

Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455 www.howardcountymd.gov

Date Received:	
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Permit No.: <u>61400892</u>2

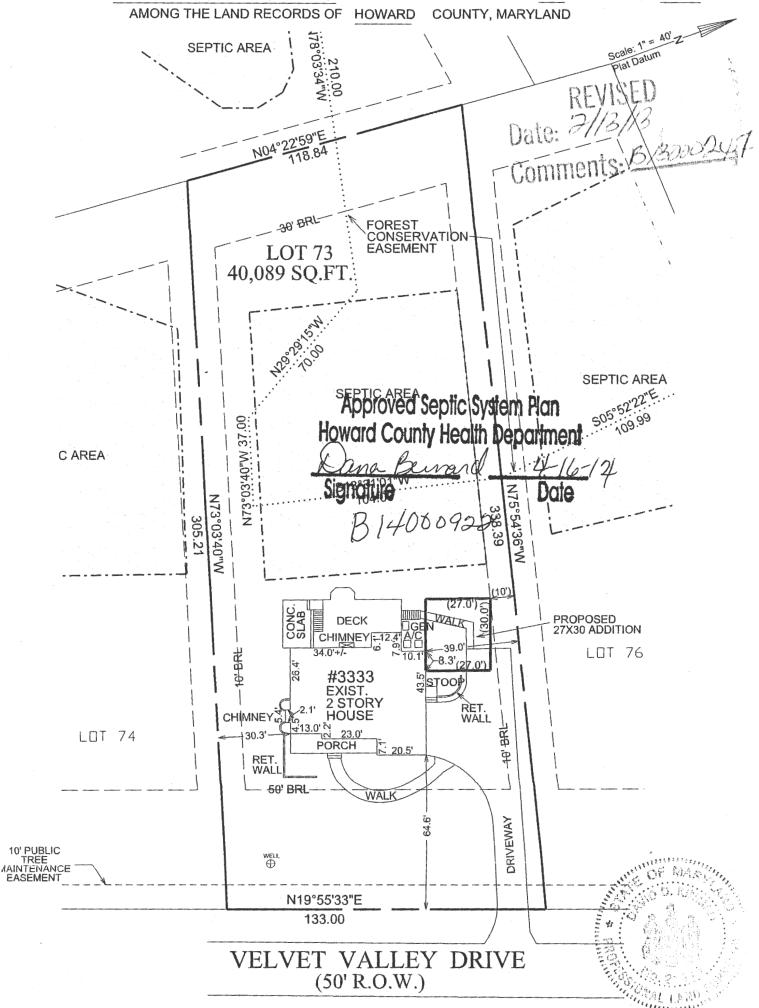
Building Address: 3333 VGWG	IT VALLEY DV.		Property Owner's Name:	FYNE 0	BACHOWSE	7
City: W. FRIEVO SITE State:	MC7 75 Cade 2	1744	Address: 3333 VELU City At TREWOSKO	FIVAL	MY DI	
			City W NEW DENVO	State: _	Zip Code: 2	1744
Suite/Apt. #SDP			Phone: 443 9231 Email: Wayne 9 Co	96 100	eki lan	
Census Tract:	Subdivision:	75				
Section: Area Tax Map: Parcel:	:Lot:	/ 7	Applicant's Name & Mailing	Address, (If o	other than stated her	ein)
Tax Map: 0077 Parcel:	0559 Grid: 0	2002	Applicant's Name:			
Zoning: Map Coordinat			Address:	_State:	Zip Code:	
Existing Use: RESIDE NT	/he		Phone: Email:	Fax:		
	/ L		Contractor Company:	04/C A	14.50	
Proposed Use: 5000					PABIL	
Estimated Construction Cost: \$ 40	<u> </u>		Contact Person:		· · · · · · · · · · · · · · · · · · ·	
Description of Work:	GUPPOLITICO.	ŀ	Address:		77 6 1	
PERBOLA 1244 OL			City:Sta	πе:	Zip Code:	
		Vicili	License No. :Phone:	Eav:		
PATIO ATTACHED !		7	Email:			
Occupant or Tenant: XW PY	w		CITION.			
Was tenant space previously occupied?			Engineer/Architect Company	··		
Contact Name: WAYNE ODA						
<u> </u>			Responsible Design Prof.:			
Address: 3333 Vaugt VI	rury DV.		Address:			
City W. PYLEUDSHO	State: Zip Code:	4741	City:Sta	te:	_ Zip Code:	
Phone: 443-823-1832	Fax:		I			
Email: Why me e Odachow			Phone:	rax:		-
Email: Wayne & UNGCOWN	741.60		Email:			
Commercial Building Characteristics	Peridontial Building Ch	a ann a an	Utilities			
Height:	Residential Building Che SF Dwelling SF Tow					
No. of stories:	Depth Depth	Width	Water Supply			
Gross area, sq. ft./floor:	1st floor:	37,007.	☐ Public		A. (4)	transport (A
	2 nd floor:		□ Private			
Area of construction (sq. ft.):	Basement:		Sewage Dispose	<u> </u>		
	☐ Finished Basement		☐ Public			or to the Xe
Use group:	☐ Unfinished Basement		□ Pfivate			5777 #1
Construction to the	☐ Crawl Space		Electric:	□ No		4.0
Construction type: ☐ Reinforced Concrete	☐ Slab on Grade No. of Bedrooms:		Gas: ☐ Yes	□ No		
☐ Structural Steel	Multi-family Dwg	elling	Heating System	2		
☐ Masonry	No. of efficiency units:		☐ Electric ☐ Oil			6.5
☐ Wood Frame	No. of 1 BR units:		☐ Natural Gas ☐ Propan	e Gas		100
☐ State Certified Modular	No. of 2 BR units:		☐ Other:			4, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1,
	No. of 3 BR units:		Sprinkler System	<u>n:</u>		
-	Other Structure:		☐ Yes ☐ No			Western F
	Dimensions:					#.DE.
	Footings: Roof:		Grading Per	mit Number:		AND THE PROPERTY OF THE
	□ State Certified Modula					
The second second section of the section of th	☐ Manufactured Home		Building Shell Per	mit Number:	†	
<u> </u>					<u> </u>	
THE UNDERSIGNED HEREBY CERTIFIES AND AGREE WITH ALL REGULATIONS OF HOWARD COUNTY W THIS APPLICATION: 53 THAT HE/SHE CRAMPTONIA	HICH ARE APPLICABLE THERETO:	(4) THAT HE/SHE WI	LL PERFORM NO WORK ON THE ABOVE	REFERENCED PRO	PERTY NOT SPECIFICALLY I	DESCRIBED IN
THIS APPLICATION; (5) THAT HE/SHE GRANTS COU			nry we on Acha	M		
Applicant's Signature	. / •	Pri	nt Name			
Why he edachor	spi.om	*Da	2131114			
		54.				
Title/Company		•				
Title/Company	Checks Payable to	: DIRECTOR OF FI	NANCE OF HOWARD COUNTY			
Title/Company		LEASE WRITE NEA	TLY & LEGIBLY**	ng saga kan sa kan kan kan kan kan kan kan kan kan ka		Acordon & Suissee
Title/Company			TLY & LEGIBLY**		s compression of the second	
		LEASE WRITE NEA	TLY & LEGIBLY** USE GNEY	Filling Fee	18.	5 N
AGENCY DATE SM	•••	POR OFFICE DPZ SETBACK I Front:	TLY & LEGIBLY** USE GNEY	Permit Fee		5 4)
AGENCY DATE SM State Highways	•••	LEASE WRITE NEA EUS DEEKE DPZ SETBACK I Front: Rear:	TLY & LEGIBLY** USE GNEY	Permit Fee Tech Fee	\$	5 vi
AGENCY DATE SM State Highways & Building Officials	•••	POR OFFICE DPZ SETBACK I Front:	TLY & LEGIBLY** USE GNEY	Permit Fee		5 an
AGENCY DATE SM State Highways	•••	LEASE WRITE NEA FUSE OFFICE DPZ SETBACK I Front: Rear: Side:	TLY & LEGIELY** USE ONE Y. INFORMATION	Permit Fee Tech Fee Excise Tax	\$ \$ \$	54
AGENCY DATE SM State Highways & Building Officials	•••	DPZ SETBACK I Front: Rear: Side: Side St.: All minimum si Is Entrance Per	TLY & LEGISLY** USE ONE Y INFORMATION etbacks met?	Permit Fee Tech Fee Excise Tax PSFS Guaranty F Add'i per F	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5 N
AGENCY DATE SM State Highways Building Officials PSZA (Zoning)	•••	DPZ SETBACK I Front: Rear: Side: Side St.: All minimum sis Entrance Per Historic Distric	TLY A LEGISLY** USE ONEY: INFORMATION etbacks met?	Permit Fee Tech Fee Excise Tax PSFS Guaranty F Add'i per F Total Fees	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5 V
AGENCY DATE SM State Highways Building Officials PSZA (Zoning) PSZA (Engineering)	GNATURE OF APPROVAL	DPZ SETBACK I Front: Rear: Side: Side St.: All minimum sis Entrance Per Historic Distric	TLY & LEGIELY** USE ONEY INFORMATION ethacks met?	Permit Fee Tech Fee Excise Tax PSFS Guaranty F Add'i per F	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5 4

Yellow: PSZA, Engineering

Green: PSZA,Zoning

No title report was furnished. This property is subject to all applicable easements, rights-of-way, covenants and those documents which the undersigned has not been provided. Dimensions shown within "()" are to represent the proposed addition House Location / Plot Plan DESCRIBED AS: LOT 75 BLOCK N/A AS SHOWN ON A PLAT OF SUBDIVISION ENTITLED: West Friendship Estates (Section 2) AS RECORDED IN PLAT BOOK N/A AS PLAT NO. 12453 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND SEPTIC AREA alat Datum 118.84 -38' BRI ASEMENT **LOT 73** 40,089 SQ.FT Approved Septic System Plan AREA SEPTIC A Howard County Health Department 3 Signature .03'40"W Date C AREA S13°31'01"W 00476 104.00 N73°03'40"W as- Shown 305.21 PROPOSED 27X30 ADDITION DECK CHIMNEY -12.4 A/C 34 0'+/-LOT 76 -8.3'₍₂₇ #3333 ST00∲ EXIST. 2 STORY RET. WALL CHIMNEY TO HOUSE 界 LOT 74 PORCH 50' BRL DRIVEWAY 10' PUBLIC TREE MAINTENANCE EASEMENT_ WELI N19°55'33"E 133.00 VELVET VALLEY DRIVE (50' R.O.W.) Drawn By: DK Eyott, Inc. SURVEYOR'S CERTIFICATE Scale: 1" = 40' 5035 Lynn Burke Rd. I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL Monrovia, MD. 21770 KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION Location Date: 1/30/2013 AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM STANDARDS OF PRACTICE. Liber. 4090 Folio. 87 Phone: (240) 415-3000 eFax: (909) 259-3332 Tax ID#: 03-321738 Name: David D. Kinman / Date: January 30,2013
Title: Professional Land Surveyor MD.Reg #: 21415 (Exspires 6/8/2014) www.eyott.com Job #: Odachowski

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Eyott, Inc. 5035 Lynn Burke Rd. Monrovia, MD. 21770



'hone: (240) 415-3000 eFax: (909) 259-3332 www.eyott.com

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM/STANDARDS OF PRACTICE.

Name: David D. Kinman A June Date: January 30,2013
Title: Professional Land Surveyor MD.Reg #: 21415 (Exspires 6/8/2014)

Drawn By: DK Scale: 1" = 40'

Location Date: 1/30/2013

Liber, 4090 Folio, 87 Tax ID#: 03-321738

Job #: Odachowski

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EXIST. 2 STORY HOUSE 23.0' PORCH 器 LOT 74 9 DRIVEWAY MAR MAINTENANCE EASEMENT OF N19°55'33"E 133.00 VELVET VALLEY DRIVE

Eyott, Inc. 5035 Lynn Burke Rd. Monrovia, MD. 21770

10' PUBLIC TREE



Phone: (240) 415-3000 eFax: (909) 259-3332 www.eyott.com

SURVEYOR'S CERTIFICATE

(50' R.O.W.)

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM TANDARDS OF PRACTICE.

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BUILDING SPECIFICATIONS

DIMENSIONS:

1. DRAWING DIMENSIONS GOVERN OVER SCALE, VERIFY ALL ROUGH OPENING DIMENSIONS FOR SELECTED DOORS, WINDOWS AND MECHANICAL REQUIREMENTS BEFORE CONSTRUCTION BEGINS.

DESIGN CRITERIA:

STRUCT. LAM. WOOD BEAM YARD LUMBER 2,000,000 PSI E = 1,500,000 PSI **DESIGN LOADS:** BALCONIES FLOORS ROOFS

CERTILE SLATE, SPACED MINIMUM SOIL BEARING PRESSURE - 1,500 PSF (2,000 PSF IF CERTIFIED BY A MISSOURI REGISTERED SOILS ENGINEER.

CONCRETE:

 MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE: 2500 PSI - BASEMENT SLABS AND FOOTINGS. 3000 PSI - BASEMENT WALLS AND FOUNDATION WALLS 3500 PSI - PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS 2. PLACE CONCRETE SLABS ON 4" OF COMPACTED GRAVEL FILL WITH 6"x6" - W 1.4 x W 1.4 WIRE MESH REINFORCEMENT. ALL SLABS UNDER INTERIOR FINISHED AND HEATED LIVING SPACES SHALL BE PLACED ON 6 MIL POLYETHYLENE VAPOR BARRIER WITH A MINIMUM OF 6" LAPPED JOINTS. 4. CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS SHALL BE AIR-ENTRAINED.

STRUCTURAL:

1. IF TRUSSES ARE SPECIFIED ON THE PLANS, THE TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND/OR STRESS AND LOAD CALCULATIONS (DIAGRAMS) FOR CONTRACTORS APPROVAL PRIOR TO CONSTRUCTION, DIAGRAMS SHALL BEAR SEAL OF REGISTERED ENGINEER IN THE STATE IN WHICH THE STRUCTURE IS BUILT.

2. INSTALL RAFTER OR TRUSS TIE-DOWNS (SIMPSON #H7Z OR EQUAL) AT EACH TRUSS OR RAFTER BEARING POINT. TRUSSES SHALL BE NAILED TO THE TOP PLATE OF THE WALL WITH 3-16d NAILS TOE-NAILED WITHOUT SPLITTING THE END OF THE TRUSS. 3. SOLID WOOD BEAMS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1,500 PSI AND A MODULUS OF ELASTICITY OF 1,760,000 PSI. COMPOSITE WOOD BEAMS (CONSTRUCTED OF 3 OR MORE MEMBERS) AND REPETITIVE MEMBERS (e.g., JOISTS & RAFTERS) SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1,500,000 PSI. CHANGES IN MEMBER SIZE OR STRUCTURAL CHARACTERISTICS WILL ALTER THE INTEGRITY OF THE FLOOR AND ROOF SYSTEM.

4. ALL STRUCTURAL PANELS (PLYWOOD, WAFER-BOARD, COMPOSITE, PARTICLE BOARD, ORIENTED STRAND BOARD) SHALL BEAR THE BASIC GRADE TRADEMARKS OF THE AMERICAN PLYWOOD ASSOCIATION. 5. ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL CONFORM WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS A36. 6. MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. TIES SHALL BE SPACED NOT MORE THAN 16" ON CENTER HORIZONTALLY AND NOT MORE THAN 16" ON 7. ALL MASONRY OVER WALL OPENINGS SHALL BE SUPPORTED WITH ONE STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY SUPPORTED AS FOLLOWS WITH LONGER LEG OF ANGLE POSITIONED VERTICALLY:

ANGLE SIZE OPENING SIZE 4" x 3" x 1/4" 4" x 3 1/2" x 1/4" 5" x 3 1/2" x 5/16" 6" x 3 1/2" x 5/16" 6" x 4" x 3/8"

FOUNDATIONS

1. CHECK THE DEPTH OF THE FROST LINE FOR FOOTING DEPTHS AND VERIFY FOOTING REQUIREMENTS WITH LOCAL CODE OFFICIALS. CONSULT AN ENGINEER WHEN ENCOUNTERING UNUSUAL, SUSPECT OR UNSTABLE SOIL CONDITIONS. 2. UNLESS OTHERWISE NOTED, CAST IN PLACE CONCRETE FOUNDATION WALLS SHALL NOT EXCEED 8'-0" IN HEIGHT AND HAVE A MINIMUM WALL THICKNESS OF 8". REINFORCE WITH TWO \$4 HORIZONTAL BARS IN THE UPPER AND LOWER 12" SECTIONS OF WALL. FOOTINGS SHALL HAVE 2"x4" KEY OR HAVE \$3 VERTICAL REBARS AT 18" ON CENTER. 3. PLACE 1/2" DIAMETER x 12" LONG ANCHOR BOLTS AT 6'-0" ON CENTER, SET A MINIMUM OF 8" INTO CONCRETE. A MINIMUM OF TWO BOLTS REQUIRED PER SECTION OF SILL PLATE. THERE SHALL BE AN ANCHOR BOLT LOCATED 4 TO 12 INCHES FROM THE END OF EACH SILL PLATE. NUTS AND 1 1/2" WASHERS ARE TO BE PROVIDED TO FASTEN THE SILL PLATE TO THE ANCHOR BOLTS. SECTION R403.1.6

4. APPLY TWO COATS (MINIMUM) OF TROWELED OR SPRAYED ON WATERPROOFING COMPOUND TO EXTERIOR WALL SURFACE OF EXCAVATED AREAS. 5. FOR FOUNDATION WALL DRAINAGE, INSTALL 4" MINIMUM DIAMETER DRAINAGE TILE OR PERFORATED PIPE AT THE PERIMETER OF EXCAVATED AREAS AND BELOW FINISHED BASEMENT FLOOR SLAB ELEVATION (WHEN APPLICABLE) COVER TOP OF PIPE WITH #15 FELT AND A MINIMUM 18" COURSE OF ROCK OR GRAVEL. SLOPE PIPE TO DRAIN OR SUMP PUMP AS REQUIRED.

6. ALL GRADES TO SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10 FEET OR TO A SWALE, USE CONCRETE SPLASH BLOCK OR DRAIN PIPE AT EACH DOWNSPOUT TO DIRECT RUN-OFF AWAY FROM FOUNDATION. 7. PROVIDE TERMITE PROTECTION AS REQUIRED AND REMOVE ALL WOOD CONSTRUCTION MATERIALS FROM THE EXCAVATION NEAR THE STRUCTURE. 8. MINIMUM OF 2-#5 REINFORCING BARS AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.

CARPENTRY:

1. UNLESS OTHERWISE NOTED ON DRAWINGS PROVIDE:

- DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS WHERE JOISTS TERMINATE

- AN EXTRA JOIST UNDER ALL PARALLEL PARTITIONS

- DOUBLE 2x10 HEADERS WITH 1/2" RATED PLYWOOD BETWEEN, AT ALL DOOR AND WINDOW OPENINGS

- MINIMUM OF ONE ROW OF JOIST BRIDGING PER JOIST SPAN

2. FLOORS TO BE CONSTRUCTED OF 3/4" TONGUE AND GROOVE PLYWOOD GLUED AND NAILED TO FLOOR JOISTS. 3. ROOF TO BE CONSTRUCTED OF 210* MINIMUM ASPHALT SHINGLES (ADHESIVE TYPE) OR EQUIVALENT ON 15* FELT ON 1/2" C-D EXTERIOR PLYWOOD SHEATHING ON ROOF FRAMING. SHEET METAL FLASHING WHERE ROOF ABUTS ANY VERTICAL SURFACE. ALL UNDERLAYMENTS TO BE A MIN OF TYPE 1 PER ASTM-D226-95 (NO. 15 ASPHALT FELT) 4. CORNER BRACING TO BE 1/2" OR 3/4" x 48" WIDE C-D EXTERIOR PLYWOOD BOTH DIRECTIONS AT ALL CORNERS OR APPROVED DIAGONAL CORNER BRACES IN BOTH DIRECTIONS AT ALL CORNERS. 5. ALL INTERIOR WALLS AND CEILINGS ARE TO BE COVERED WITH A MINIMUM 1/2" GYPSUM BOARD WITH EXTERIOR CORNERS METAL REINFORCED. SURFACES TO BE TAPED, FLOATED (3 COATS) AND SANDED. WATER RESISTANT GYPSUM BACKER BOARD REQUIRED AROUND BATHTUBS AND SHOWERS. 6. INTERIOR WALLS AND CEILING OF GARAGE TO BE COVERED WITH A MINIMUM 5/8" FIRECODE GYPSUM BOARD. DOORS LEADING FROM GARAGE TO LIVING SPACE SHALL BE 3/4 HOUR FIRE RATED. FIRESTOP ALL DUCT CHASES, BULKHEADS, LAUNDRY CHUTES, METAL FLUES AND ALL SHAFTS AT EACH FLOOR. 7. CUTTING, NOTCHING AND/OR BORING HOLES ON WOOD BEAMS, JOISTS, RAFTERS OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS R502.8 AND R602.6, R602.6.1 OF 2009 IRC. REINFORCEMENT OF STUDS SHALL BE DONE IN ACCORDANCE WITH SECTION R602.6.

8. NAILING AND FASTENING OF FLOOR, ROOF/CEILING, WALL AND ROOF SHEATHING, AND GYPSUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH TABLES R602.3(1) AND R602.3(2) OF 2009 IRC. 9. INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD RATING EXCEEDING 200. 10. TOP AND BOTTOM OF ALL CONVENTIONAL, DOUBLE STUD, AND STAGGERED STUD FRAME WALLS TO BE FIREBLOCKED. FIREBLOCKING REQUIRED AT ALL SOFFITS AND DROPPED CEILINGS. FIREBLOCKING REQUIRED BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN.

DRYER VENTING

THE TOTAL DEVELOPED LENGTH OF DRYER EXHAUST DUCTS MAY BE UP TO A MAXIMUM OF 25 FEET WHEN CLEANOUTS AND SIGNAGE ARE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: THE TOTAL DEVELOPED LENGTH OF DRYER EXHAUST DUCTS SHALL BE DETERMINED BY ADDING EQUIVALENT LENGTHS OF 2.5 FEET FOR EACH 45 DEGREE BEND AND 5 FEET FOR EACH 90 DEGREE BEND TO THE LENGTH STRAIGHT DUCT RUN(S). If THE TOTAL LENGTH OF DRYER EXHAUST DUCT EXCEEDS 25 FEET CLEANOUTS AND SIGNAGE MUST BE PROVIDED. THE MAXIMUM TOTAL DEVELOPED LENGTH DOES NOT INCLUDE THE TRANSITION DUCT USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM. THE FIRST CLEANOUT SHALL BE DOWNSTREAM AND WITHIN 12 INCHES OF THE 2ND ELBOW FROM THE DRYER. ADDITIONAL CLEANOUTS ARE REQUIRED AT A 15 FOOT MAXIMUM SPACING WHEN THE REMAINING (STRAIGHT) EXHAUST DUCT LENGTH EXCEEDS 15 FEET FROM THE FIRST CLEANOUT. CLEANOUTS THAT ARE NONMETALLIC MUST BE LISTSED/LABELED FOR USE IN A DRYER EXHAUST SYSTEM BY AN INDEPENDENT AGENCY SUCH AS UNDERWRITER'S LABORATORIES. CLEANOUTS MUST BE IDENTIFIED AS SUCH BY PERMANENT SIGNAGE/LABELS WITH THE WORDS "DRYER EXHAUST CLEANOUT". ACCESS PANELS, ALSO HAVING EQUIVALENT AFFIXED SIGNAGE/LABELS, SHALL BE PROVIDED FOR ANY CONCEALED CLEANOUTS. PERMANENT SIGNAGE SHALL BE PROVIDED IN THE LAUNDRY ROOM BEHIND THE DRYER AREA NEAR THE EXHAUST CONNECTION TO INFORM THE OWNER AT THE TIME OF DRYER INSTALLATION THAT THE DRYER EXHAUST SYSTEM HAS CLEANOUTS THAT REQUIRE PERIODIC INSPECTION AND CLEANING. SUCH SIGNAGE SHALL INCLUDE INSTRUCTIONS ON CLEANING THE SYSTEM.

ALL JOINTS OF THE EXHAUST DUCT SYSTEM ARE TO BE SECURED WITH TAPE (NO SCREWS TO CATCH LINT).

WATERPROOFING AND DAMPPROOFING

NO GROUND WATER PRESENT

PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEMS AROUND PERIMETER OF THE OUTSIDE OF THE FOUNDATION OR INSIDE THE FOUNDATION. DRAIN DISCHARGE SHALL BE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO A BASEMENT FLOOR SUMP. PROVIDE SUMP 15" IN DIAMETER X 18" DEEP WITH A FITTED COVER CONNECTED TO THE FOUNDATION DRAIN PIPE UNLESS GRAVITY DISCHARGE. A SUMP PUMP SHALL BE PROVIDED IF BASEMENT IS FINISHED OR PARTIALLY FINISHED WITH PUMP DISCHARGE BY AN APPROVED METHOD. PROVIDE DAMPPROOFING OF FLOOR SLAB OF 6 MIL POLYETHYLENE FILM BELOW SLAB, WITH JOINTS IN MEMBRANE LAPPED AND SEALED.

GROUND WATER PRESENT -

PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEM BOTH INSIDE AND OUTSIDE OF FOUNDATION. DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (15" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM. PROVIDE WATERPROOFING MEMBRANE UNDER FLOOR SLAB OF RUBBERIZED ASPHALT, BUTYLRUBBER, NEOPRENE, OR MINIMUM 6 MIL POLYVINYL CHLORIDE OR POLYETHYLENE WITH JOINTS LAPPED A MINIMUM OF 6 INCHES AND SEALED. FOUNDATION TO BE WATERPROOFED WITH TWO PLY HOT-MOPPED FELTS, 6 MIL P.V.C., 40 MIL POLYMER MODIFIED ASPHALT OR 6 MIL POLYETHYLENE. JOINTS TO BE LAPPED AND SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTION. WATERPRODFING TO BE APPLIED FROM THE BOTTOM OF THE WALL TO AT LEAST 12" ABOVE THE WATER TABLE ELEVATION THE REMAINDER OF THE WALL TO BE DAMPPROFFED.

ALL JOINTS IN WALLS AND FLOORS TO BE WATER TIGHT. DOWNSPOUT DISCHARGE SHALL BE DIRECTED AWAY FROM FOUNDATION.

SUMP PUMP DISCHARGE AND ROOF DRAINAGE SHALL BE PIPED TO A STORM DRAIN OR TO APPROVED WATER COURSE. DISCHARGING TO OR WITHIN 10 FEET OF A SIDEWALK, DRIVEWAY, STREET OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.

INSULATION:

I. UNLESS OTHERWISE NOTED ON DRAWINGS PROVIDE:

- MINIMUM R-13 BATT INSULATION IN ALL EXTERIOR WALLS

- MINIMUM R-30 INSULATION IN ALL ATTICS AND CATHEDRAL CEILINGS

- MINIMUM R-19 BATT INSULATION IN ALL FLOORS ADJACENT TO THE EXTERIOR OR UNHEATED SPACES MINIMUM R-4.2 AT UNHEATED FLOOR SLAB.

2. WHEN USING FACED INSULATION, INSTALL MINIMUM 6 MIL POLYETHYLENE VAPOR BARRIERS AGAINST WARM SIDE OF ALL INSULATION. 3. ALL EXTERIOR WINDOWS ARE TO BE INSULATING DOUBLE GLAZED. 4. CAULK AND SEAL AT ALL WINDOWS, EXTERIOR DOORS, VENTS, PIPE PENETRATIONS, BOTTOM PLATES AND AROUND ALL ELECTRICAL BOXES MOUNTED IN EXTERIOR WALLS.

5. INSTALL SILL SEALER BETWEEN FOUNDATION WALL AND WOOD SILL PLATES. 6, ALL FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY A THERMAL BARRIER OF 1/2" GYPSUM WALLBOARD.

7. IF BATT OR BLANKET INSULATION, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR OTHER VAPOR PERMEABLE MEMBRANES ARE LEFT EXPOSED (IN AREAS LIKE UNFINISHED BASEMENTS), THE MATERIAL SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS. FLAME-SPREAD AND SMOKE-DEVELOPED LIMITATIONS DO NOT APPLY TO FACINGS THAT ARE INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH

LIGHT AND VENTILATION:

I. ROOF VENTS AND/OR GABLE VENTS SHALL BE USED IN CONJUNCTION WITH SOFFIT VENTS TO PROVIDE REMOVAL OF SUMMER HEAT AS WELL AS WINTER MOISTURE. 2. ATTICS AND SPACE BETWEEN ROOF AND TOP FLOOR CEILINGS SHALL HAVE A MINIMUM OF ONE SQUARE INCH OF FREE VENT AREA FOR EACH SQUARE FOOT OF VENTILATED SPACE. THIS REQUIRED VENT AREA MAY BE REDUCED BY ONE-HILF WHEN AT LEAST 50 PERCENT OF THE REQUIRED VENT AREA IS PROVIDED BY VENTS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, WITH THE REMAINDER OF THE REQUIRED VENTILATION PROVIDED BY SAVE OR CORNICE VENTS.

3. THE SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH (EXCEPT SUCH SPACE AS IS OCCUPIED BY A BASEMENT) SHALL HAVE A MINIMUM CLEAR HEIGHT OF 18" AND A MINIMUM NET AREA OF VENTILATION OPENINGS THROUGH THE FOUNDATION OF NOT LESS THAN ONE SQUARE FOOT FOR EVERY 150 SQUARE FEET OF CRAWL SPACE AREA. IF AN APPROVED BARRIER IS INSTALLED OVER THE GROUND SURFACE, ONLY 10 PERCENT OF THE ABOVE VENT AREA IS REQUIRED. 4. ATTIC AND ENCLOSED RAFTER SPACE VENTILATION (NET FREE) AREA IS TO BE AT LEAST 1/150 OF THE AREA SERVED. TWO REMOTE VENTS REQUIRED FOR EACH (MINIMUM). WHERE RIDGE OR GABLE VENTS ARE USED, 1/2 OF THE AREA TO BE PROVIDED BY RIDGE OR GABLE VENTS AND 1/2 BY EAVE OR CORNICE VENTS. 5. A ONE INCH CLEARANCE BETWEEN THE TOP OF THE INSULATION AND THE BOTTOM OF THE ROOF SHEATHING IS REQUIRED WHEN VENTILATION IS PROVIDED BY EAVE OR CORNICE VENTS. 6. BATHS WITH NO OPERATING WINDOWS SHALL EXHAUST 50 CFM MINIMUM TO THE EXTERIOR IT IS NOT PERMISSIBLE TO DISCHARGE EXHAUST TO THE ATTIC. 7. KITCHEN RANGE HOODS: A 100 CFM FAN (INTERMITTENT USE) OR A FAN CONTINUOUSLY EXHAUSTING 25 CFM SHALL BE INSTALLED: KITCHEN RANGES WITHOUT HOODS: NATURAL VENTILATION SHALL BE SUPPLIED THROUGH OPENABLE WINDOWS WITH A MINIMUM VENT AREA OF 4 PERCENT OF THE FLOOR AREA BEING SERVED.

8. ALL BEROOMS MUST HAVE ONE WINDOW FOR EMERGENCY ESCAPE MEETING THE FOLLOWING MINIMUMS:

- MAXIMUM HEIGHT TO BOTTOM OF CLEAR OPENING - 44"

- MINIMUM CLEAR OPENING WIDTH - 20"

- MINIMUM NET CLEAR OPENING HEIGHT - 24"

- MINIMUM NET CLEAR OPENING AREA - 5.7 SQ. FT.

EXCEPTION: GRADE FLOOR WINDOWS ARE PERMITTED TO HAVE A MINIMUM
NET CLEAR OPENING OF 5.0 SQ. FT.

THE NET CLEAR OPENING DIMENSION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE WINDOW FROM THE INSIDE.

HEATING AND AIR CONDITIONING:

I, THE HEATING CONTRACTOR SHALL FURNISH AN ENGINEERED HEATING LAYOUT IN CONFORMANCE WITH LOCAL CODES, AND SHALL INSTALL A COMPLETE HEATING AND COOLING SYSTEM OF THE TYPE SELECTED BY THE OWNER. 2. THE HEATING SYSTEM AND AIR CONDITIONING SYSTEM SHALL SATISFY LOCAL WEATHER CONDITIONS IN ACCORDANCE WITH THE DESIGN PRACTICES RECOMMENDED BY "ASHRAE" AND SHALL CONFORM TO THE RULES AND REGULATIONS OF "THE BOARD OF UNDERWRITERS" AND ANY AND ALL GOVERNING LOCAL AND STATE CODES.

I. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SOIL, VENT AND WASTE PIPING, THE HOT AND COLD WATER SUPPLY SYSTEM. THE PLUMBING FIXTURES AND FITTINGS, AND THE CONNECTIONS TO THE POTABLE WATER SUPPLY AND TO THE SEWERS DIRECTED. 2. EACH GAS APPLIANCE SHALL HAVE A GAS SHUT-OFF VALVE AND GROUND JOINT UNION. A SEDIMENT TRAP IS REQUIRED AT EACH APPLIANCE OR GROUP OF APPLIANCES. 3, GAS PIPING SHALL BE IDENTIFIED AT INTERVALS OF NO MORE THAN 5 FEET. BLACK STEEL PIPE DOES NOT NEED TO BE LABELLED. 4. THE WATER SERVICE PIPE AND THE BUILDING SEWER ARE TO BE A MINIMUM OF 10'-0" APART HORIZONTALLY 5. THE MINIMUM SIZE OF THE WATER SERVICE LINE IS 1" UP TO THE FIRST BRANCH. PLASTIC WATER SERVICE PIPING SHALL TERMINATE A MINIMUM OF 10"-0" OUTSIDE THE FOUNDATION WALL AND METALLIC PIPING BROUGHT INTO THE BUILDING UP TO THE OUTLET OF THE HOUSE VALVE OR THE PRV OUTLET; WHICHEVER IS FURTHER FROM THE POINT OF ENTRAICE TO THE BUILDING. MINIMUM WATER MAIN PRESSURE MUST BE CONSIDERED WHEN SIZING THE WATER SERVICE PRINCE. 6. SHOWERS AND BATHTUB/SHOWER ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NONCORROSIVE, NONABSORBENT AND WATERPROOF MATERIALS TO A HEIGHT OF NOT LESS THAN 6'-0' ABOVE THE ROOM FLOOR LEVEL

7. SHOWER FLOOR SURFACES TO BE SMOOTH, NONCORROSIVE, NONABSORBENT AND WATERPROOF MATERIALS 8. DOWNSPOUTS ARE NOT TO BE CONNECTED TO A SANITARY SEWER 9. BASEMENT AREA WAY DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE CONNECTED TO A SANITARY SEWER 10. LEAD-REE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING

FIRE RELATED MISCELLANEOUS:

I. GARAGES LOCATED BENEATH HABITABLE ROOMS IN OCCUPANCIES OF USE GROUP R-3 SHALL BE SEPARATED FROM ADJACENT INTERIOR SPACES BY FRE PARTITIONS AND FLOOR/CEILING ASSEMBLIES WHICH ARE CONSTRUCTED WITH NOT LESS THAN A 1-HOUR FRE RESISTANCE RATING.

- FLOOR/CEILING ASSEMBLIES SHALL BE UL DESIGN #L502,0R GA FILE NO. RC 2601

- WALL ASSEMBLIES SHALL BE UL DESIGN #ULU305, OR GA FILE NO. WP 8106 AND WP 3605

- ALL STRUCTURAL MEMBERS SUPPORTING A FLOOR ABOVE THE GARAGE SHALL BE PROTECTED BY NOT LESS THAN 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION. UL DESIGN #ULU305, OR GA FILE NO. BM 1137 2. THE SPACE BETWEEN STUDS OR JOSTS UTILIZED AS A PLENUM FOR RETURN AIR SHALL NOT BE PART OF A REQUIRED FRE RESISTANCE ASSEMBLY. THE GARAGE SEPARATION WALLS ARE ONE HOUR RATED CONSTRUCTION WHEN LIVING SPACE IS ABOVE THE GARAGE. THE RETURN AIR DUCTS ARE NOT TO BE IN RATED WALLS OR SHALL BE HARD DUCTED LIKE SUPPLY DUCTS. 3. OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES, IN RATED GARAGE SEPARATION ASSEMBLIES, THAT DO NOT EXCEED 16 SQUARE INCHES IN AREA ARE PERMITTED PROVIDED THE AREA OF SUCH OPENING DOES NOT EXCEED 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF ENCLOSED WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF THE ASSEMBLY SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.

4. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING AND/OR ATTICS SHALL BE TYPE "I.C.." NON- "I.C" TYPE RECESSED FIXTURES ARE NOT ACCEPTABLE IN INSULATED CEILINGS.

I. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL CODES IN EFFECT IN THE LOCAL COMMUNITY. WHERE NO CODES EXIST, THE WORK SHALL CONFORM WITH THE REGULATIONS OF THE NATIONAL ELECTRICAL CODE AND THE ELECTRIC UTILITY COMPANY SERVICING THE AREA. 2. BATH VENT MIN. 50 CFM

3. SMOKE DETECTORS - U.L. LISTED SMOKE DETECTORS SHALL BE LOCATED ON EACH FLOOR LEVEL IN THE VICINITY OF ALL BEDROOM ENTRANCE DOORS (BEDROOM HALLWAY) AND WITHIN EACH BEDROOM. LOCATE BEDROOM HALLWAY DETECTOR UPSTREAM FROM OR NEAR RETURN AIR GRILL. FLOOR LEVELS THAT DO NOT CONTAIN BEDROOMS SHALL HAVE THE DETECTOR AT THE CEILING NEAR THE STAIRWAY. IN SPRINKLED DWELLINGS, THE DETECTORS MAY BE OMITTED IN BEDROOMS. WHEN MORE THAN ONE DETECTOR IS REQUIRED WITHIN THE DWELLING UNIT, THE DETECTORS SHALL BE INTERCONNECTED SO THAT AN ALARM WILL SOUND THROUGHT THE DWELLING UNIT. THE SMOKE DETECTOR SHALL BE AC POWERED AND HAVE A BATTERY BACKUP SHOULD THE AC POWER BE INTERRUPTED. THE INSTALLATION SHALL BE AS OMEFT NEPA 72-99

4. THE FINAL ELECTRICAL LAYOUT TO BE DETERMINED BY OWNER/CONTRACTOR. COMPLIANCE WITH ALL APPLICABLE ELECTRICAL CODES IS THE ULTIMATE RESPONSIBILITY OF THE CONTRACTOR. 5. GROUND FAULT CIRCUIT-INTERRUPTION PROTECTION SHALL BE PROVIDED FOR ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS:

— BATHROOMS

BATHROOMS
GARAGES EXCEPT CEILING MOUNTED RECEPTACLE FOR GARAGE DOOR OPENER AND GRADE LEVEL PORTIONS
OF UNFINISHED ACCESSORY BUILDINGS.
UNFINISHED BASEMENTS AND CRAWL SPACES EXCEPT FOR LAUNDRY CIRCUIT AND SINGLE RECEPTACLE
DEDICATED TO SUMP PUMPS
RECEPTACLES INTENDED TO SERVE COUNTERTOP SURFACES
RECEPTACLES INTENDED TO SERVE THE COUNTERTOP SURFACES OF A WET BAR THAT ARE LOCATED WITHIN 6'-0"
OF THE OUTSIDE EDGE OF THE WET BAR SINK

6. ILLUMINATED LIGHT SWITCH REQUIRED AT TOP & BOTTOM OF ALL STAIRS. 7. ALL BEDROOM OUTLETS SHALL BE ARC FAULT PROTECTED. 8. NON-GFCI CIRCUIT REQUIRED AT SUMP, SINGLE OUTLET 9. WEATHERPROOF COVERS TO BE ON ALL EXTERIOR GFCI

LIGHTING IN CLOTHES CLOSETS:

A. THE USE IF INCANDESCENT FIXTURES WITH OPEN OF ONLY PARTIALLY ENCLOSED LAMPS
AND THE USE OF PENDENT FIXTURES ARE PROHIBITED.

B. FIXTURES MAY BE LOCATED ONLY WHERE THERE API THE FOLLOWING MINIMUM
CLEARANCES TO THE NEAREST POINT OF STORAGE SPACE:

- SURFACE MOUNTED INCANDESCENT FIXTURES: 12" MINIMUM
- SURFACE MOUNTED FLUORESCENT FIXTURES AD RECESSED FIXTURES - 6" MINIMUM.

11. LIGHTING FIXTURES ABOVE BATHTUBS:

NO PARTS OF HANGING FIXTURES, TRACK LIGHTING AND CEILING PADDLE FANS SHALL BE
INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE
OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RIM.

12. ELECTRICAL PANELS:
A. ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR CLOTHES CLOSETS.
B. LIGHTING IS REQUIRED IN THE VICINITY OF THE ELECTRICAL PANEL.
C. ELECTRICAL PANELS IN NEW CONSTRUCTION SHALL NOT BE INSTALLED IN AREAS WITH LESS THAN 6'-6' HEADROOM.
D. A MINIMUM CLEARANCE OF 3'-0' DEEP AND 30' WIDE IS REQUIRED IN FRONT OF ELECTRICAL PANELS. COUNTERS AND CABINETS CANNOT BE INSTALLED UNDER THE ELECTRICAL PANEL.

ELECTRICAL LEGEND

RECESSED CAN DUPLEX OUTLET CEILING FAN 220 VOLT OUTLET (F) EXHAUST FAN S.D. SMOKE DETECTOR \$ LIGHT SWITCH OVER HEAD LIGHT 3\$ 3-WAY SWITCH P.C. LIGHT FIXTURE FLOOD LIGHTS UNDER CABINET LIGHT

SAFETY GLAZING

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING TYPE II PER CPSC 16 CFR PART 1201 STANDARD: I. GLAZING IN DOORS AND ANY PORTION OF A BUILDING WALL OR FENCE ENCLOSING BATHTUBS, SHOWERS, HOT TUBS WHIRLPOOLS, SAUNAS, STEAM ROOMS, SPAS, INDOOR OR OU DOOR POOLS WHICH IS LOCATED 60 INCHES OR LESS, MEASURED HORIZONTALLY, FROM THE WATERS EDGE AND LESS THAN 60" VERTICALLY ABOVE A STANDING SURFACE. 2. ANY GLAZING MATERIAL ADJACENT TO A DOOR IF THE NEAREST VERTICAL EDGE OF THE GLAZING MATERIAL IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND IF THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR.

EXCEPTIONS:

A. WHERE THERE IS AN INTERVENING WALL OR BARRIER TO PREVENT A PERSON FROM STRIKING THE GLAZING WHILE APPROACHING THE DOOR.

B. GLAZING ADJACENT TO A DOOR SERVING A CLOSET OR STORAGE AREA THREE FEET OR LESS IN DEPTH.

C. DECORATIVE GLASS

3. SAFETY GLAZING IS REQUIRED FOR FIXED OR OPERABLE PANELS THAT MEET ALL OF THE FOLLOWING:
A. INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET AND,
8. BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOR AND,
C. TOP EDGE MORE THAN 36 INCHES ABOVE THE PLORA AND,
D. WALKING SURFACE WITHIN 36 INCHES HORIZON ALLY.

EXCEPTIONS:

i DECORATIVE GLASS

II 11/2" PROTECTIVE BAR IS PLACED 34 TO 38 INCHES ABOVE THE WALKING SURFACE. THE BAR SHALL BE CAPABLE OF WILLSTANDING A 50 POUNDS PER LINEAR FOOT LOAD WITHOUT CONTACTING THE CLASS.

4. ALL DOORS - EXCEPTION: DECORATIVE GLASS

5. GLAZING IN HAND OR GUARD RAILS. 6. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF THE WALKING SURFACE AND LESS THAN 60 INCHES VERTICALLY ABOVE THE PLANE OF THE WALKING SURFACE.

AND
GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD IN ANY DIRECTION WHEN
THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE TREAD NOSING.
EXCEPTION: THE GLAZING IS PROTECTED BY A GUARDRAIL OR A HANDRAIL, INCLUDING BALUSTERS OR IN-FILL
PANELS COMPLYING WITH THE PROVISIONS OF SECTIONS 1012 AND 1607.7 OT THE 2003 INTERNATIONAL
BUILDING CODE AND THE GLAZING IS LOCATED MORE THAN 18 INCHES HORIZONTALLY FROM THIS
GUARD OR HANDRAIL.

SKYLIGHTS

I. EACH LIGHT OR LAYER SHALL CONSIST OF ANY ONE OF THE FOLLOWING MATERIALS: A. LAMINATED GLASS WITH 0.015" POLYVINYL BUTYRAL INTERLAYER FOR GLASS PLANES 16 SQUARE FEET OR LESS IN AREA AND LOCATED SUCH THAT THE HIGHEST POINT OF GLASS IS NOT MORE THAT 12 FEET ABOVE A WALKING SURFACE, OR B. LAMINATED GLASS WITH 0.030 POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANES GREATER THAN 16 SQUARE FEET IN AREA OR FOR SMALLER PANES WHEN LOCATED MORE THAT 12 FEET ABOVE THE WALKING SURFACE, OR C. WIRED GLASS, QR; D. APPROVED RIGID PLASTIC, OR; E. HEAT STRENGTHENED GLASS, OR; F. FULL-TEMPERED GLASS

2. SCREENS SHALL BE INSTALLED BELOW SLOPED GLAZING WHICH CONTAINS HEAT-STRENGTHENED GLASS, FULLY TEMPERED GLASS OR WIRED GLASS AS THE BOTTOM LAYER. SCREENS SHALL BE CAPABLE OF SUPPORTING TWICE THE WEIGHT OF THE GLAZING AND HAVE A MESH OPENING IF NO MORE THAT I'xI'.

EXCEPTION: SCREENS NOT REQUIRED IF GLAZING:
A. HAS NO WALKING SURFACE BELOW IT, OR;
B. IS FULLY TEMPERED GLASS, A MAXIMUM OF 3/16" THICK, A MAXIMUM OF 16 SQFT, AND A MAXIMUM OF 12' ABOVE THE WALKING SURFACE, OR; SOIN ACE, ON TEMPERED GLASS, A MAXIMUM OF 10' ABOVE THE WALKING SURFACE, AND IS 30 DEGREES OR LESS FORM VERTICAL.

STAIRWAYS AND EXITS

I. LOCKS WITH THUMB TURNS ON THE INSIDE ARE PERMITTED. INSIDE KEY OPERATION IS PERMITTED PROVIDED THE KEY CANNOT BE REMOVED FROM THE LOCK WHEN LOCKED FROM THE INSIDE. 2. HANDRAILS (AND OTHER PROJECTIONS BELOW THE HANDRAIL) SHALL NOT PROJECT MORE THAN 4 $1/2^{\circ}$ INTO THE REQUIRED STAIRWAY WIDTH.

3. HANDRAILS SHALL MEET EITHER:

— CIRCULAR CROSS SECTION WITH MINIMUM DIAMETER 0F 1 1/4" BUT NOT MORE THAN 2", OR,

— OTHER APPROVED SHAPES HAVING A MAXIMUM ALLOWABLE HORIZONTAL WIDTH OF 2 1/4", MAXIMUM GRASPABLE PERIMETER DIMENSION. 4. GUARDS ALONG OPEN SIDED STAIRS SHALL BE A MINIMUM OF 36" IN HEIGHT ABOVE THE LEADING EDGE OF THE TREAD AND MINIMUM OF 36" IN HEIGHT AT THE STAIR LANDINGS. MINIMUM 36" HIGH GUARDS SHALL BE PROVIDED ALONG BALCONIES, AREAWAYS, MEZZANINES AND OPEN SIDED WALKING SURFACES WHERE THE DIFFERENCE IN FLOOR LEVELS IS MORE THAN 15 1/2".

MISCELLANEOUS:

I. IT IS THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR TO VERIFY WITH LOCAL BUILDING OFFICIALS THAT DETAILS ON THESE BLUEPRINTS AND SPECIFICATIONS BY COMPLY WITH ALL APPLICABLE CODES PRIOR TO BEGINNING CONSTRUCTION.

2. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED BY STATE AND LOCAL CODES, AND ALL WORK SHALL BE IN ACCORDANCE THEREWITH. 3. VERIFY DESIGN LOADS WITH LOCAL CODES AND SITE CONDITIONS. CHECK WITH LOCAL BUILDING DEPARTMENT OFFICIALS FOR WIND, SEISMIC, SNOW OR OTHER LOADING CONDITIONS. IF UNUSUAL SITE CONDITIONS EXIST, OR LOCAL BUILDING REQUIREMENTS EXCEED THE ABOVE DESIGN CRITERIA, CONSULT WITH A LOCAL ARCHITECT OR ENGINEER TO ADJUST THE FOUNDATION DESIGN AND OTHER STRUCTURAL ELEMENTS IF NECESSARY.

4. CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES: 2009 INTERNATIONAL RESIDENTIAL CODE 2009 INTERNATIONAL ELECTRICAL CODE 2009 INTERNATIONAL MECHANICAL CODE, IM.C. 2009 UNIFORM PLUMBING CODE

K.-D. Knock Down RAD. Exhaust fan. Anchor Bolt K.D. Kiln dried. R.D. Roof drain. Air Conditioner Expansion joint. K.O. Knock out. Roof drain leader. End nailing. Rough Opening ELEV. Addition Elevation. R.O.W. Right of way. ELECT. Electric, electrical. LFT. Linear feet Refrigerator. Above Finished Floor Laminate. Reference Above Finished Grade EQUIP Equipment Lateral. REINF Reinforced Above Grade Estimate. Lavatory. Return. REV. Revision Room. ARCH. EXIST. Existing Architect, Architectural Linoleum. Remove Asphalt Exterior. Sanitary. Fire alarm. Lighting. Solid core. Book case. Floor clean out. L.V.L. Laminated Veneer Self Closing Floor drain. SCHED. Schedule. Fire extinguisher Smoke detecto Building. Field nailing. Machine bolt. Section. Fabricate. Masonry opening MAR. Marble. Sheathing. Boundary nailin MAS. Bottom of. MTL Material SPECS. Specifications. Bottom of footing. SQ.FT. Maximum. Square feet. B.O.W. FLUOR. Bottom of wall. MECH. Mechanical. SQ. IN. Square inches. BRG. FURN Bearing. MED. Medium. STD. Standard. Built up. B.U. MFG. Manufacturing. BTM. Bottom MIN. Minimum S.Y. Square yard. GALV. Galvanized. SYS. System. Garage. Metal (steel) CSMNT. General Contractor. Casement Tongue and groove. CABT. Through bolt C.B. Catch Basin. Grade mark Top of. N.T.S. Construction document Not to scale. T.O.B. Top of Beam. CEM. Cement. Glazed tile. N.C.M. Non-corrosive metal Top of curb. Cubic Feet per Minute. N.F.C. Top of footing. Center Line. NLR. Top of joist. Channel. T.O.M. Top of masonry Cast Iron. H.B. Hose bib. Nominal. T.O.W. Top of wall. Cast in Place. Hollow core. HDBD Hardboard. On center. Ceiling. HDW. O.D. Outside diameter Tube steel. Clean Out. Threshold. Cased Opening Threaded. OPNG. CONTR. HTR. Contractor. Unfinished Partition. H.V.A.C. CONC. Heating, Venting Concrete. PAV. Pavement Vapor barrie Air Conditionin Ceramic Tile Pre-Cast Concrete Verify in field. Hot water. Perforated. Vinyl composition tile. Plate. Down spou Property line. Toilet (water closet) Inclusive, including Dishwasher Invert. Plastic faminate veneer. WDW Window. INSUL Plywood Wainscot. Diameter. Porcelain. Weatherproof P.S.F. Dimension. Pounds per square foot. WT Weight J-Box Dead Load Junction box. Pounds per square inch. Junction. Polyvinyl chloride. Water Heate Wrought Iron Walk In Closet QTY.

TYPICAL ABBREVIATIONS

ABV.

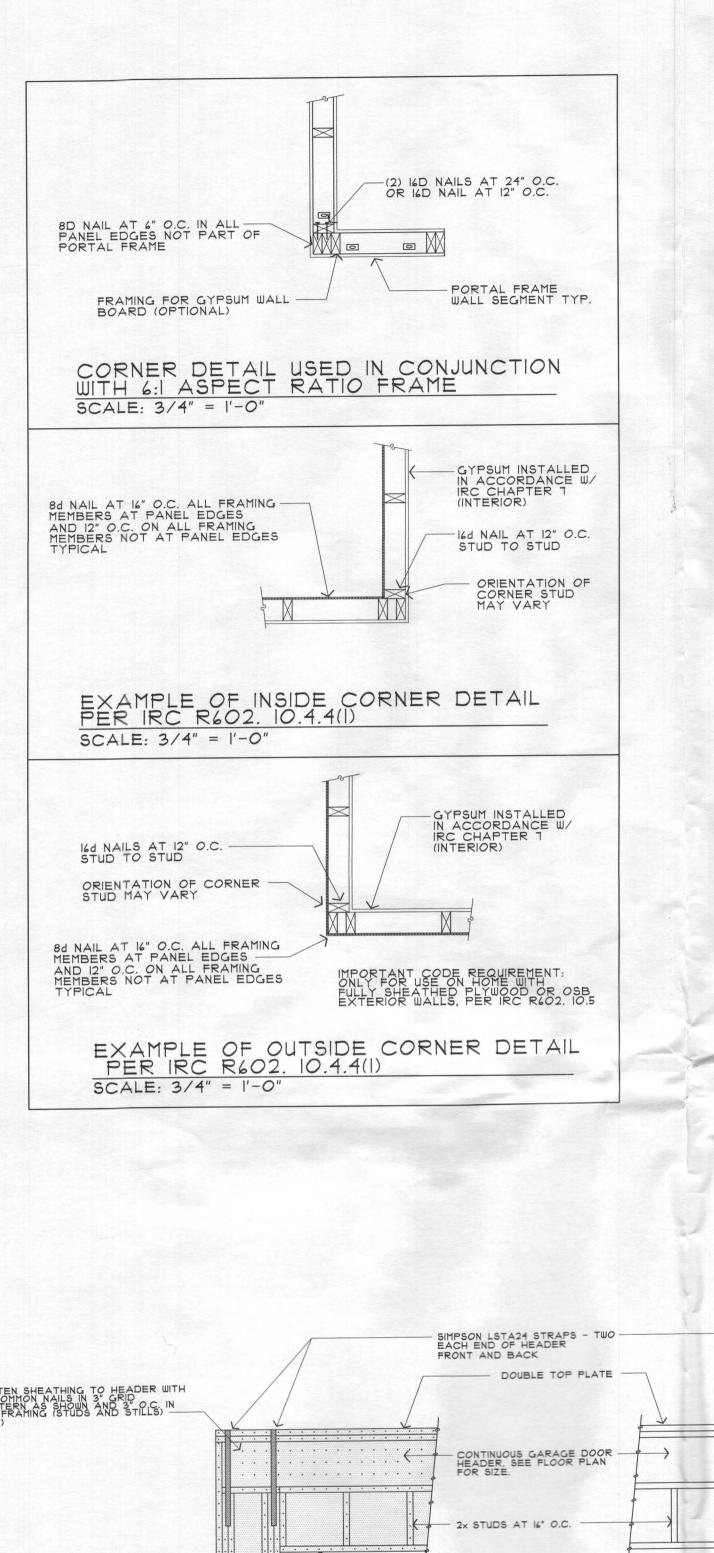
Great effort has gone into the design and engineering of these plans. However, due to the impossibility of providing any on-site supervision over the actual construction, the variance in local code requirements and other local building and weather conditions, Residential Design Services, Inc. assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in these plans.

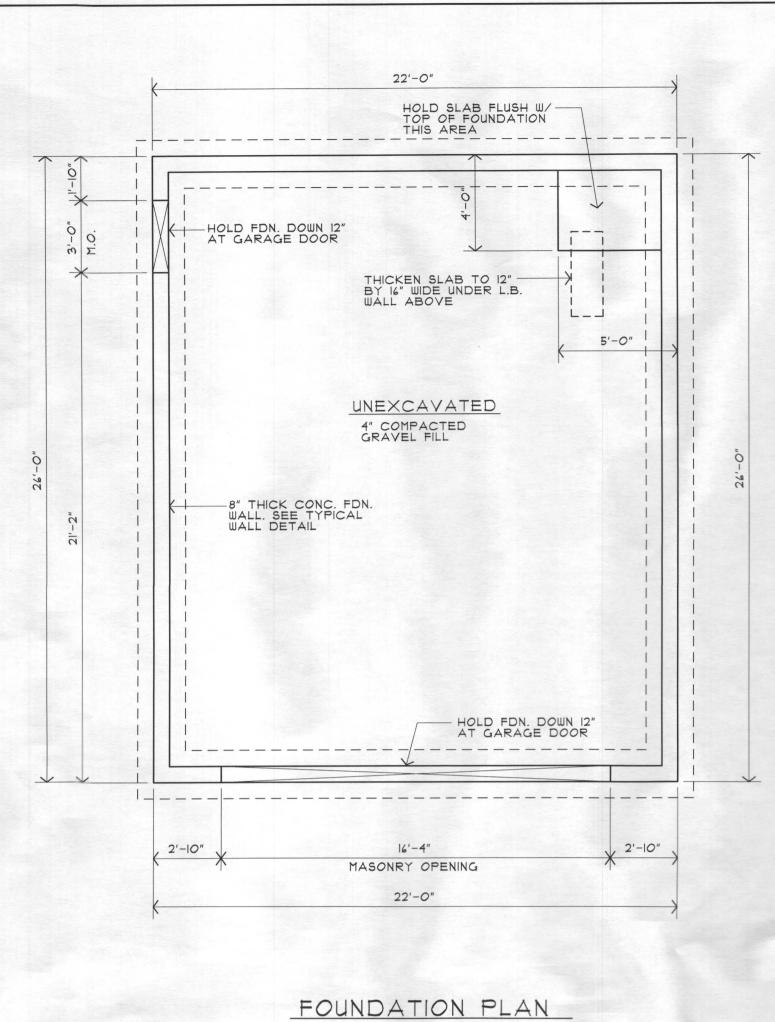
Furthermore, should soil and/or weather conditions (i.e. hurricane, earthquake, snow, etc.) cause loads other than those indicated in

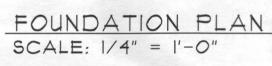
PROPOSED GARAGE FOR WAYNE ODACHOWSKI 3333 VELVET VALLEY DRIVE WEST FRIENDSHIP, MD 21794

DATE: 2/26/09 JOB # REVISED 3/27/14 SHEET: 1 of 3

earthquake, snow, etc...) cause loads other than those indicated in the Building Specifications, or for any other unusual conditions, it is recommended that you consult with local building officials and a local architect or engineer prior to beginning construction.





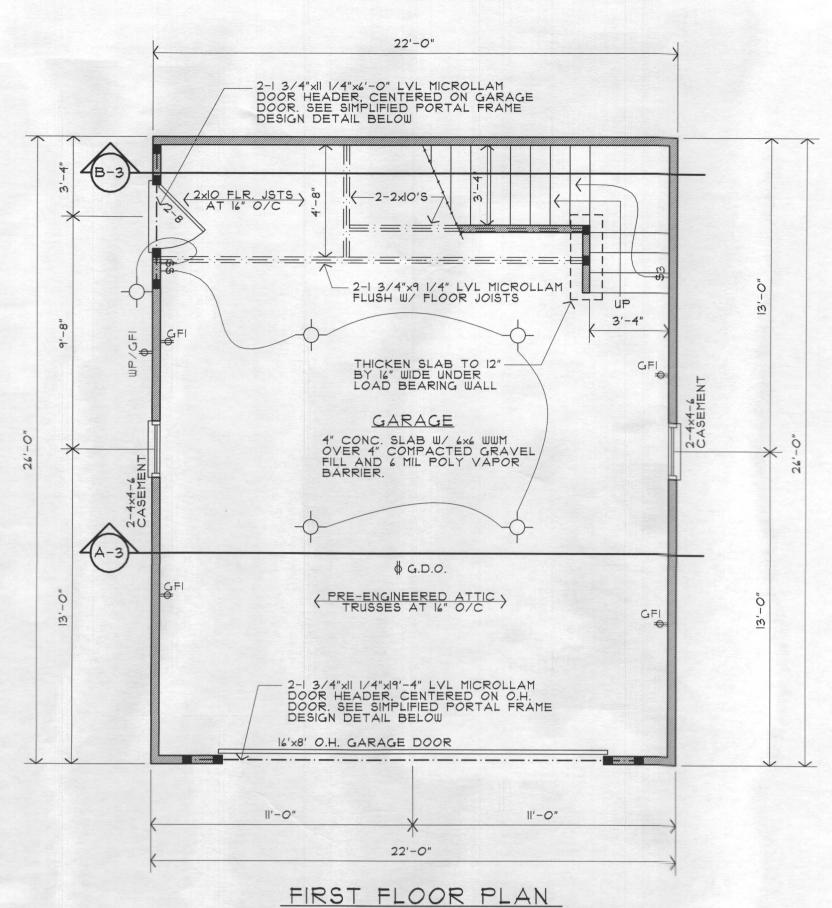


SIMPLIFIED PORTAL FRAME DESIGN DETAIL

SCALE: 1/2" = 1'-0" (2009 IRC COMPLIANT)

AT DOOR OPENING

CHESTERFIELD, MO 63017



SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES: I. ALL EXTERIOR WALLS ARE 4" THICK (INCLUDING EXT. WALL SHEATHING) AND ALL INTERIOR WALLS ARE 3 1/2" THICK UNLESS OTHERWISE NOTED ON FLOOR PLANS. 2. ALL DOOR AND WINDOW HEADERS ARE 2-2xl0'S W/ 1/2" PLYWOOD (SOLID) BETWEEN UNLESS OTHER-WISE NOTED ON FLOOR PLANS 3. FOR MULTIPLE LAMINATED WOOD BEAM MEMBERS, REFER TO MANUFACTUTER'S NAILING/BOLTING SPECIFICATIONS FOR TOP AND SIDE LOADING CONDITIONS. DRIVEWAY AND SIDEWALK DESIGN AND MATERIAL ELECTION BY OWNER/CONTRACTOR.

WISE NOTED ON FLOOR PLANS, PROVIDE SOLID BLOCKING BELOW ALL POSTS TO FOUNDATION.

6. WINDOW SIZES SHOWN ARE THOSE OF ANDERSEN WINDOWS.

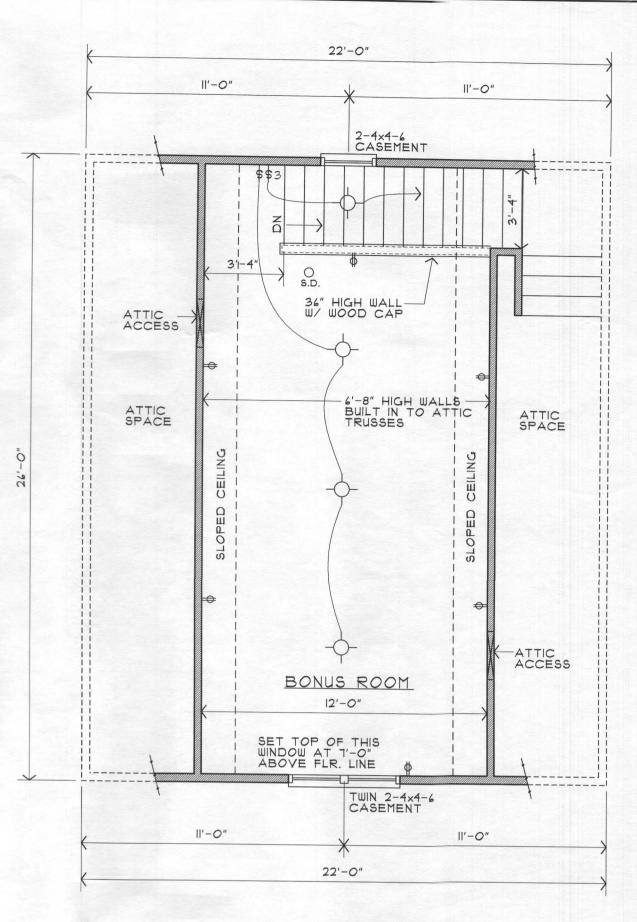
2009 IRC, R602.10.3, METHOD #3

314-434-1524

NOT A REGISTERED ARCHITECT

T. NAILING SCHEDULE FOR BUILT-UP COLUMNS THREE 2×4 LAMINATIONS WITH ONE ROW OF STAGGERED 30d COMMON WIRE NAILS (D= 0.201", L= 4 1/2") THREE 2% LAMINATIONS WITH TWO ROWS OF 30d COMMON WIRE NAILS (D= 0.207", L= 4 1/2")

ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION. BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SECTION R602.10 OF THE 2009 EDITION OF THE IRC OR SECTION 2305 OF THE 2009 EDITION OF THE THE WOOD STRUCTURAL PANELS SHALL BE APPLIED TO ALL EXTERIOR WALLS, GABLE ENDS AND BAND BOARDS. (FULLY SHEATHED)



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

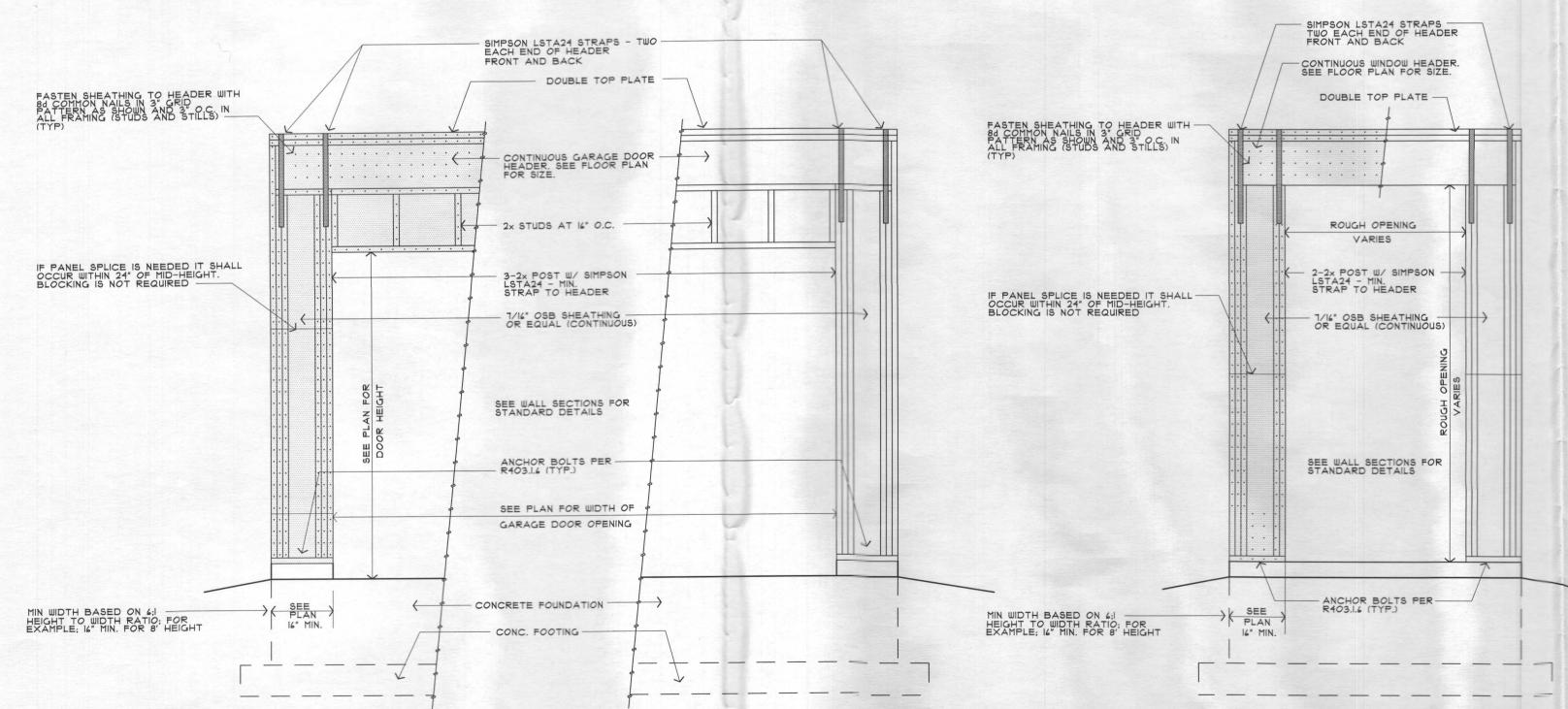
WEST FRIENDSHIP, MD 21794

JOB #

SHEET: 2 of 3

DATE: 2/26/09

REVISED 3/27/14



14602 FAIRFIELD FARM DRIVE

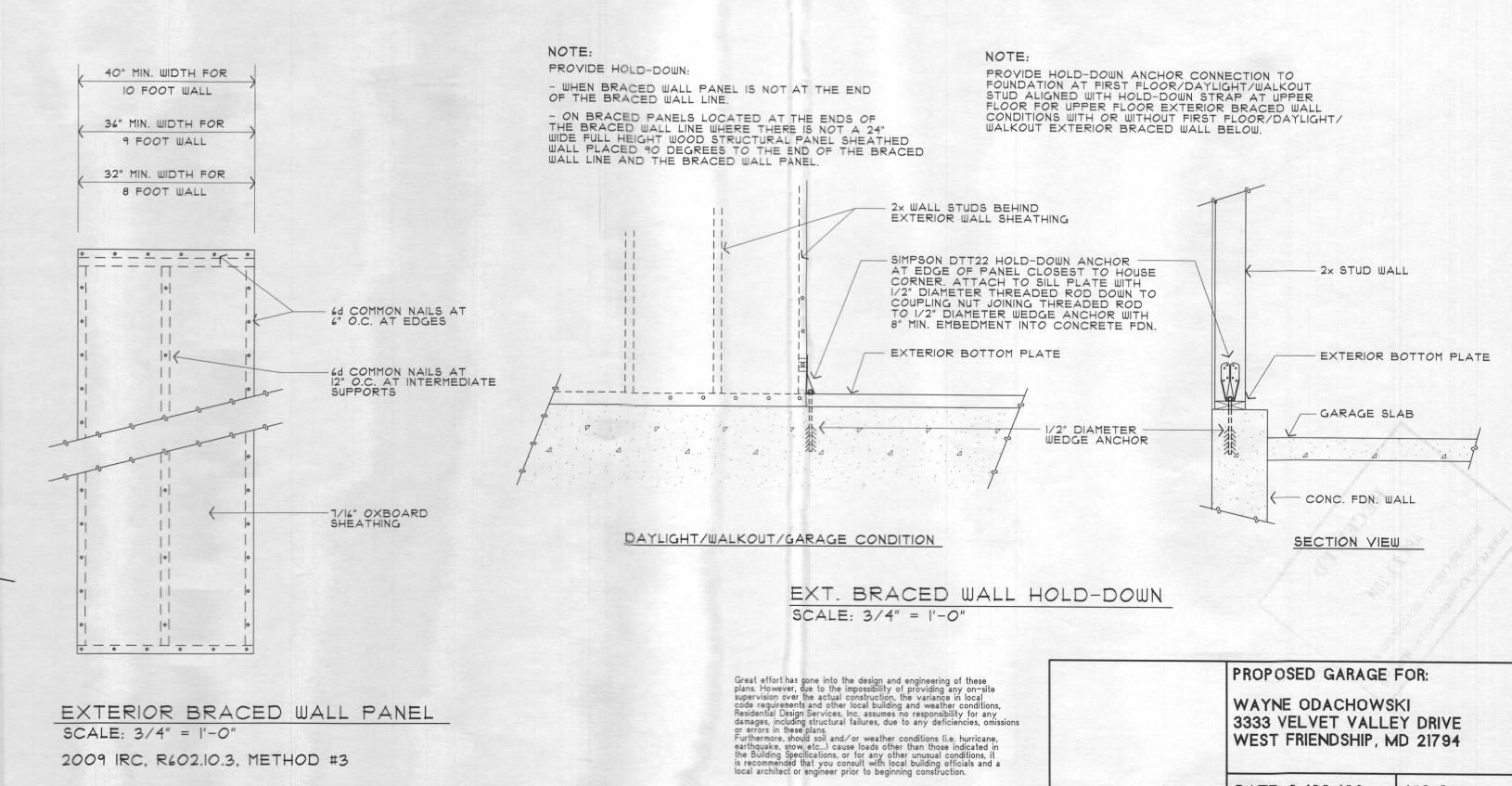
SIMPLIFIED PORTAL FRAME DESIGN DETAIL

(2009 IRC COMPLIANT)

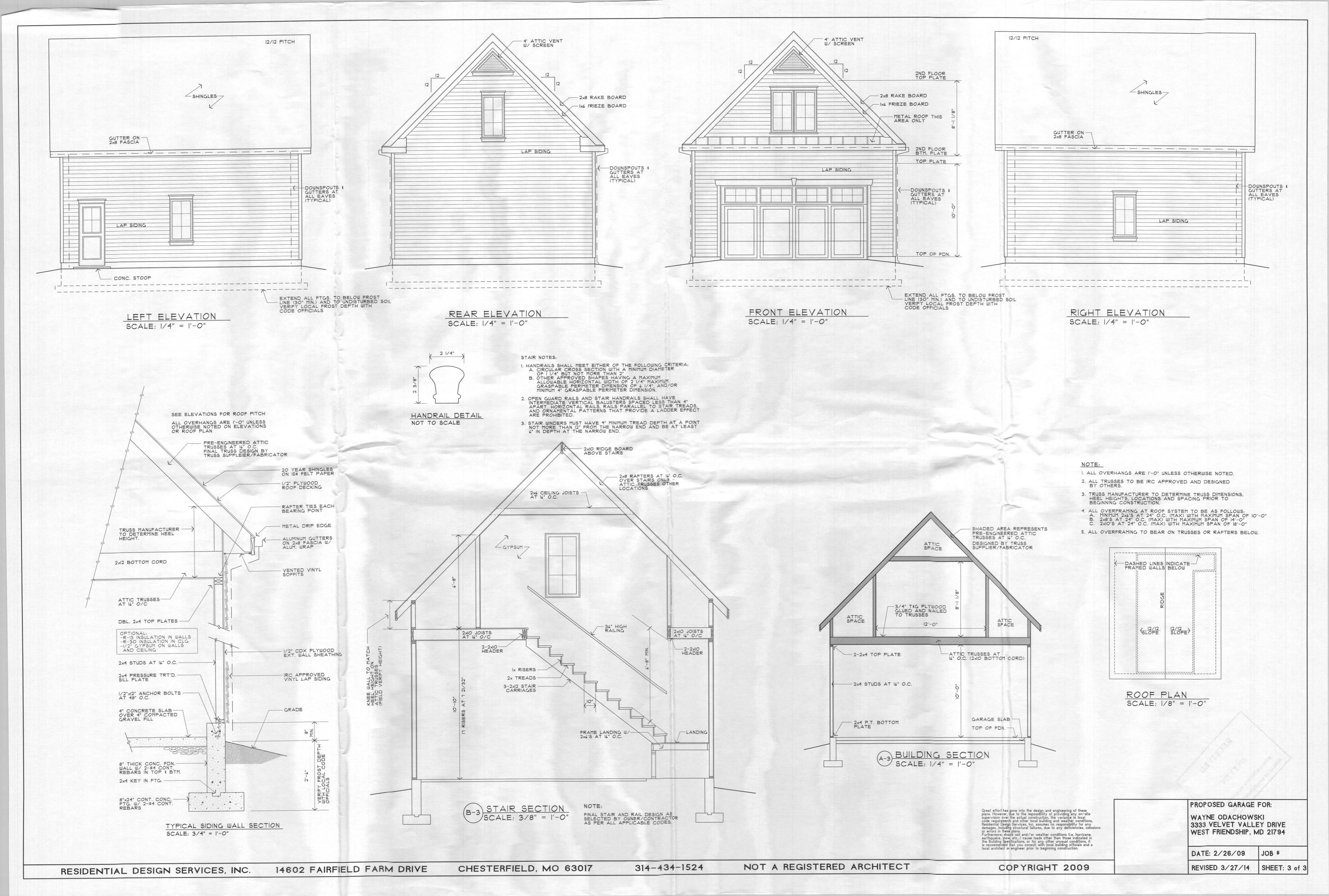
AT OVERHEAD GARAGE DOOR

SCALE: 1/2" = 1'-0"

RESIDENTIAL DESIGN SERVICES, INC



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Bernard, Dana

From:

Wayne Odachowski [wayne@odachowski.com]

Sent:

Tuesday, March 04, 2014 11:09 AM

To:

Bernard, Dana

Subject:

Re: Building Permit # B13000247

Yes. It has expired and yep, I have the engineer making sure that its 20' back. It'll never get done if I don't just keep it simple - I'll procrastinate forever. Thanks Dana.

Wayne Odachowski 3333 Velvet Valley Drive West Friendship, Maryland 21794 (410) 442-4430 - home (443) 823-1832 - mobile wayne@odachowski.com

On Mar 4, 2014, at 11:00 AM, "Bernard, Dana" < dbernard@howardcountymd.gov> wrote:

I'm Not sure but I think your permit has expired. It was submitted last year in Feb. Remember you must stay 20 feet away from the septic area.

From: Wayne Odachowski [mailto:wayne@odachowski.com]

Sent: Tuesday, March 04, 2014 10:51 AM

To: Bernard, Dana

Subject: Re: Building Permit # B13000247

Thanks Dana. I'm taking a step back and simplifying. Doing a much smaller detached garage with no potential living quarters. I think I'm just keep to make it easy and comply with the requirements. I have the civil engineer revising the plot now and will submit the application again. I guess it would be easier to start a new permit as opposed to changing the original - not even sure that's an option.

Wayne Odachowski 3333 Velvet Valley Drive West Friendship, Maryland 21794 (410) 442-4430 - home (443) 823-1832 - mobile wayne@odachowski.com

On Mar 4, 2014, at 10:45 AM, "Bernard, Dana" dbernard@howardcountymd.gov wrote:

Mr. Odachowski,

You may apply for a variance, however, the conditions listed in your application are hardly ever approved. With new construction we do not allow a <20' set back from the house. When reviewing your file again. I noticed that you did not submitted the floor plans for the basement. If you would like to apply for a variance you are more than welcome to. Your floor plans for the basement must be included.

Thanks Dana

From: Wayne Odachowski [mailto:wayne@odachowski.com]

Sent: Monday, March 03, 2014 6:57 AM

To: Bernard, Dana

Subject: RE: Building Permit # B13000247

Dana, I'm following up on the messages below. I want to figure out a way to build some sort of garage on my property this spring. So when I asked you about a exception to the 20' set back requirement you said "no chance on new construction". Is the addition of a garage considered "new construction"? I guess I look at new being from the ground up on the property. I look forward to your response. Thanks

Wayne E. Odachowski 3333 Velvet Valley Drive West Friendship, Maryland 21794 (443) 823-1832 - mobile

From: Bernard, Dana [mailto:dbernard@howardcountymd.gov]

Sent: Wednesday, May 08, 2013 1:33 PM

To: Wayne Odachowski

Subject: RE: Building Permit # B13000247

Mr. Odachowski,

There is no chance on new construction.

From: Wayne Odachowski [mailto:wayne@odachowski.com]

Sent: Tuesday, May 07, 2013 11:23 AM

To: Bernard, Dana

Subject: RE: Building Permit # B13000247

Good morning Dana. I've been back and forth with my civil engineer and my architect to try to figure this out. Is there any chance of asking for an exception to the 20' set back from the septic field? As I understand it, Maryland and most of the counties have a 10' set back. Is the reason for the setback so that there's no chance of disturbing the septic field? If there's no chance of getting an exception then I'll need to drop back to a detached garage – the second floor of the submitted design was to include an in-law suite for my mother-in-law but unfortunately she passed away so I really don't need the space to be finished. Anyway, if you can let me know about the setback I can make decisions based on that. Thanks

Wayne E. Odachowski 3333 Velvet Valley Drive West Friendship, Maryland 21794 (443) 823-1832 - mobile From: Bernard, Dana [mailto:dbernard@howardcountymd.gov]

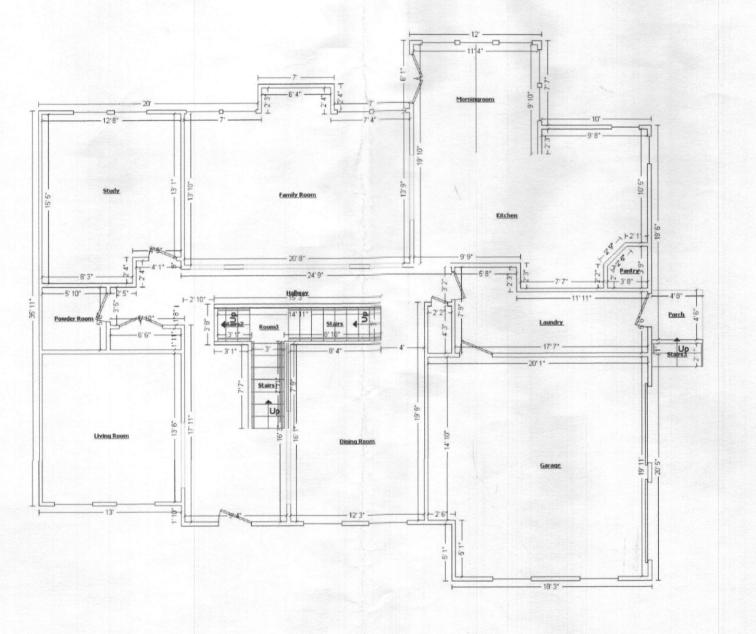
Sent: Thursday, February 28, 2013 5:17 PM

To: WAYNE@ODACHOWSKI.COM
Subject: Building Permit # B13000247

Mr. Odachowski,

I have attached a memo regarding revisions needed for BP# B13000247. If you have any questions don't hesitate to give me a call.

Dana Bernard Howard County Health Department Main Level



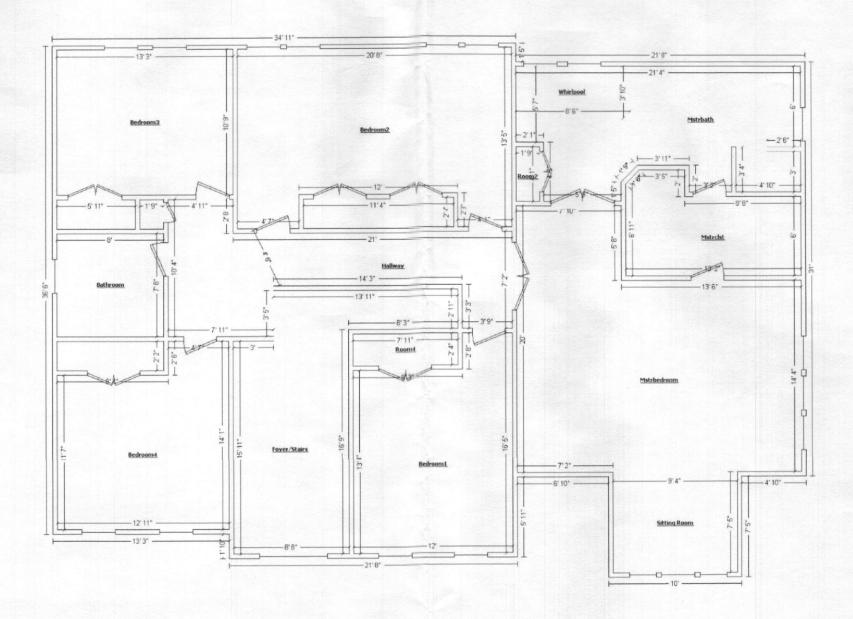
EXISTING HOUSE
FLOW PUNS
3333 VELVET VALLEY DL
WEST FRIENDSHP, MD 21794
B13000247

1

Main Level

2/6/2013

Page: 1

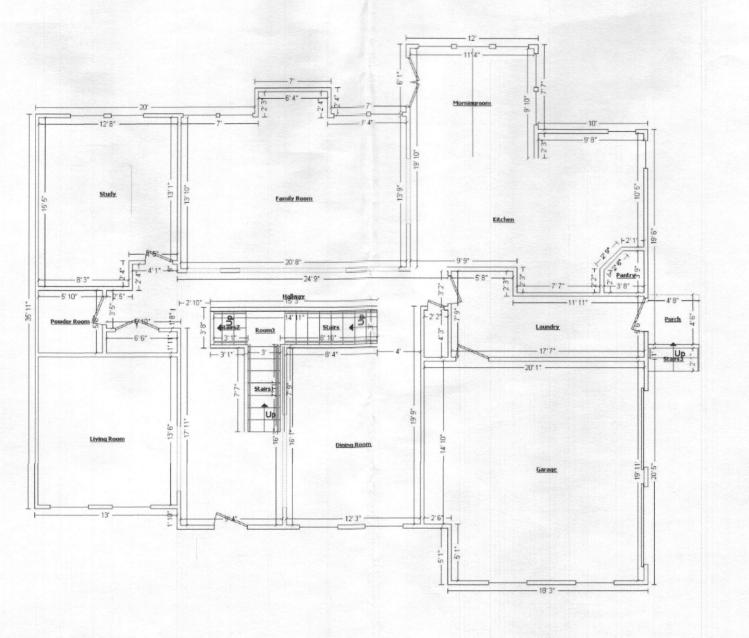


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2nd Floor

2/6/2013 Page: 2

Main Level



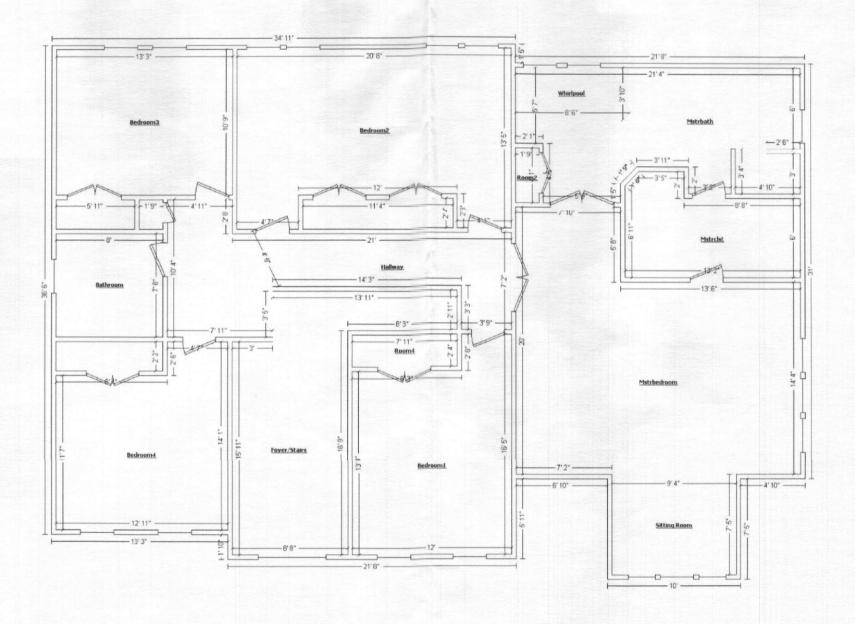
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3333 VINET Valley D,
WEST FRIENDSKIR, MD 21794

R T

Main Level

2/6/2013

Page: 1



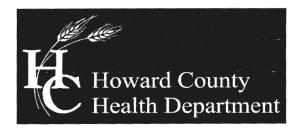
N Î

2nd Floor

ODACHOWSKI-EXIST

2/6/2013

Page: 2



Office of the Health Officer

-+--7178 Columbia Gateway Drive, Columbia, MD 21046-2147
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org

Facebook: www.facebook.com/hocohealth Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: February 5, 2013

TO: Wayne Odachowski

Via-e-mail: WAYNE@ODACHOWSKI.COM

RE: Building Permit # B13000247
3333 Velvet Valley Drive

West Friendship, Maryland 21794

Mr. Odachowski,

Further review is contingent upon submission of a revised building plan showing the following:

- Well must be shown on plan.
- Floor plans for the existing house.
- Floor plans for the proposed addition.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

	2//2//3	•
Date:	Don Suradu	RECEIVED
To:	O(100)	VECEIVED
_	(Person's Name and Division) WAYNE ODA: HWGh (443) 823-1832	FEB 1 5 2013
From:	/TT 3T 6 3T 1 1 3T 1	
Subjec	to Project name Change MDUTION	LAN REVIEW DIVISION
Sasjee	Project site address 3333 Velvet Vally by West Knewdship.	my 21794
	Permit Number B(3000247 SDP#	
	Other information pertinent to this project	-
✓ Plea	se check the attachments below that you are submitting with this transmittal:	
	Letter of response to Howard County plan review code letter	
_	Revised plans and/or revised details: When submitting for a complete re-review, duplicate s	ets shall be submitted.
	Structural steel certification	
	Energy conservation calculations	
	Certification for (be specific).	
A	Copies of (be specific).	
	Two sets of single family dwelling model plans to be placed on permanent file: Model name	
√·	Other REVISED PLOT PLAN AND EXISTING FLOOR PLANS)
-		
	Is there anyone else that should be contacted regarding this project if there are questions?	
,	Is there anyone else that should be contacted regarding this project if there are questions? If so, please list that person's name and telephone number below:	
1		

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by

Zoning Health

white: Plan Review Division yellow: Applicant pink: Permit Division

t:\Updated forms\transmit.frm - Rev. 5/08

No title report was furnished. This property is subject to all applicable easements, rights-of-way, covenants and those documents which the undersigned has not been provided. Dimensions shown within "()" are to represent the proposed addition House Location / Plot Plan DESCRIBED AS: LOT 75 BLOCK N/A AS SHOWN ON A PLAT OF SUBDIVISION ENTITLED: West Friendship Estates (Section 2) AS RECORDED IN PLAT BOOK N/A AS PLAT NO. 12453 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND SEPTIC AREA FOREST CONSERVATION EASEMENT LOT.73 40,089 SQ.FT SEPTIC AREA SEPTIC AREA 109,99 C AREA \$13°31'01"W N75°54'36"W 104.00 N73°03'40"W .39 SCONC PROPOSED 22'x26'ADDITION CHIMNEY = 12.4 AC DECK を出れ LOT 76 PROPOSED #3333 EXIST. 2 STORY HOUSE DRIVEWAY APRON **EXTENSION** CHIMNEY LOT 74 PORCH DRIVEWAY 10' PUBLIC TREE MAINTENANCE EASEMENT WELL N19°55'33"E 133.00 VELVET VALLEY DRIVE (50' R.O.W.) THIS VERSION OF THE PLOT PLAN (SHOWING PROPOSED GARAGE LOCATION WAS CREATED BY THE HOME ONWER - NOT THE ENGINER NAMED BELOW. Drawn By: DK Eyott, Inc. SURVEYOR'S CERTIFICATE Scale: 1" = 40 5035 Lynn Burke Rd. I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS Monrovia, MD. 21770 PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION Location Date: 1/30/2013 AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM, STANDARDS OF PRACTICE. Liber. 4090 Folio. 87 Tax ID#: 03-321738 Phone: (240) 415-3000 Name: David D. Kinman Wu/W Date: January 30,2013 Title: Professional Land Surveyor MD.Reg #: 21415 (Exspires 6/8/2014) eFax: (909) 259-3332 www.eyott.com Job #: Odachowski

Permits: 410-313-2455 Inspections: 410-313-1810 Automated Line: 410-313-3800 Howard County Building/Fire Permit Application Department of Inspections, Licenses & Permits 3430 Court House Drive Ellicott City, MD 21043

Permit Number:

Building Address: 333	3 VA	NET VALLEY	Dr.	Property Owner's Name: V	VAYN	& ODBACH	owget1
MEST FRIENDSHIP, MD 21794			Address: 2333 VEWET VALLEY De.				
Suite/Apt. #SDP/WP/BA #:			City: W.F State: MD Zip Code: 21794				
Census Tract: Subdivision:				Home Phone: 4104424	430	Work Phone: 443	8231832
Section: Lot: 75 Tax Map: 0022				Applicant's Name & Mailing Address, (If other than stated herein):			
T-1140 0022	Dave	1 0559 cit	pm 2		-		
Zoning: M	Pard	inates:Lot S	ize: do, 089	Phone:		:	
Existing Use: 5 F				Email: WOUND @ Od	ache.	19.KI.COM	1
Proposed Use: 9		11 000000		Contractor Company: 52			
				Contractor Company:	CAP	1	
Estimated Construction Co	ist: \$			Address:		V.	
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2-Story	gar	age bldg		License to.: 81630		A	
,				Phone:	Fa	*	
Occupant or Tenant:				Email:			
Was tenant space previous		ed? □Yes	□No	ngil eer/Architect Compa	JEFE	FLOVE OF AL	50C
Contact Name:				espo sible lesi n Prof.:			
				Adrest: 762 1 Th	JOST I	UTUT CIT	
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Building Character	ristics	Utilitie		Building Characteristi	ics	Utilitie	
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PSZA (Engineering) Health Fire Protection Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

 \square ONE STOP SHOP

DPZ SETBACK INFORMATION		
Front:		
Rear:		
Side:		
Side St.:		
All minimum setbacks met?	☐ Yes	□No
Is Entrance Permit Required?	☐ Yes	□No
Historic District?	☐ Yes	□No
Lot Coverage for New Town Z	one:	
SDP/Red-line approval date:		

Filing Fee	\$ 25
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$

Cash

R.R.L. SEPTIC FIELD Dick PROPOSED EXISTING HUUSE 30'x30-ATMEHED CARAGE lor (B.R.L.) 79. VELVET VALLEY DRIVE 1"= 50 feet LOT 75 FOX VALLEY

PLOT PLAN - 3333 VEVET VALLEY DRIVE WEST FRIENDSHIP, 21794 OBACHOWSKI PESIDENCE

Permits: 410-313-2455 Inspections: 410-313-1810 Automated Line: 410-313-3800

Howard County Building/Fire Permit Application Department of Inspections, Licenses & Permits 3430 Court House Drive Ellicott City, MD 21043

Permit Number:

B13000247

Building Address: 3333 VVC	DET VALLEY DI.	Property Owne	r's Name: WILL	UE ODMACH OWGUI
MEST FRIDNOSHIP	Address: 33	Address: 3333 VELVET VALLEY De.		
	City: W.F	City: W.f State: MD Zip Code: 2179+		
Suite/Apt. #SD	Home Phone:	Home Phone: 410442430 Work Phone: 443823183		
Census Tract:	- 11	Applicant's Name & Mailing Address, (If other than stated herein):		
Section: Ar Tax Map: 0022 Parcel:	ea: Lot: 75	_]] Applicant's real	tic of mailtil whites	s, (ii other than stated herear).
		-		
Zoning: Map Coordina	rtes:Lot Size: 40, 08	Phone:	1	Fax:
Existing Use: SPD		Email: WOW	ve e odach	oughl.com
Proposed Use: 40 W	agrage	Contractor Cor	npany: STUF	
Estimated Construction Cost: \$		Contact Persor		
Description of Work: 30'		Address:		
		City: License No. :	State:	Zip Code:
2-story gara	ye blag			Farm
				rax:
Occupant or Tenant:		Email:		
Was tenant space previously occupied	? □Yes □No	Engineer/Archi	tect Company: JET	FLOVE & AGSOC
Contact Name:		11	sign Prof.: JEt	
				MENT CIT.
Address:				
City:				10 Zip Code: 20736
Phone:	_Fax:	_ Phone: 443	1-550-3131	Pax:
Email:		Email:	a Tla-Al	chitects, com
	TION - COMMERCIAL			TION - RESIDENTIAL
Building Characteristics	Utilities		Characteristics ☐ SF Townhouse	Utilities Water Supply
			I SE LOWNDOUSE	Water Supply
Height:	Water Supply			
No. of stories:	☐ Public	Depti		☐ Public ☐ Private
	☐ Public☐ Private	Dept		☐ Public ☐/Private Sewage Disposal
No. of stories: Gross area, sq. ft./floor:	☐ Public☐ Private☐ Sewage Disposal	1st floor: 2nd floor: Basement:	1 Width	☐ Public ☐ Private Sewone Disposal ☐ pdblic
No. of stories:	☐ Private Sewase Disposal ☐ Public	1 st floor: 2 nd floor: Basement:) Width	☐ Public ☐ Private Sewage Disposal ☐ pablic ☐ Private
No. of stories: Gross area, sq. ft./floor: Area of construction (sq. ft.):	☐ Public ☐ Private Sewase Disposal ☐ Public ☐ Private	1st floor: 2nd floor: Basement:	Width sement Basement	☐ Public ☐ Private Sewone Disposal ☐ pdblic
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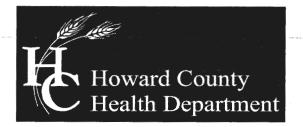
DPZ SETBACK INFORMATION

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	ral require

☐ CONTINGENCY CONSTRUCTION START
☐ ONE STOP SHOP

Side:		
Side St.:		
All minimum sethacks met?	☐ Yes	□No
is Entrance Permit Required?	☐ Yes	□No
Historic District?	☐ Yes	□No
Lot Coverage for New Town 2	one:	
SDP/Red-line approval date:		

Filing Fee	\$ 25
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'I per Fee	\$
Total Fees	\$
Sub-Tetal Paid	\$
Balance Due	\$



Office of the Health Officer

7178 Columbia Gateway Drive, Columbia, MD 21046-2147 Main: 410-313-6300 | Fax: 410-313-6303 TDD 410-313-2323 | Toll Free 1-866-313-6300 www.hchealth.org

Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: February 28, 2013

TO: Wayne Odachowski

Via-e-mail: WAYNE@ODACHOWSKI.COM

RE: Building Permit # B13000247 3333 Velvet Valley Drive West Friendship, Maryland 21794

Mr. Odachowski,

Further review is contingent upon submission of a revised building plan showing the following:

- Garage must be 20 feet away from septic easement.
- Floor plans for the proposed addition.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully, Dana Bernard

Dana Bernard, REHS/RS Environmental Specialist II Bureau of Environmental Health

Well and Septic Program Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file