COVER SHEET

0.01

PRINT DATE :
Tuesday, August 08, 201

Orndorff Residence
PROPOSED RESIDENCE
Triadelphia Mill Road, Clarksville, Maryland

REVISIONS

1	1-18-16	REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		

SCALE: 1/4" = 1'-0"

ELEVATIONS

1.01

PRINT DATE:
Tuesday, August 08, 2017



FRONT ELEVATION

Orndorff Residence
PROPOSED RESIDENCE
Triadelphia Mill Road, Clarksville, Maryland

REVISIONS

NO.	DATE	REVISION
1	1-18-16	REVIEW

SCALE: 1/4" = 1'-0"

ELEVATIONS

1.02

PRINT DATE:
Tuesday, August 08, 2017



RIGHT ELEVATION

NOTE:
STAIRS WITH 2 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIA SPHERE.

Orndorff Residence
PROPOSED RESIDENCE
Triadelphia Mill Road, Clarksville, Maryland

REVISIONS		
1	1-18-16	REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		

SCALE: 1/4" = 1'-0"

ELEVATIONS

1.03

PRINT DATE:
Tuesday, August 08, 2017



LEFT ELEVATION

Orndorff Residence
PROPOSED RESIDENCE
Triadelphia Mill Road, Clarksville, Maryland

[illegible]

SCALE: 1/4" = 1'-0"

ELEVATIONS

1.04

PRINT DATE :
Tuesday, August 08, 2017



REAR ELEVATION

Orndorff Residence

PROPOSED RESIDENCE

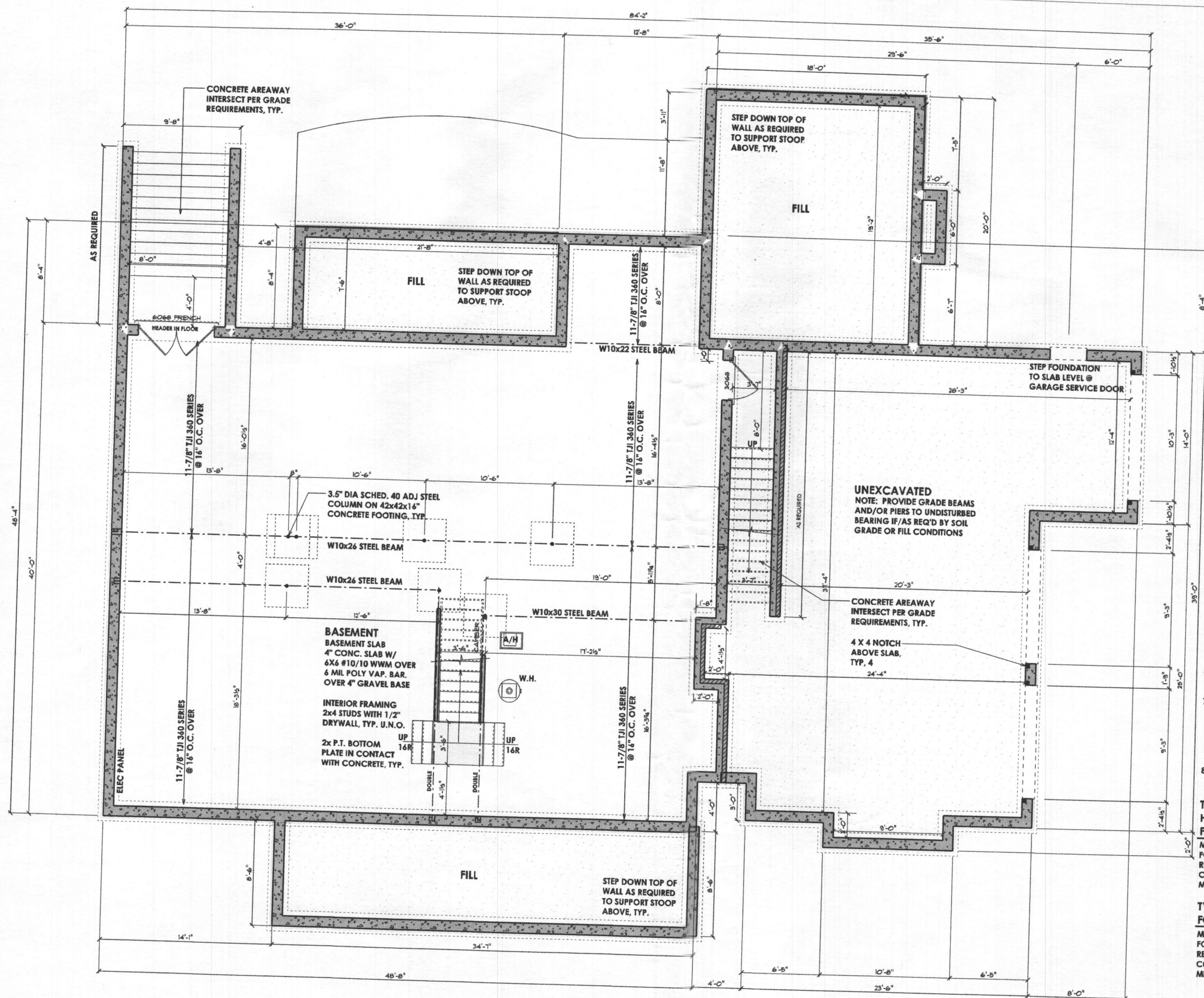
Triadelphia Mill Road, Clarksville, Maryland

SCALE: $1/4" = 1'-0"$

FOUNDATION

2.01

PRINT DATE :
Tuesday, August 08, 2017

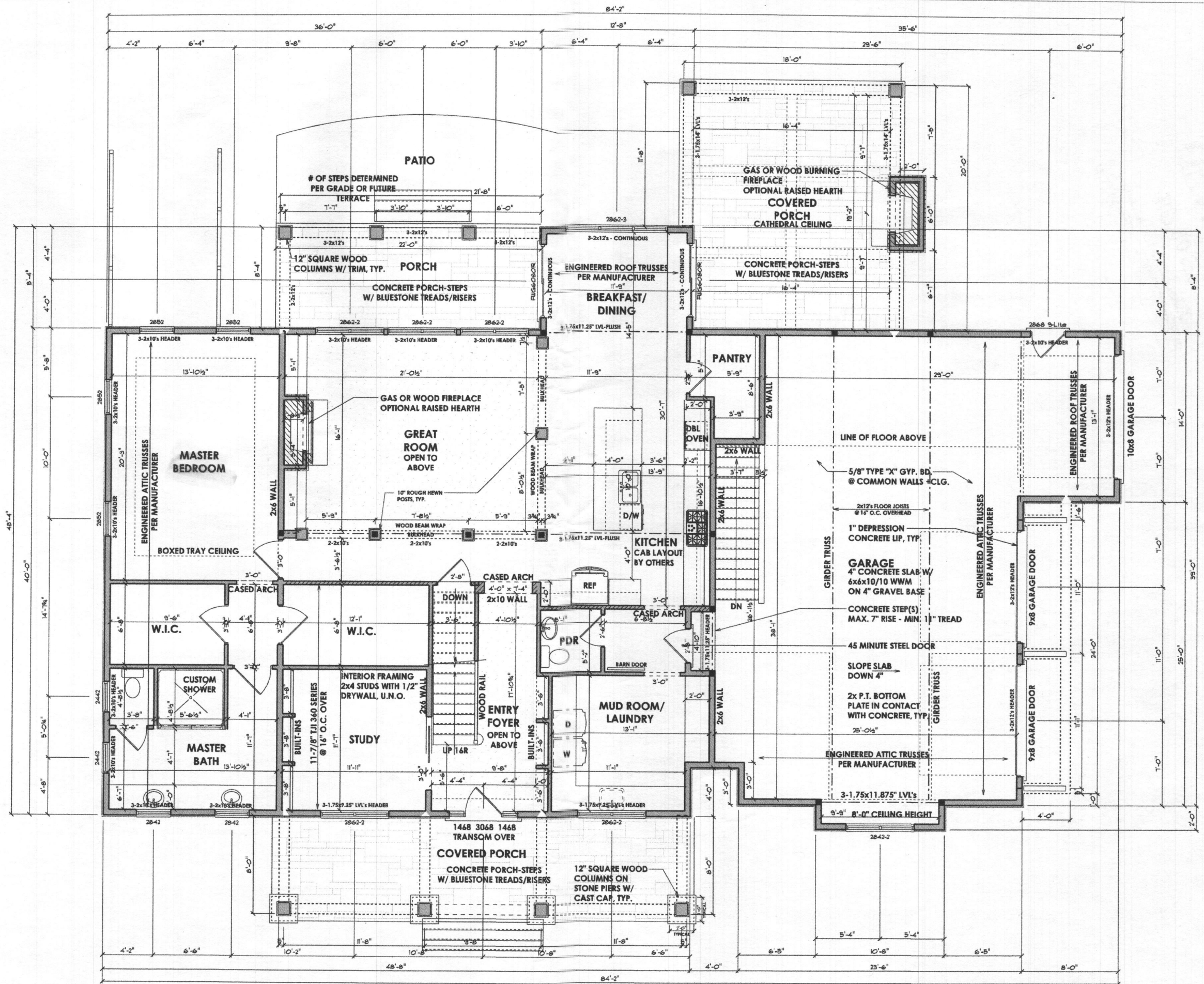


1) 2000 PSF MIN SOIL BEARING
CAPACITY ASSUMED

- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.
- 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.
- 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
- 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**MIN. 10" REINFORCED CONCRETE
FOUNDATION WALL (THICKNESS &
REINFORCING PER SOIL & GRADE
CONDITIONS & CODE)
MIN. 10"x24" CONTINUOUS FOOTING**

MIN. 8" REINFORCED CONCRETE
FOUNDATION WALL (THICKNESS &
REINFORCING PER SOIL & GRADE
CONDITIONS & CODE)
MIN. 8"x16" CONTINUOUS FOOTING



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL
TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5
CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

ARCHITECTURE
JONATHAN RIVERA
Early Career Architect
(443) 226-5745
JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION
I certify that these documents
were prepared or approved
by me, and that I am a duly
licensed professional
architect under the laws of the
State of Maryland,
License Number #14678
Expiration Date: 6/30/2018

STEVENS BUILDERS

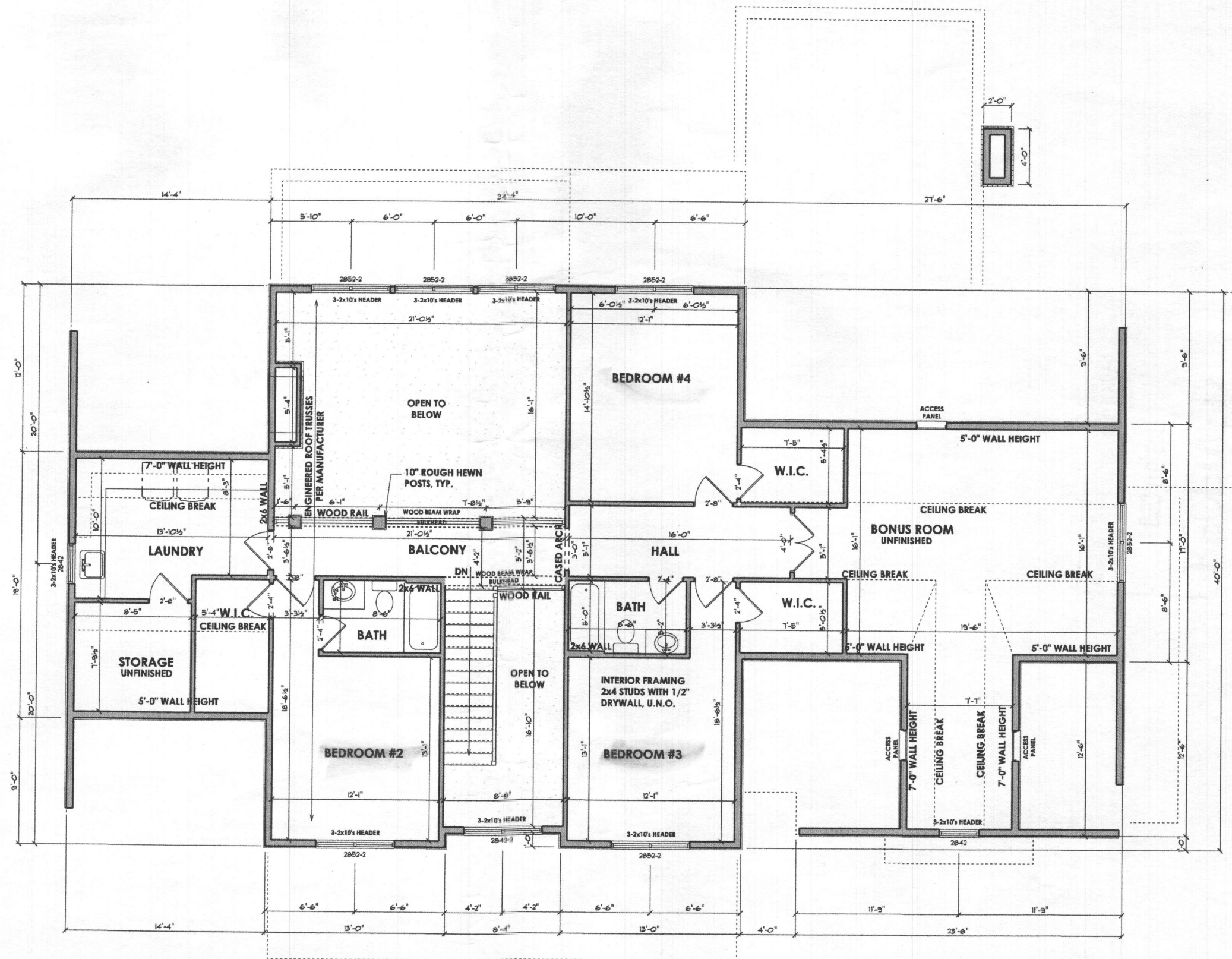
CONTACT:
MARK STEVENS
4829 Ten Oaks Road
Dayton, MD 21036-1002
(410) 531-2100
www.StevensBuilders.com

Orndorff Residence
PROPOSED RESIDENCE
Triadelphia Mill Road, Clarksville, Maryland

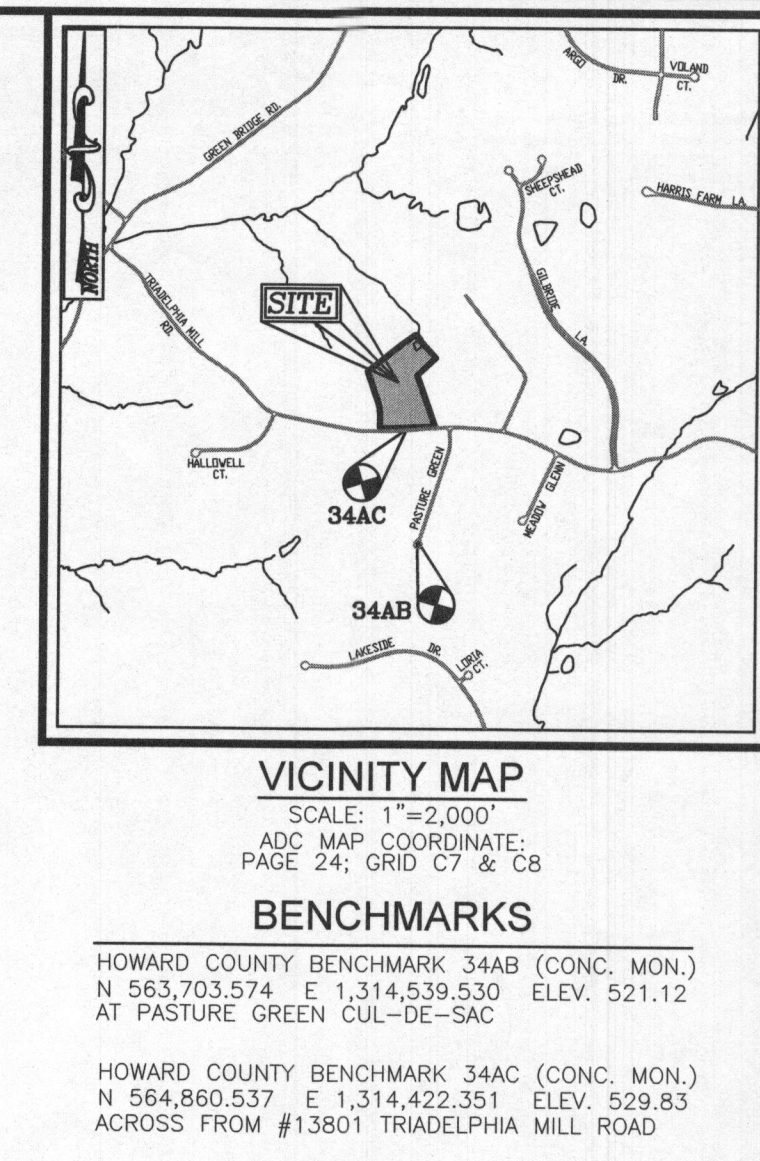
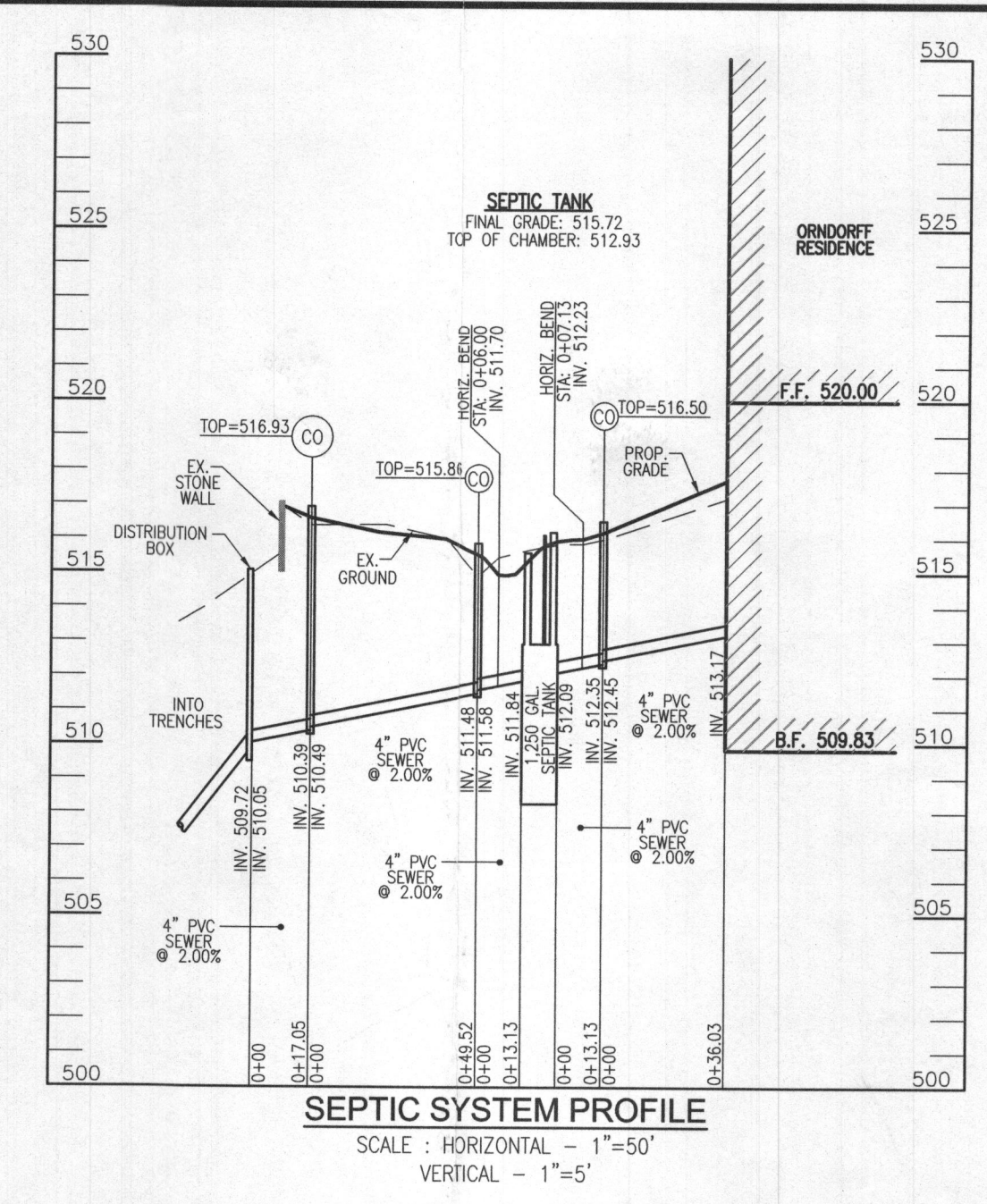
REVISIONS
1-18-16 REVIEW

SCALE: 1/4" = 1'-0"
1ST FLOOR
3.01

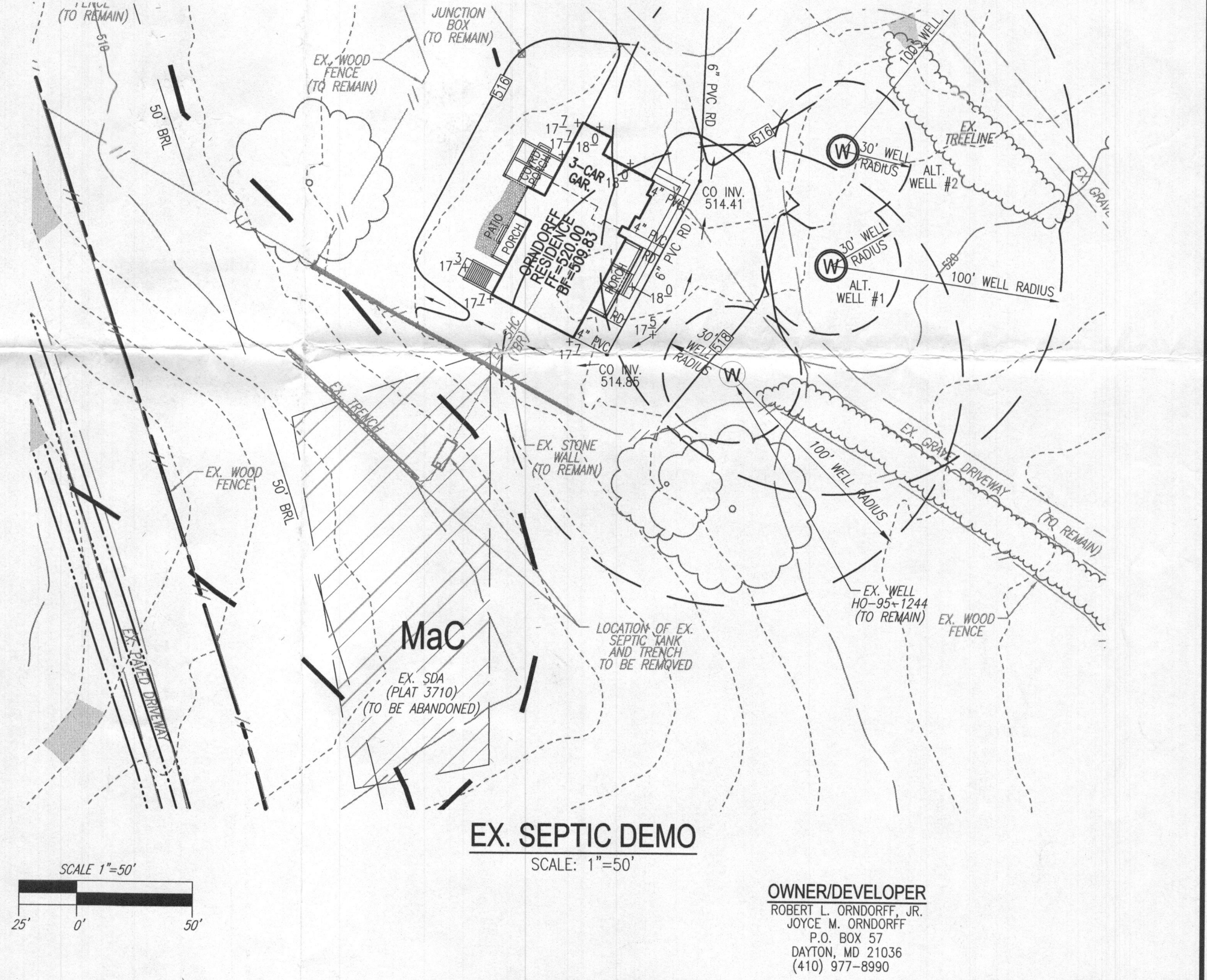
PRINT DATE:
Tuesday, August 08, 2017



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL
TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5
CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL



Approved Septic System Plan
 Howard County Health Department
 Ema Burd 1-5-17
 Signature Date
 B14004205



WELL LOCATION CERTIFICATION:
 THE EXISTING WELL SHOWN ON THIS PLAN (TAG #HO-95-1244)
 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN

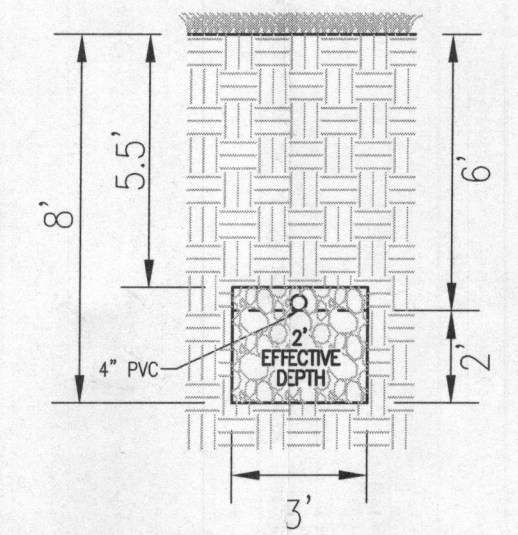
THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST
 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE
 DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE
 DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE
 RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE
 AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO
 A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER
 SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE
 PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE
 AREA SHALL NOT BE NECESSARY.

SYSTEM CALCULATIONS:
INITIAL SYSTEM:
 4 BEDROOMS AT 600gpd / 0.8 ABSORPTION RATE = 750 SQ. FT.
 750 SQ. FT. / 3 (TRENCH WIDTH) x .83 (SIDEWALL REDUCTION) = 158 LINEAR FEET
 158 TOTAL LINEAR FEET OF TRENCH ARE PROVIDED WITH THE INITIAL SYSTEM.
 (3 TRENCHES OF 53 FEET IN LENGTH)
FIRST REPLACEMENT SYSTEM:
 4 BEDROOMS AT 600gpd / 0.8 ABSORPTION RATE = 1,000 SQ. FT.
 1,000 SQ. FT. / 3 (TRENCH WIDTH) x .83 (SIDEWALL REDUCTION) = 277 LINEAR FEET
 280 TOTAL LINEAR FEET OF TRENCH ARE PROVIDED WITH THE FIRST REPLACEMENT SYSTEM.
 (4 TRENCHES OF 70 FEET IN LENGTH)
SECOND REPLACEMENT SYSTEM:
 4 BEDROOMS AT 600gpd / 0.8 ABSORPTION RATE = 750 SQ. FT.
 750 SQ. FT. / 3 (TRENCH WIDTH) x .83 (SIDEWALL REDUCTION) = 208 LINEAR FEET
 208 TOTAL LINEAR FEET OF TRENCH ARE PROVIDED WITH THE SECOND REPLACEMENT SYSTEM.
 (4 TRENCHES OF 52 FEET IN LENGTH)

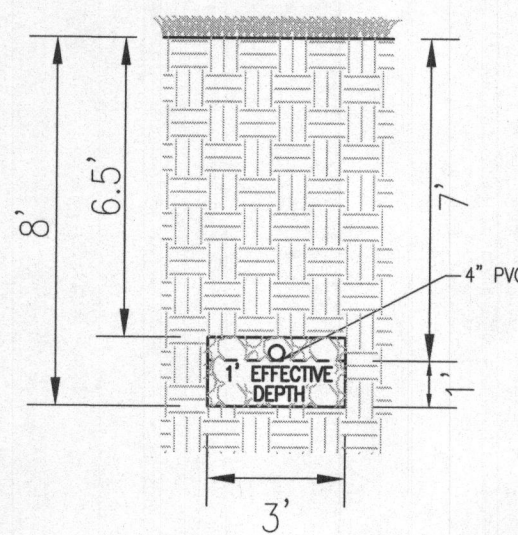
GENERAL NOTES:
 1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 2. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 3. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 4. THE WELL (HO-95-1244) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
 6. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 2017 AND SUPPLEMENTED WITH CURRENT HOWARD COUNTY GIS DATA.
 7. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 8. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWNGRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN USING ALL REASONABLE EFFORTS.
 9. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.

INITIAL SYSTEM TRENCH INFO

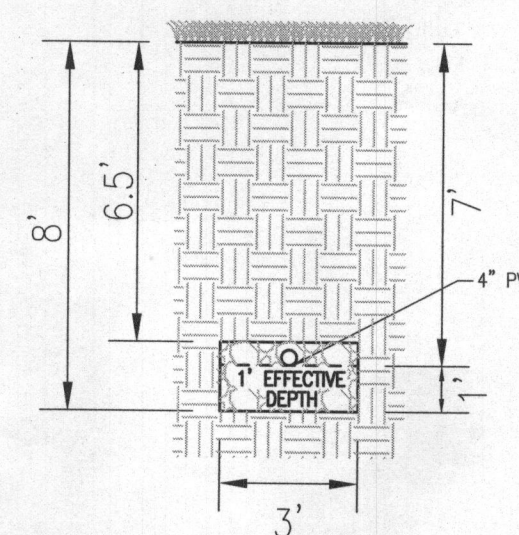
TRENCH	LENGTH	TRENCH	TRENCH	EXISTING GROUND
1	53'	508.18	506.18	514.18
2	53'	505.44	504.44	512.44
3	53'	504.21	503.21	511.21



INITIAL SYSTEM TRENCH DETAIL
 NOT TO SCALE



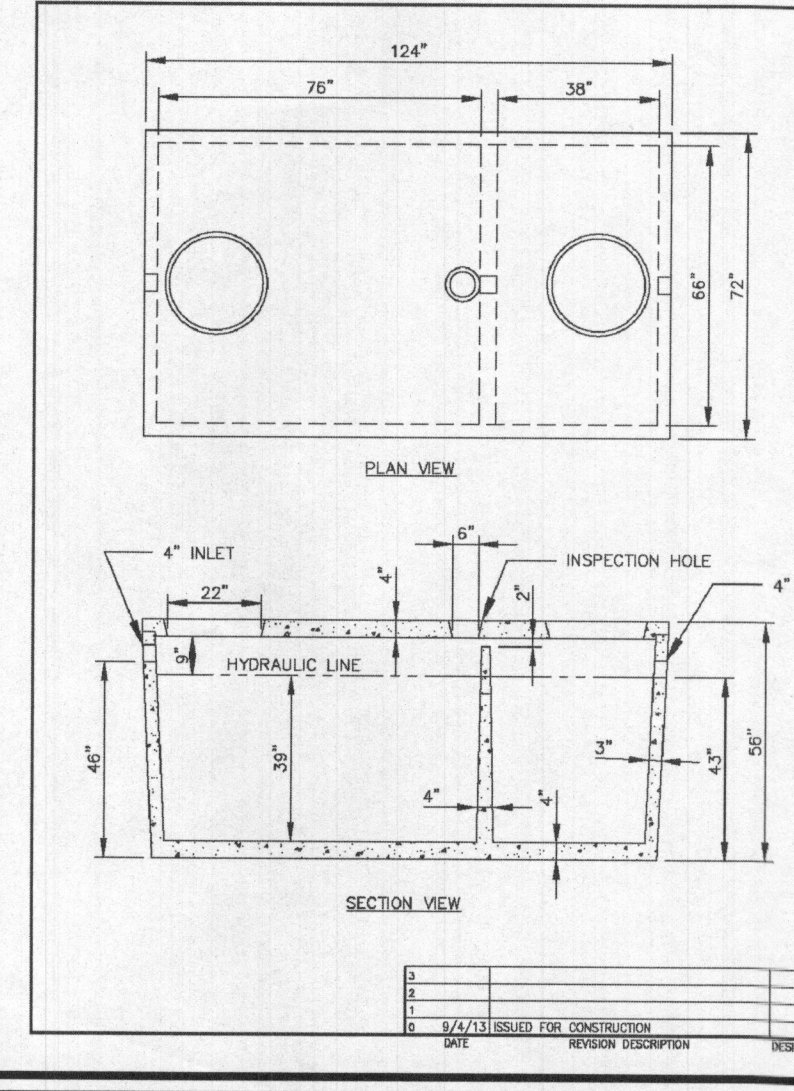
1ST REPLACEMENT TRENCH DETAIL
 NOT TO SCALE



2ND REPLACEMENT TRENCH DETAIL
 NOT TO SCALE

LEGEND:

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING EDGE OF PAVING
- EXISTING TREELINE
- EXISTING WOOD FENCE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STEEP SLOPES
- EXISTING MODERATE SLOPES
- EXISTING WELL LOCATION
- PROPOSED ALT. WELL
- PASSED PERIC. TEST
- EXISTING PRIVATE SOA
- PROPOSED PRIVATE SOA



SPECIFICATIONS:
 5000PSI WITH SUPER PLASTICIZER
 BOTTOM AND SIDES ARE REINFORCED WITH E80000 GAUGE WIRE
 TOP IS REINFORCED WITH 1/2" GRADE 60 REBAR ON 12" CENTERS
 POLYLOCK III PRESSURE RATED RUBBER SEALS AVAILABLE UPON REQUEST

MASTIC SEAL
 LID
 SEAL
 WALL
 SEAL DETAIL

Maryland Concrete Inc.
 1250 GALLON 2 COMPARTMENT SEPTIC TANK
 DRAWN: JAN 9/2013
 CHECKED: TIS
 SCALE: 1/4" = 1'-0"

No. MC013

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

ORNDORFF PROPERTY
SABINE PROPERTY - LOT 2
 13780 TRIADPHIA MILL ROAD
 CLARKSVILLE, MD 21029
 10.29 AC.

BUILDING PERMIT #

OWNER/DEVELOPER
 ROBERT L. ORNDORFF, JR.
 JOYCE M. ORNDORFF
 P.O. BOX 57
 DAYTON, MD 21036
 (410) 977-8990

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961


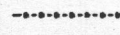
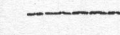
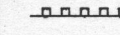

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 08-27-2018

DESIGN BY: RHV
DRAWN BY: JMR
CHECKED BY: RHV
DATE: OCTOBER 2017
SCALE: AS SHOWN
W.O. NO.: 17-03

1 SHEET OF 1

NOTES:

1. TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY SHANABERGER & LANE IN FEBRUARY 2011 BY SHANABERGER & LANE. REMAINING TOPOGRAPHY SHOWN ON PLAN IS FROM HOWARD COUNTY AERIAL PHOTOGRAPHY.

2.  DESIGNATES PRIVATE SEWAGE EASEMENT ON PLAT #16256
 DESIGNATES LIMITS OF DISTURBANCE
 DESIGNATES EXISTING CONTOURS
 DESIGNATES SILT FENCE
 DESIGNATES IMPROVEMENTS TO BE REMOVED

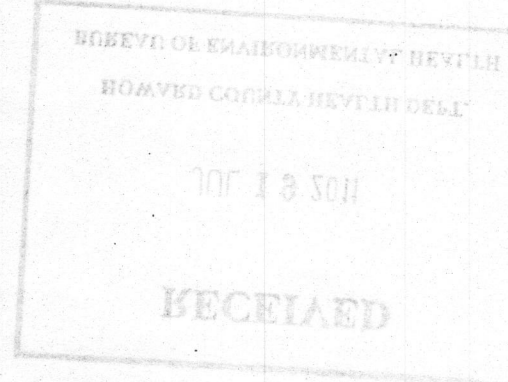
3. BEARINGS AND DISTANCES SHOWN HEREON ARE FROM PLAT NUMBER 19099.

4. ANY CHANGE TO A PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.

5. THE LOT SHOWN HEREON COMPLES WITH THE MINIMUM OWNERSHIP AND LOT AREA REQUIREMENTS BY THE MD STATE DEPARTMENT OF THE ENVIRONMENT.

6. THE PURPOSE OF THIS SITE PLAN IS TO ACCOMPANY A BUILDING PERMIT APPLICATION FOR 2 ADDITIONS.

7. TOTAL DISTURBED AREA: 4,966 SQ. FT. ±
8. TOTAL AMOUNT OF SILT FENCE: 195 LF.
9. TOTAL NOW IMPERVIOUS AREA: 726 SQ. FT. ±



B11002110
addition OK
7-29-11
148

SHANABERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELLICOTT CITY, MD. 21043
(410) 461-9563
(410) 461-9693 fax
home@shanlane.com

SITE PLAN for ADDITIONS
LOT 12
SABINE PROPERTY
TAX MAP 28 PARCEL 300
PLAT #9578
5TH ELECTION DISTRICT HOWARD CO., MD.
SCALE: 1"=50' DATE: APRIL 14, 2011