



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B14008922

Building Address: 3333 VILLET VALLEY DR.
City: W. FRIENDSHIP State: MD Zip Code: 21744
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 75
Tax Map: 0022 Parcel: 0559 Grid: 0002
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: RESIDENTIAL
Proposed Use: SAME
Estimated Construction Cost: \$ 400
Description of Work: BE SELF-SUPPORTED PERGOLA 12x4 OVER EXISTING PATIO ATTACHED TO HOUSE 12x14
Occupant or Tenant: OWN UNIT
Was tenant space previously occupied? ☐ Yes ☒ No
Contact Name: WAYNE ODACHOWSKI
Address: 3333 VILLET VALLEY DR.
City: W. FRIENDSHIP State: MD Zip Code: 21744
Phone: 443-823-1832 Fax: _____
Email: Wayne.Odachowski.com

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: WAYNE ODACHOWSKI
Address: 3333 VILLET VALLEY DR.
City: W. FRIENDSHIP State: MD Zip Code: 21744
Phone: 443-823-1832 Fax: _____
Email: Wayne.Odachowski.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: HOMES AVAILABLE
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature
Wayne.Odachowski.com
Email Address

Title/Company

Print Name
WAYNE ODACHOWSKI
Date
3/31/14

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/10/14</u>	<u>Howard</u>

Is Sediment Control approval required for issuance? ☐ Yes ☒ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$	<u>55.00</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check		<u>2984</u>

Distribution of Copies: White: Building Officials

Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

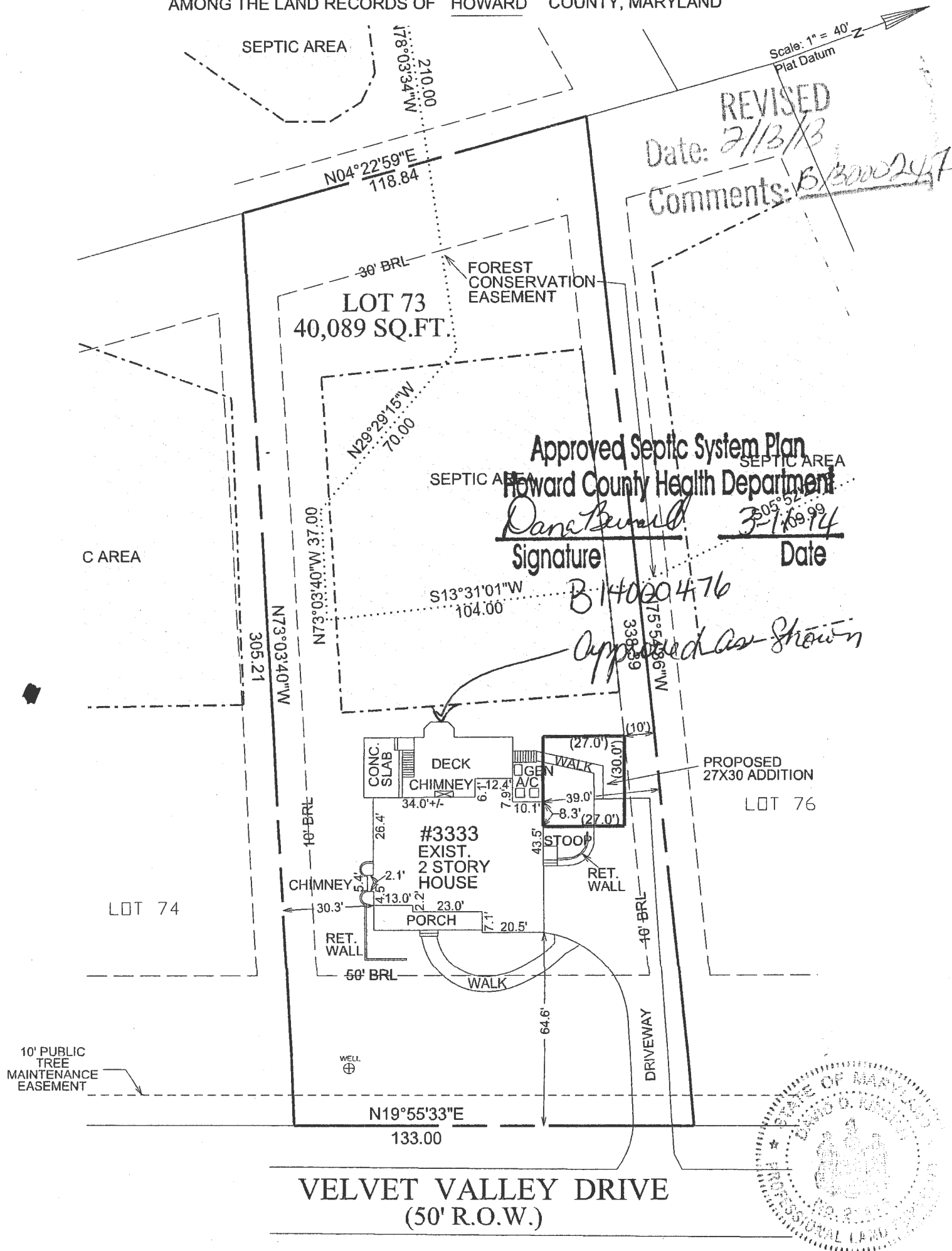
Gold: SHA

T:\Operations\Updated Forms\Building apprm 8.2012.docx

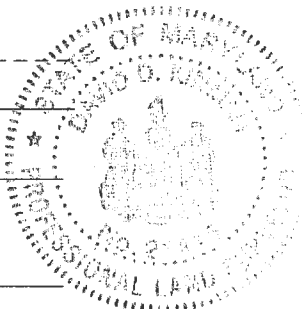
No title report was furnished.
This property is subject to all applicable easements, rights-of-way, covenants and those documents which the undersigned has not been provided. Dimensions shown within "()" are to represent the proposed addition

House Location / Plot Plan

DESCRIBED AS: LOT 75 BLOCK N/A AS SHOWN ON A PLAT OF SUBDIVISION
ENTITLED: West Friendship Estates (Section 2) AS RECORDED IN PLAT BOOK N/A AS PLAT NO. 12453
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND



VELVET VALLEY DRIVE
(50' R.O.W.)



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM STANDARDS OF PRACTICE.

Name: David D. Kinman Date: January 30, 2013
Title: Professional Land Surveyor MD.Reg #: 21415 (Expires 6/8/2014)

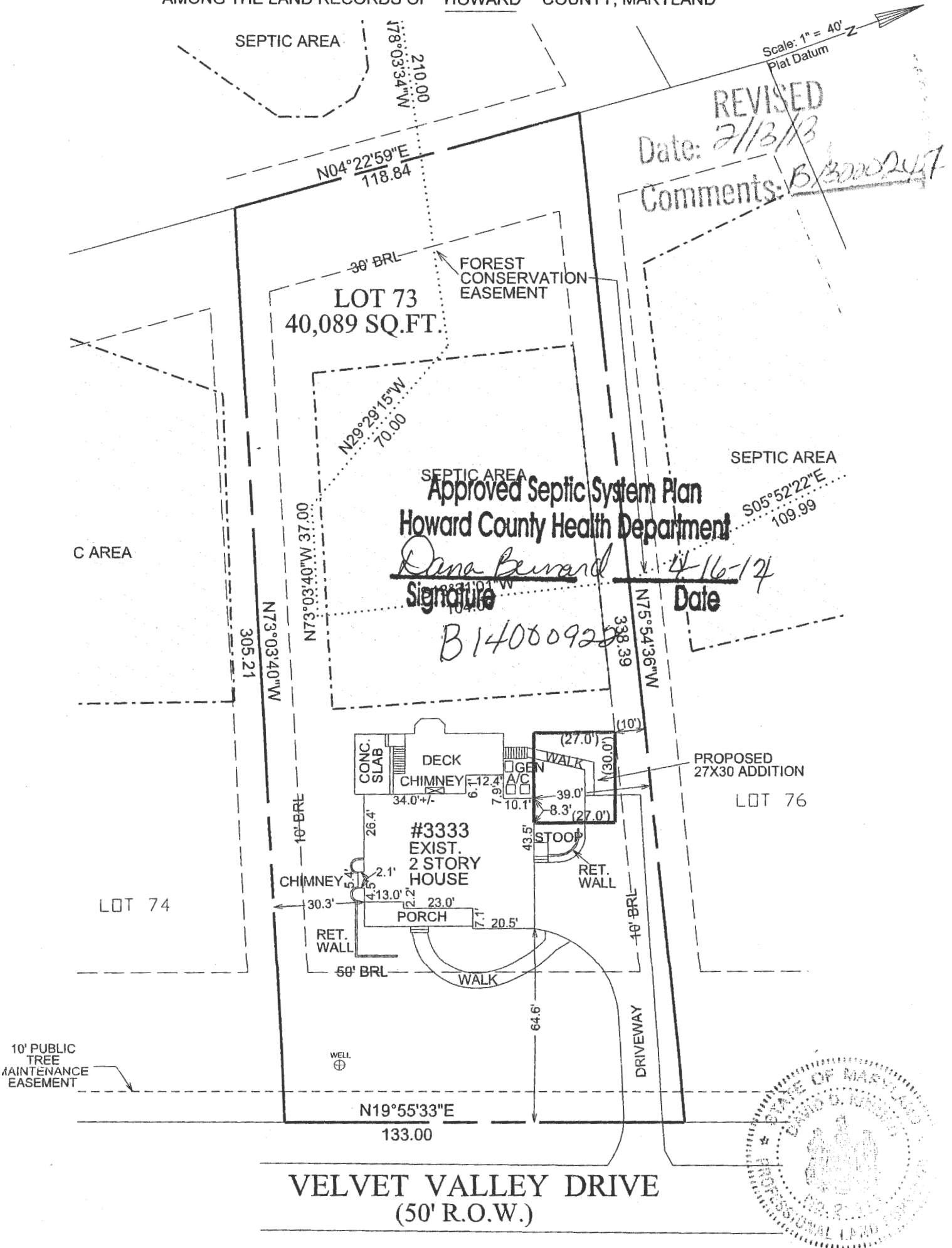
Drawn By: DK
Scale: 1" = 40'
Location Date: 1/30/2013
Liber. 4090 Folio. 87
Tax ID#: 03-321738
Job #: Odachowski

Eyott, Inc.
5035 Lynn Burke Rd.
Monrovia, MD. 21770
Phone: (240) 415-3000
eFax: (909) 259-3332
www.eyott.com

No title report was furnished.
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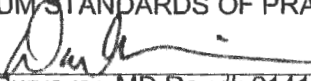
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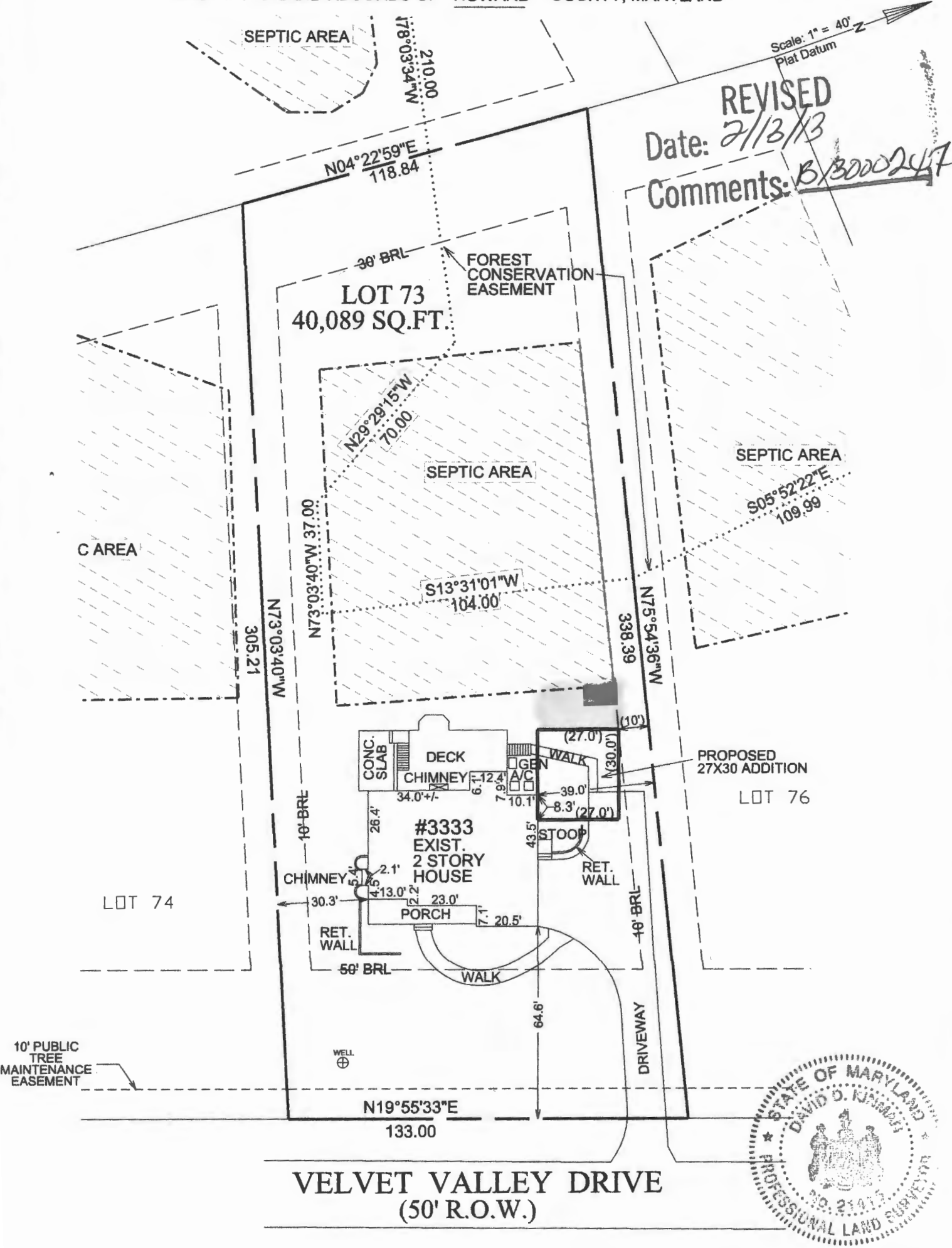
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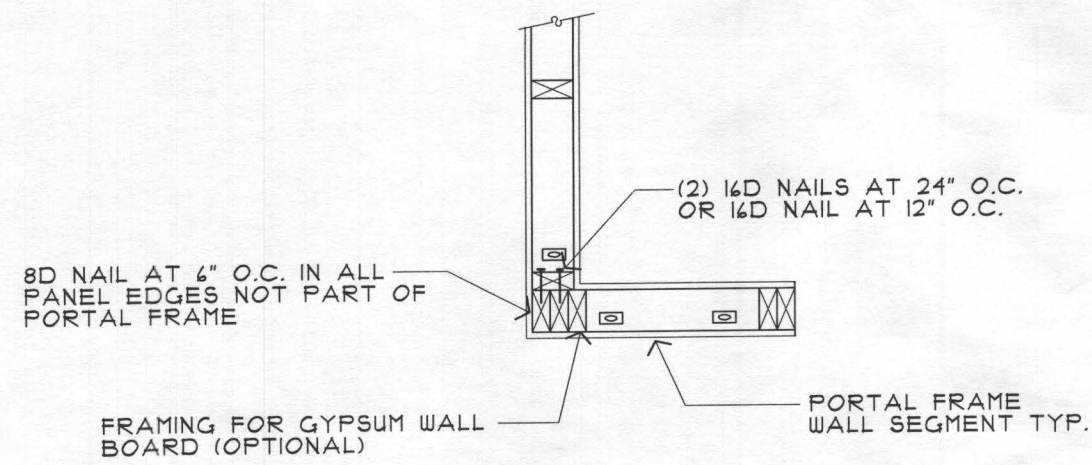


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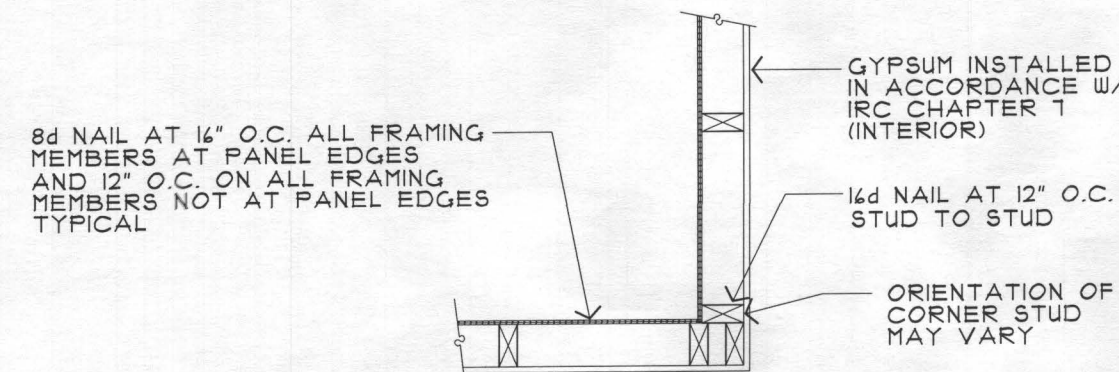
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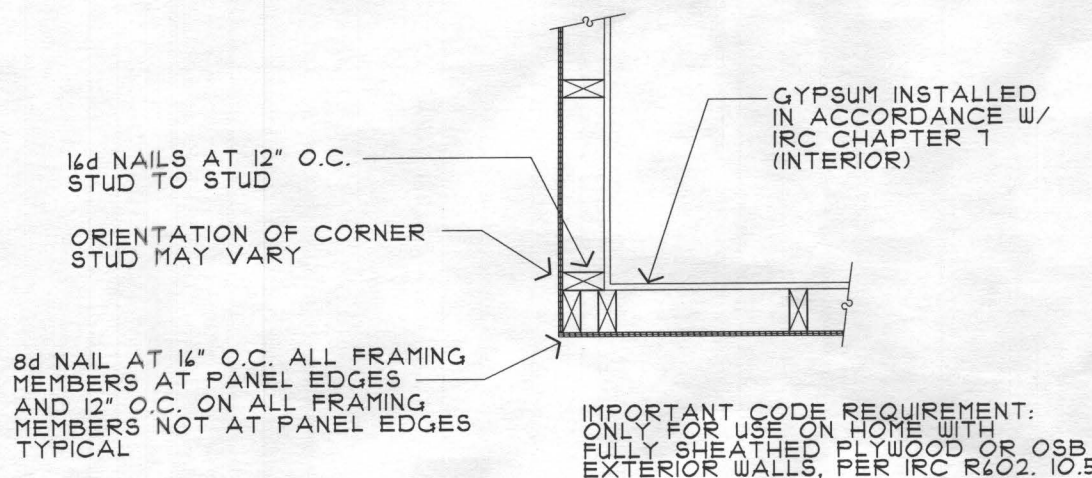
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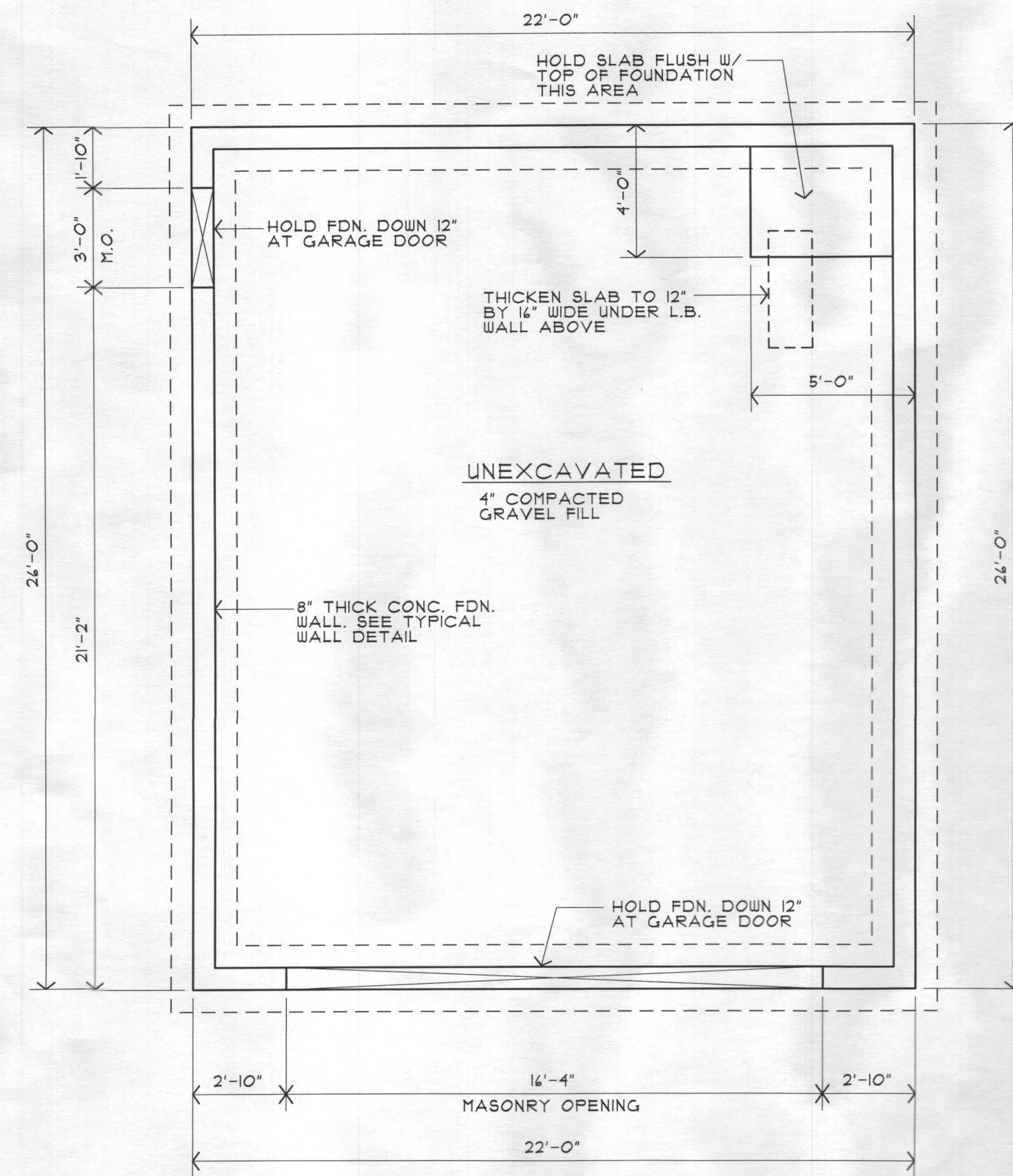
CORNER DETAIL USED IN CONJUNCTION WITH 6:1 ASPECT RATIO FRAME
SCALE: 3/4" = 1'-0"



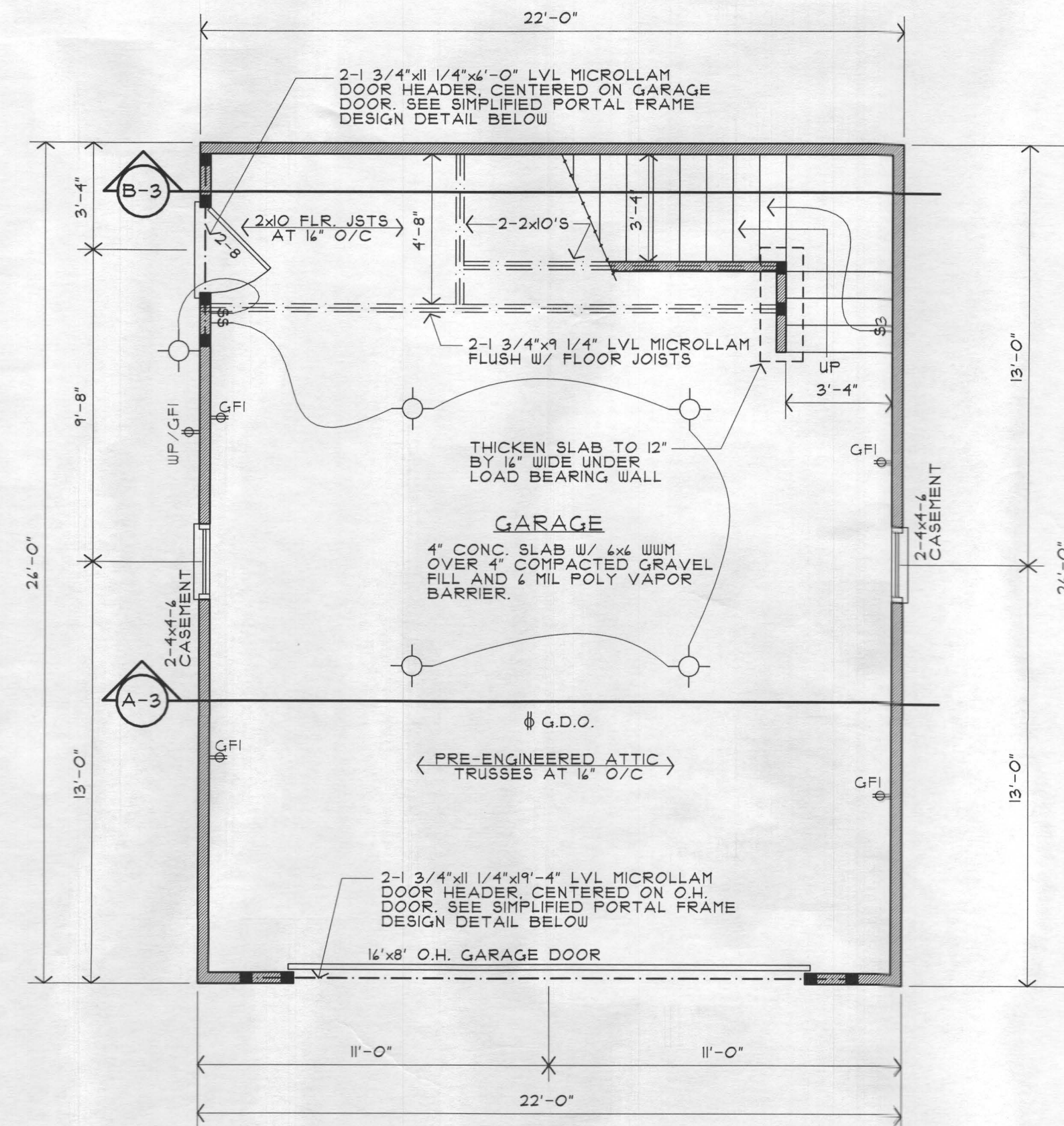
EXAMPLE OF INSIDE CORNER DETAIL PER IRC R602.10.4.4(1)
SCALE: 3/4" = 1'-0"



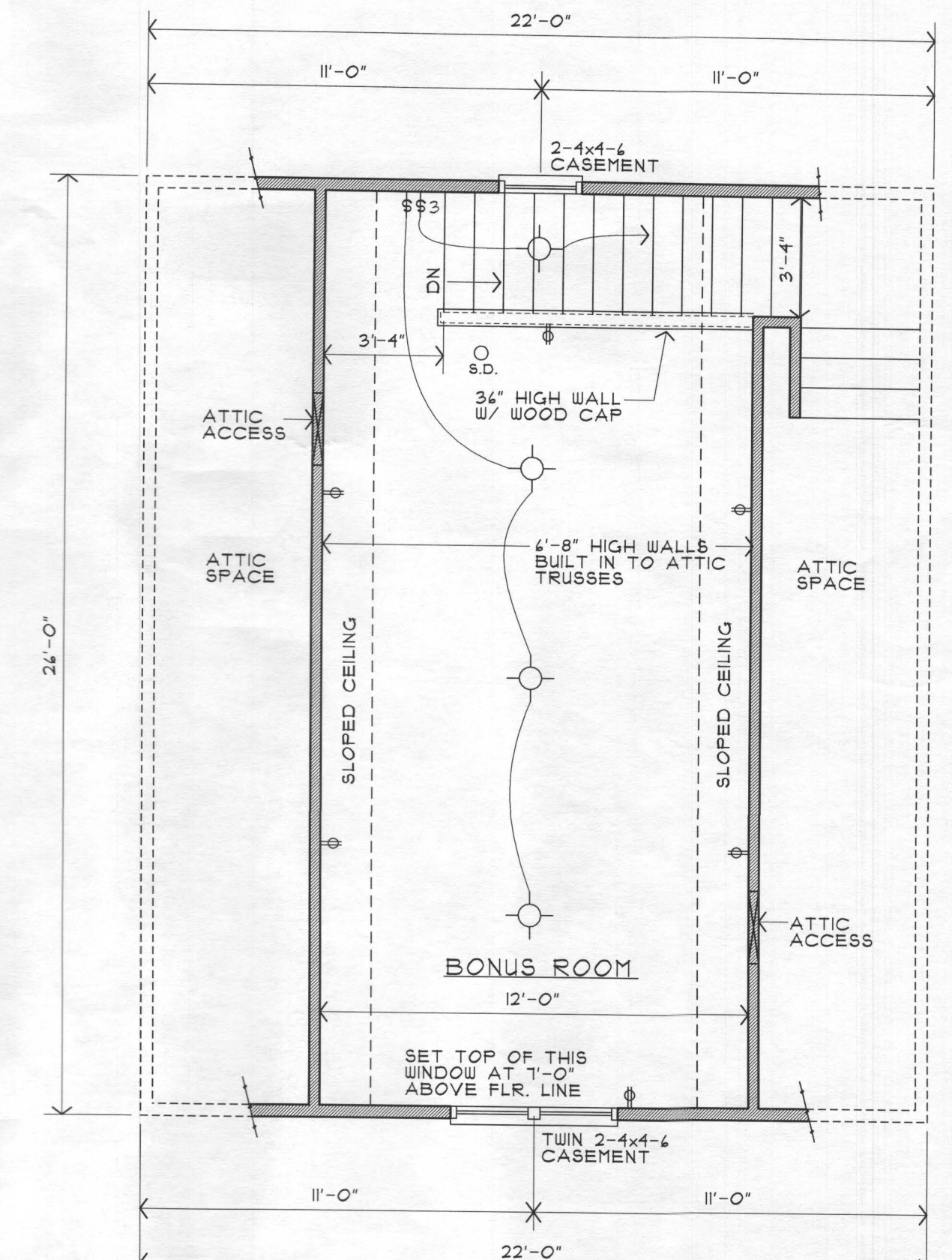
EXAMPLE OF OUTSIDE CORNER DETAIL PER IRC R602.10.4.4(1)
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



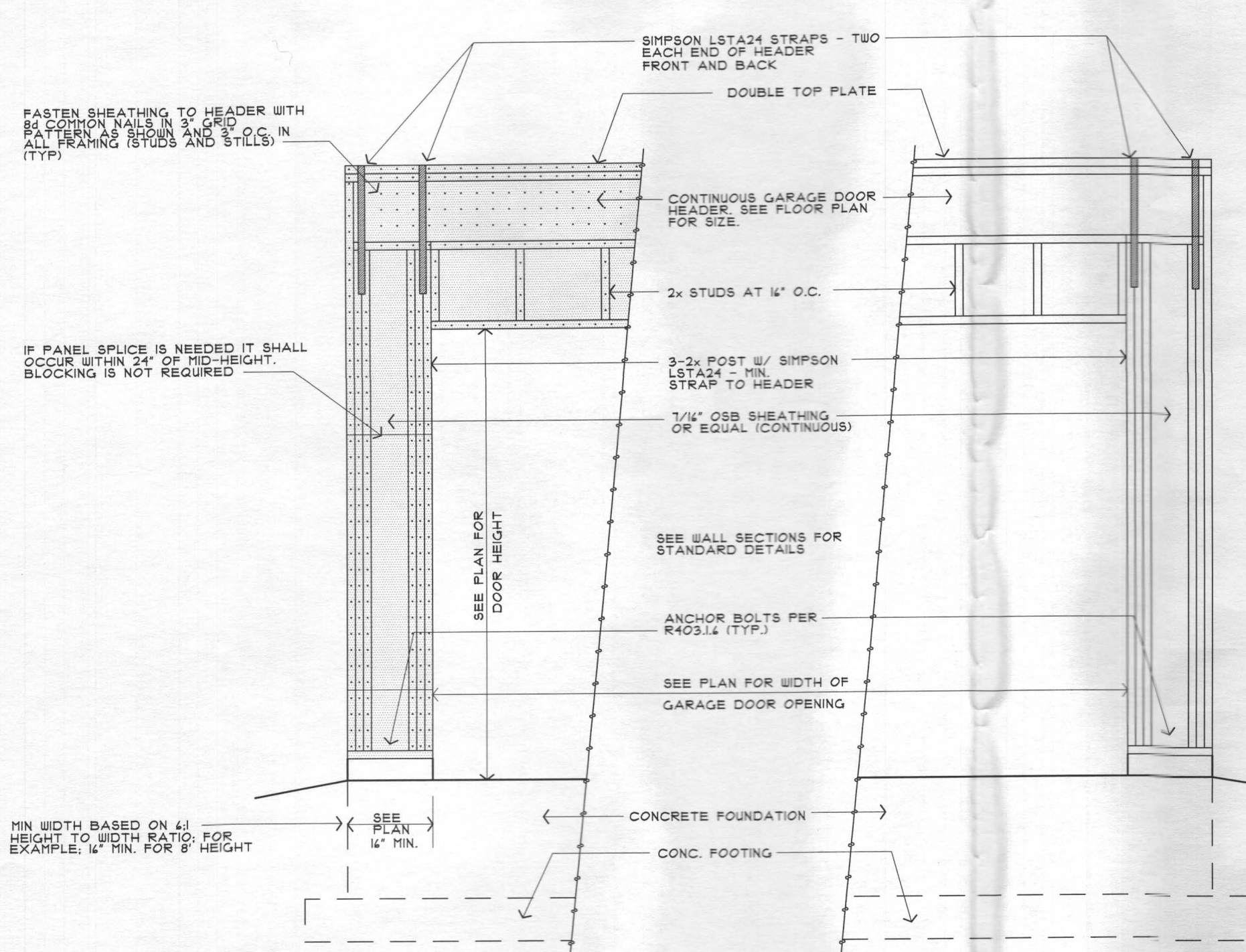
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



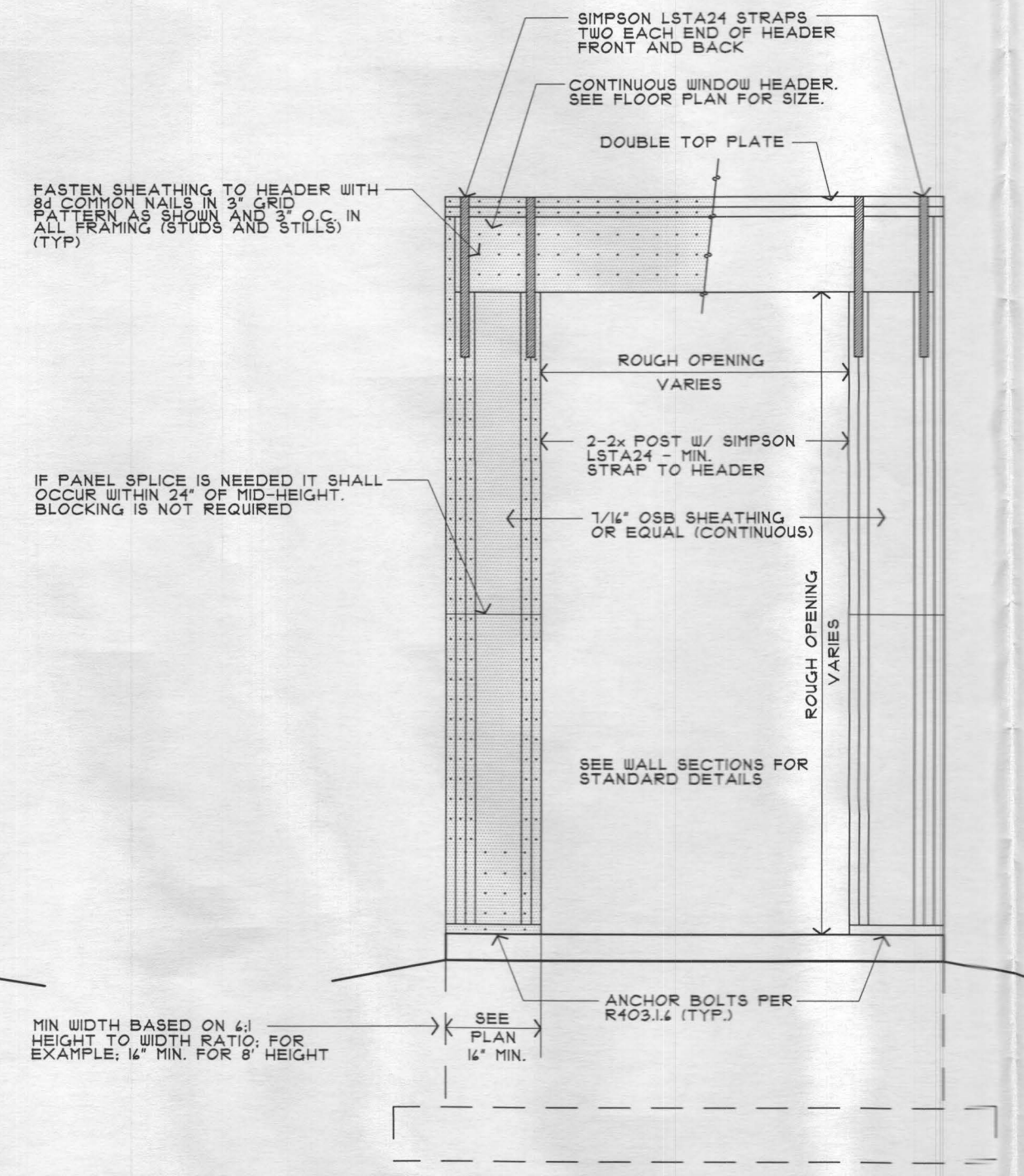
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

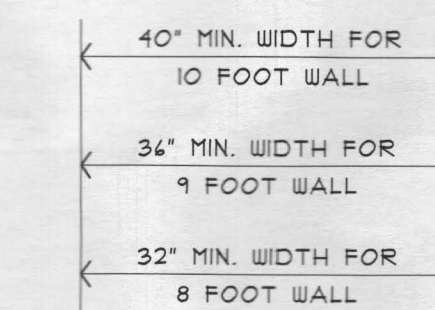
- ALL EXTERIOR WALLS ARE 4" THICK (INCLUDING EXT. WALL SHEATHING) AND ALL INTERIOR WALLS ARE 3 1/2" THICK UNLESS OTHERWISE NOTED ON FLOOR PLANS.
- ALL DOOR AND WINDOW HEADERS ARE 2-2x10'S W/ 1/2" PLYWOOD (SOLID) BETWEEN UNLESS OTHERWISE NOTED ON FLOOR PLANS.
- FOR MULTIPLE LAMINATED WOOD BEAM MEMBERS, REFER TO MANUFACTURER'S NAILING/BOLTING SPECIFICATIONS FOR TOP AND SIDE LOADING CONDITIONS.
- DRIVEWAY AND SIDEWALK DESIGN AND MATERIAL SELECTION BY OWNER/CONTRACTOR.
- DO NOTES 3-2x4 POST UNLESS OTHERWISE NOTED IN FLOOR PLAN. PROVIDE SOLID BLOCKING BELOW ALL POSTS TO FOUNDATION.
- WINDOW SIZES SHOWN ARE THOSE OF ANDERSEN WINDOWS.
- NAILING SCHEDULE FOR BUILT-UP COLUMNS: THREE 2x4 LAMINATIONS WITH ONE ROW OF STAGGERED 30d COMMON WIRE NAILS (D= 0.201", L= 4 1/2").
- THREE 2x4 LAMINATIONS WITH TWO ROWS OF 30d COMMON WIRE NAILS (D= 0.201", L= 4 1/2").
- ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION.
- SIMPLIFIED BRACING METHOD TO BE USED: THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SECTION R602.10 OF THE 2009 EDITION OF THE IRC OR SECTION 2305 OF THE 2009 EDITION OF THE IBC.
- THE WOOD STRUCTURAL PANELS SHALL BE APPLIED TO ALL EXTERIOR WALLS, GABLE ENDS AND BAND BOARDS. (FULLY SHEATHED).



SIMPLIFIED PORTAL FRAME DESIGN DETAIL AT OVERHEAD GARAGE DOOR
SCALE: 1/2" = 1'-0" (2009 IRC COMPLIANT)

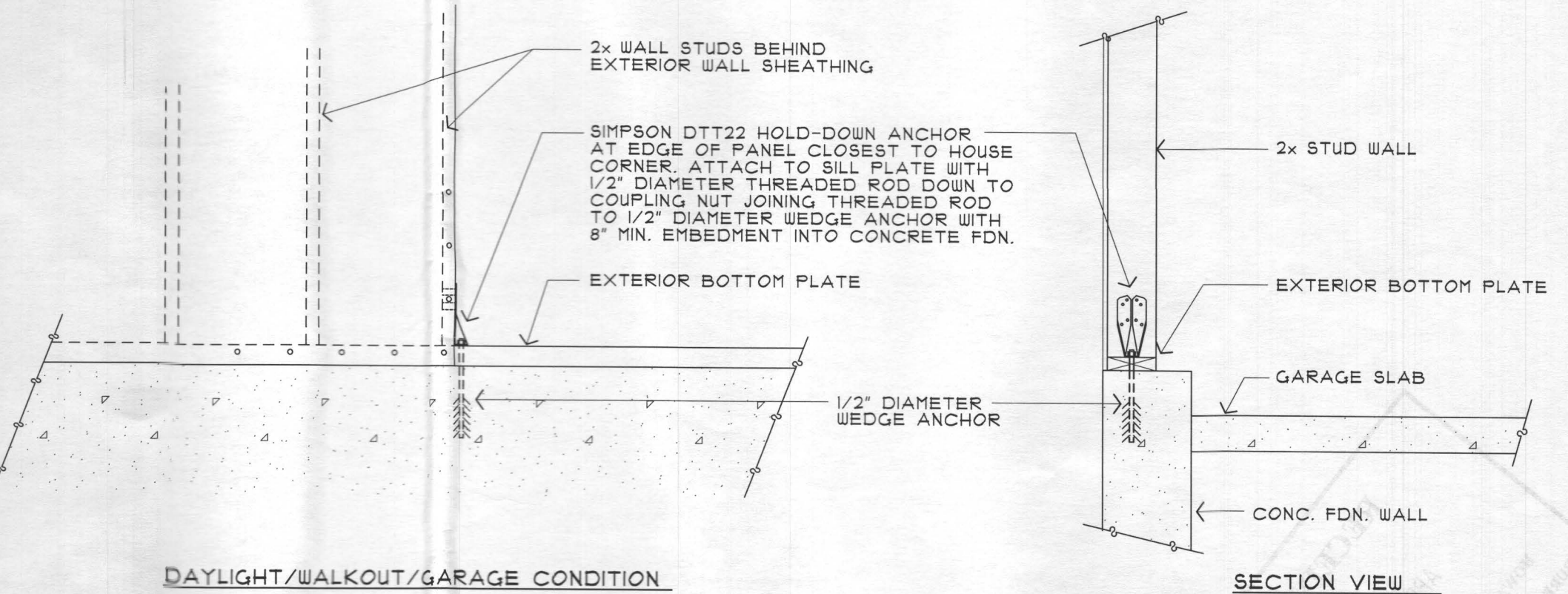


SIMPLIFIED PORTAL FRAME DESIGN DETAIL AT DOOR OPENING
SCALE: 1/2" = 1'-0" (2009 IRC COMPLIANT)



EXTERIOR BRACED WALL PANEL
SCALE: 3/4" = 1'-0"
2009 IRC, R602.10.3, METHOD #3

NOTE:
PROVIDE HOLD-DOWN:
- WHEN BRACED WALL PANEL IS NOT AT THE END OF THE BRACED WALL LINE.
- ON BRACED PANELS LOCATED AT THE ENDS OF THE BRACED WALL LINE WHERE THERE IS NOT A 24" WIDE FULL HEIGHT WOOD STRUCTURAL PANEL SHEATHED WALL PLACED 90 DEGREES TO THE END OF THE BRACED WALL LINE AND THE BRACED WALL PANEL.

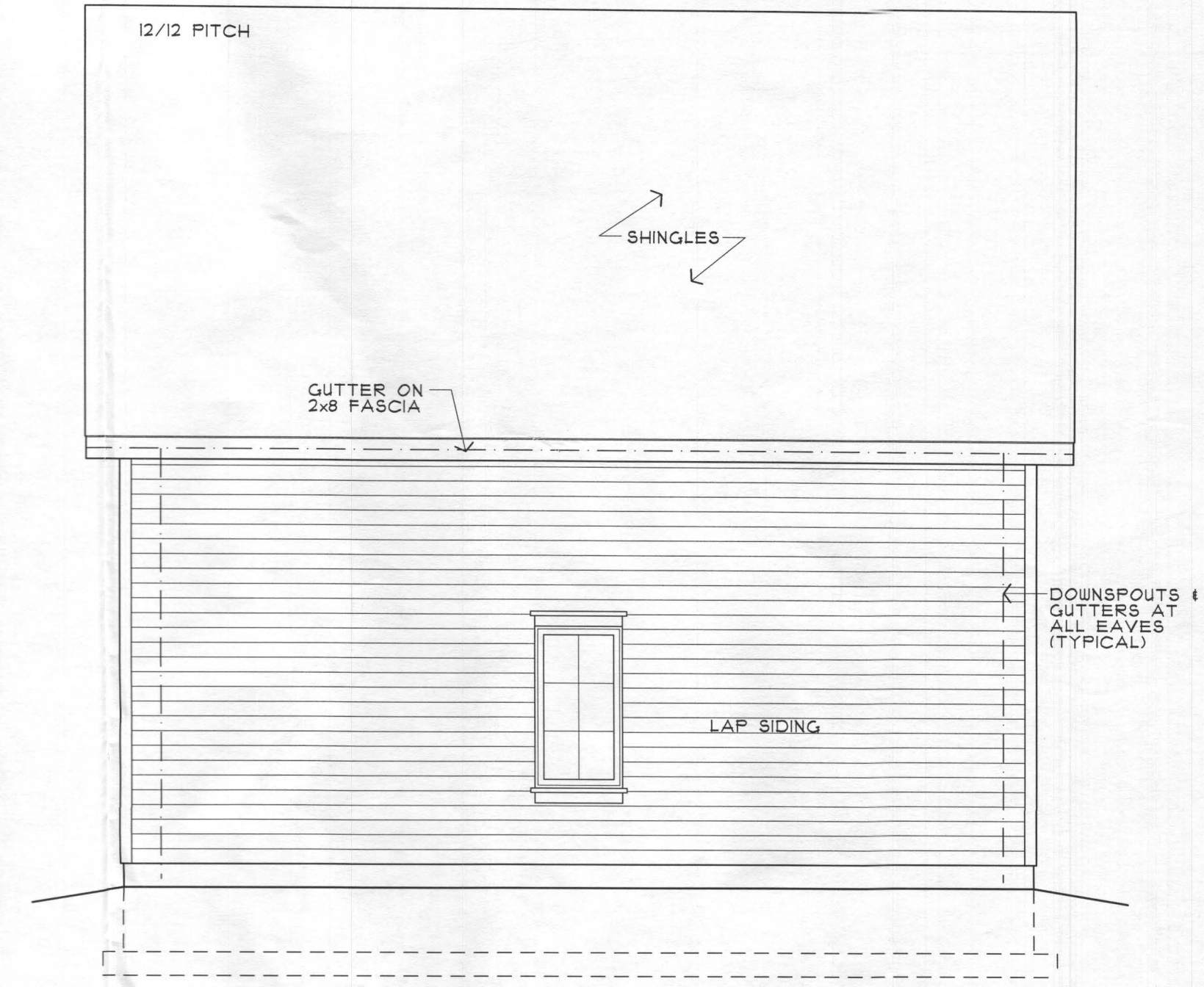


EXT. BRACED WALL HOLD-DOWN
SCALE: 3/4" = 1'-0"

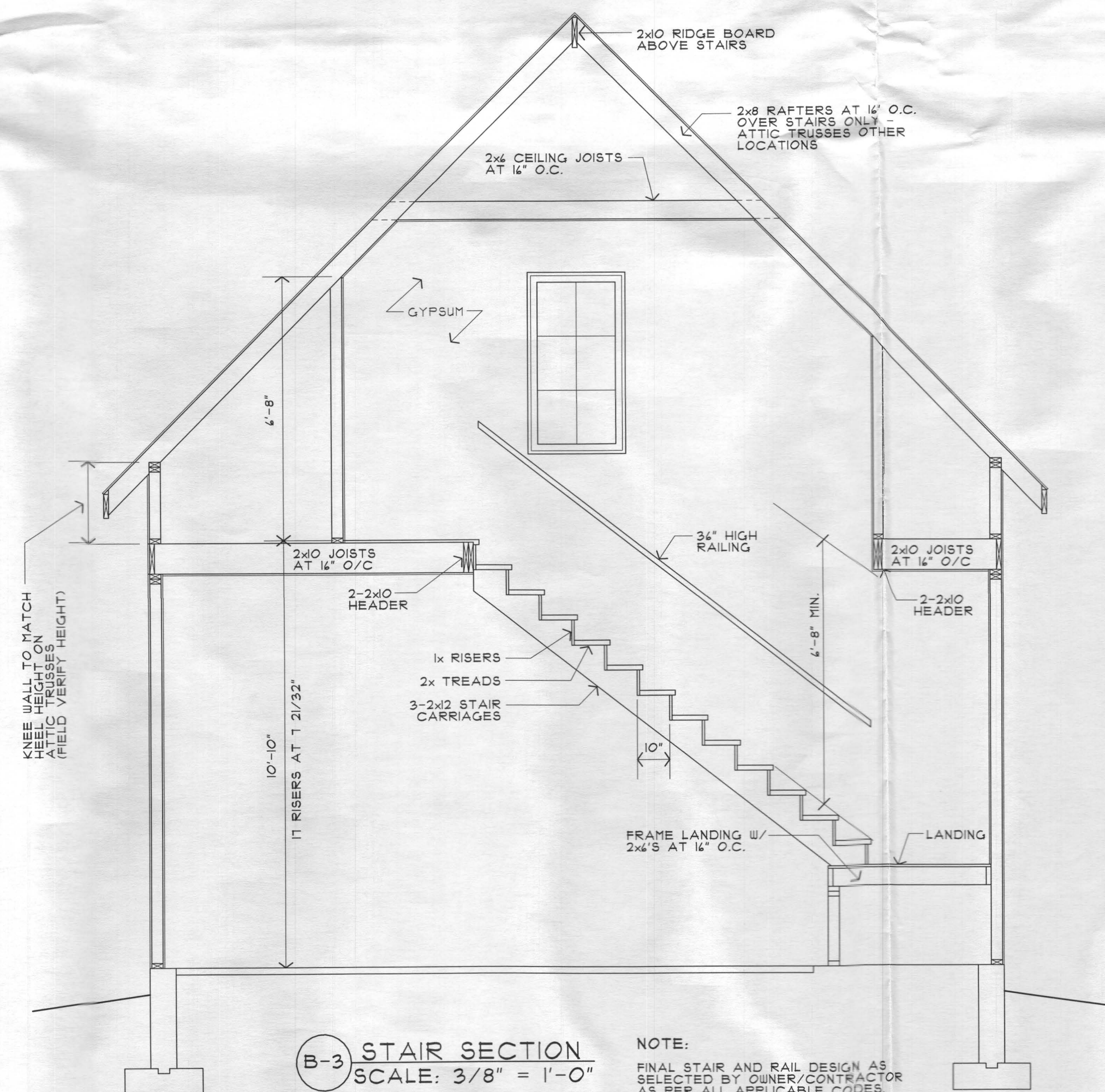
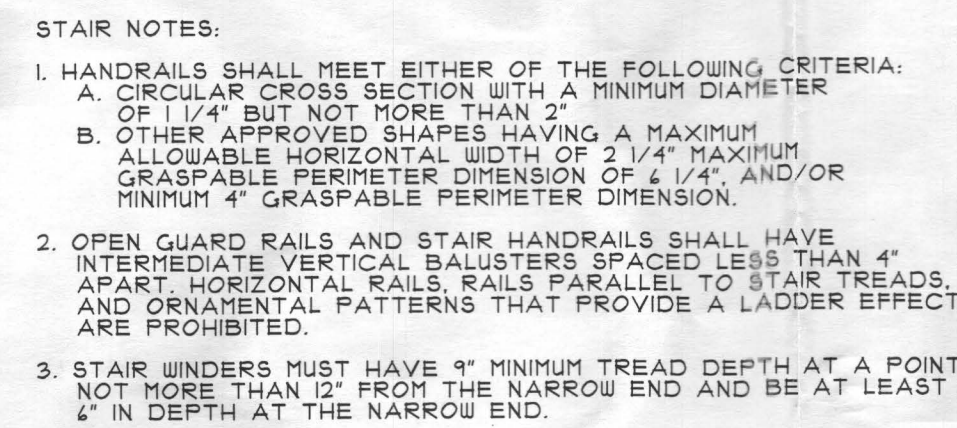
Great effort has gone into the design and engineering of these plans. However, due to the impossibility of providing any on-site supervision over the actual construction, the variance in local code requirements and other local building and weather conditions, Residential Design Services, Inc. assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in these plans. Furthermore, should roll and/or weather conditions (i.e. hurricane, earthquake, snow, etc.) cause loads other than those indicated in the building specifications, or to any other unusual conditions, it is recommended that you consult with local building officials and a local architect or engineer prior to beginning construction.

PROPOSED GARAGE FOR:
WAYNE ODACHOWSKI
3333 VELVET VALLEY DRIVE
WEST FRIENDSHIP, MD 21794

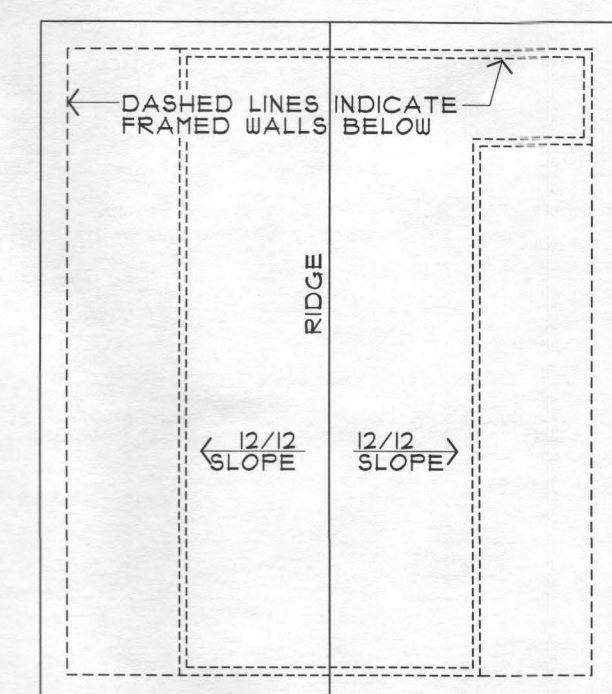
DATE: 2/26/09 JOB #
REVISED 3/27/14 SHEET: 2 of 3



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



NOTE:
FINAL STAIR AND RAIL DESIGN AS
SELECTED BY OWNER/CONTRACTOR
AS PER ALL APPLICABLE CODES.



(A-3) BUILDING SECTION
SCALE: 1/4" = 1'-0"

- NOTE:
1. ALL OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.
 2. ALL TRUSSES TO BE IRC APPROVED AND DESIGNED BY OTHERS.
 3. TRUSS MANUFACTURER TO DETERMINE TRUSS DIMENSIONS, HEEI HEIGHTS, LOCATIONS AND SPACING PRIOR TO BEGINNING CONSTRUCTION.
 4. ALL OVERLAPPING AT ROOF SYSTEM TO BE AS FOLLOWS:
 - A. MINIMUM 2x6s AT 24" O.C. (MAX.) WITH MAXIMUM SPAN OF 10'-0".
 - B. 2" AT 24" O.C. (MAX.) WITH MAXIMUM SPAN OF 4'-0".
 - C. 2x10s AT 24" O.C. (MAX.) WITH MAXIMUM SPAN OF 18'-0".
 5. ALL OVERLAPPING TO BEAR ON TRUSSES OR RAFTERS BELOW.

Great effort has gone into the design and engineering of these plans. However, due to the impossibility of providing any on-site supervision over the actual construction, the variance in local materials and measurements and other local building and weather conditions, Residential Design Services, Inc. assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in these plans.

Furthermore, should soil and/or weather conditions (i.e. hurricane, earthquake, snow, etc.) cause loads other than those indicated in the Building Specifications, or for any other unusual conditions, it is recommended that the owner consult with a local engineer and a local architect or engineer prior to beginning construction.

JOB #	
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Bernard, Dana

From: Wayne Odachowski [wayne@odachowski.com]
Sent: Tuesday, March 04, 2014 11:09 AM
To: Bernard, Dana
Subject: Re: Building Permit # B13000247

Yes. It has expired and yep, I have the engineer making sure that its 20' back. It'll never get done if I don't just keep it simple - I'll procrastinate forever. Thanks Dana.

Wayne Odachowski
3333 Velvet Valley Drive
West Friendship, Maryland 21794
(410) 442-4430 - home
(443) 823-1832 - mobile
wayne@odachowski.com

On Mar 4, 2014, at 11:00 AM, "Bernard, Dana" <dbernard@howardcountymd.gov> wrote:

I'm Not sure but I think your permit has expired. It was submitted last year in Feb. Remember you must stay 20 feet away from the septic area.

From: Wayne Odachowski [mailto:wayne@odachowski.com]
Sent: Tuesday, March 04, 2014 10:51 AM
To: Bernard, Dana
Subject: Re: Building Permit # B13000247

Thanks Dana. I'm taking a step back and simplifying. Doing a much smaller detached garage with no potential living quarters. I think I'm just keep to make it easy and comply with the requirements. I have the civil engineer revising the plot now and will submit the application again. I guess it would be easier to start a new permit as opposed to changing the original - not even sure that's an option.

Wayne Odachowski
3333 Velvet Valley Drive
West Friendship, Maryland 21794
(410) 442-4430 - home
(443) 823-1832 - mobile
wayne@odachowski.com

On Mar 4, 2014, at 10:45 AM, "Bernard, Dana" <dbernard@howardcountymd.gov> wrote:

Mr. Odachowski,

You may apply for a variance, however, the conditions listed in your application are hardly ever approved. With new construction we do not allow a <20' set back from the house. When reviewing your file again. I noticed that you did not submitted the floor plans for the basement. If you would like to apply for a variance you are more than welcome to. Your floor plans for the basement must be included.

Thanks
Dana

From: Wayne Odachowski [<mailto:wayne@odachowski.com>]
Sent: Monday, March 03, 2014 6:57 AM
To: Bernard, Dana
Subject: RE: Building Permit # B13000247

Dana, I'm following up on the messages below. I want to figure out a way to build some sort of garage on my property this spring. So when I asked you about a exception to the 20' set back requirement you said "no chance on new construction". Is the addition of a garage considered "new construction"? I guess I look at new being from the ground up on the property. I look forward to your response. Thanks

Wayne E. Odachowski
3333 Velvet Valley Drive
West Friendship, Maryland 21794
(443) 823-1832 - mobile

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]
Sent: Wednesday, May 08, 2013 1:33 PM
To: Wayne Odachowski
Subject: RE: Building Permit # B13000247

Mr. Odachowski,

There is no chance on new construction.

From: Wayne Odachowski [<mailto:wayne@odachowski.com>]
Sent: Tuesday, May 07, 2013 11:23 AM
To: Bernard, Dana
Subject: RE: Building Permit # B13000247

Good morning Dana. I've been back and forth with my civil engineer and my architect to try to figure this out. Is there any chance of asking for an exception to the 20' set back from the septic field? As I understand it, Maryland and most of the counties have a 10' set back. Is the reason for the setback so that there's no chance of disturbing the septic field? If there's no chance of getting an exception then I'll need to drop back to a detached garage – the second floor of the submitted design was to include an in-law suite for my mother-in-law but unfortunately she passed away so I really don't need the space to be finished. Anyway, if you can let me know about the setback I can make decisions based on that. Thanks

Wayne E. Odachowski
3333 Velvet Valley Drive
West Friendship, Maryland 21794
(443) 823-1832 - mobile

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]

Sent: Thursday, February 28, 2013 5:17 PM

To: WAYNE@ODACHOWSKI.COM

Subject: Building Permit # B13000247

Mr. Odachowski,

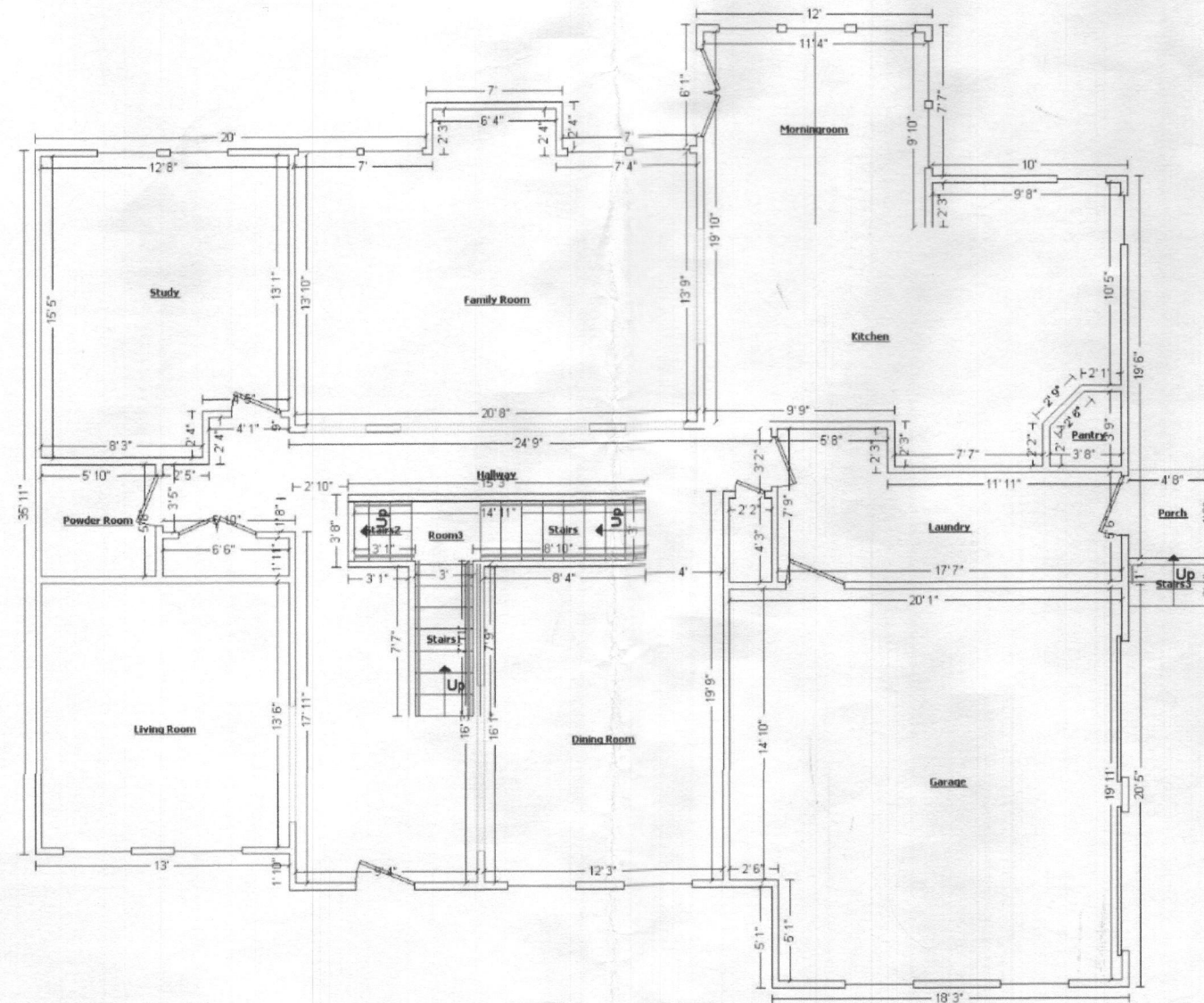
I have attached a memo regarding revisions needed for BP# B13000247. If you have any questions don't hesitate to give me a call.

Dana Bernard

Howard County Health Department

Main Level

EXISTING HOUSE
FLOOR PLANS
3333 VELVET VALLEY DR.
WEST FRIENDSHIP, MD 21794
B13000247



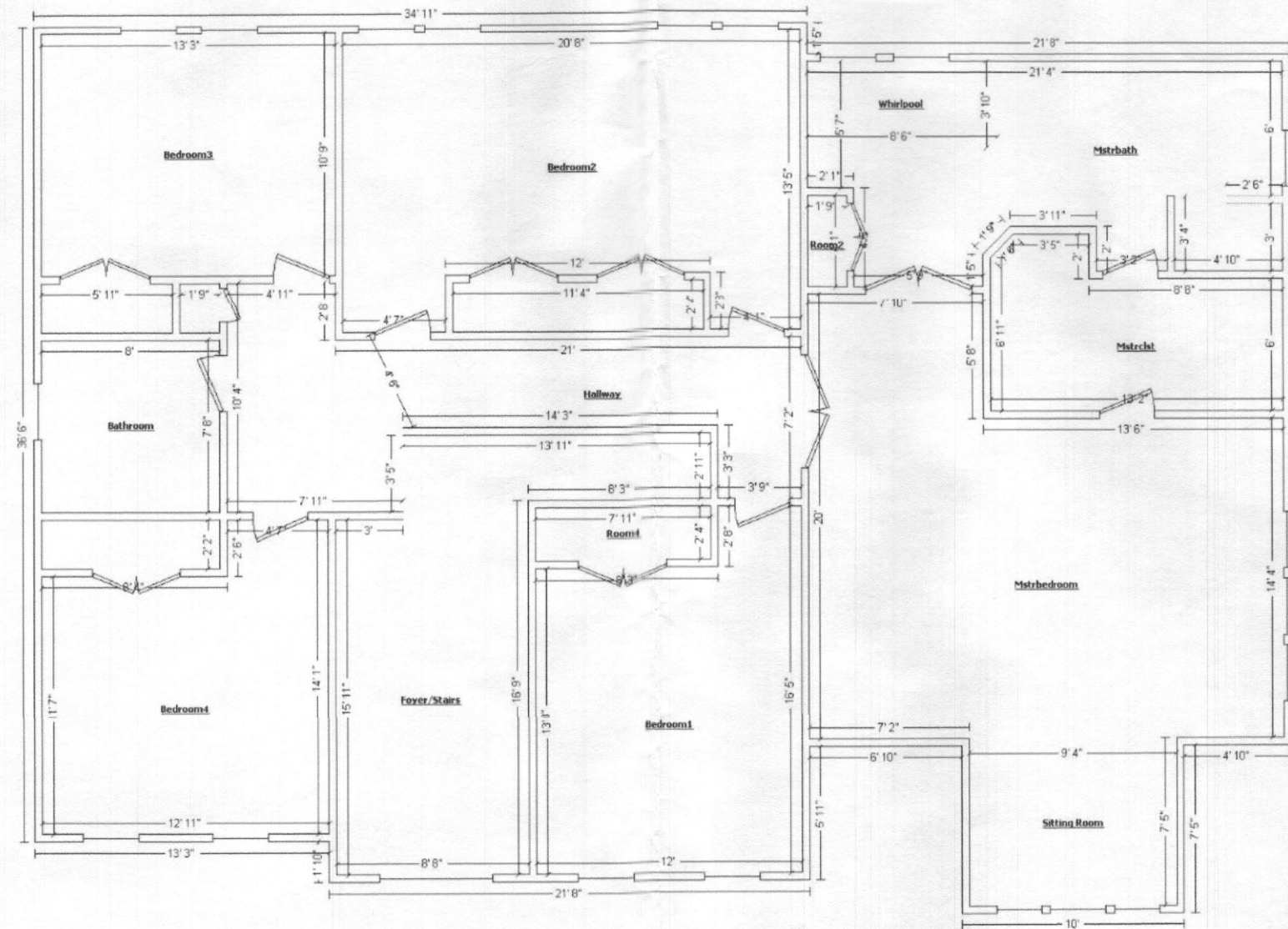
Main Level

ODACHOWSKI-EXIST

2/6/2013

Page: 1

2nd Floor



2nd Floor

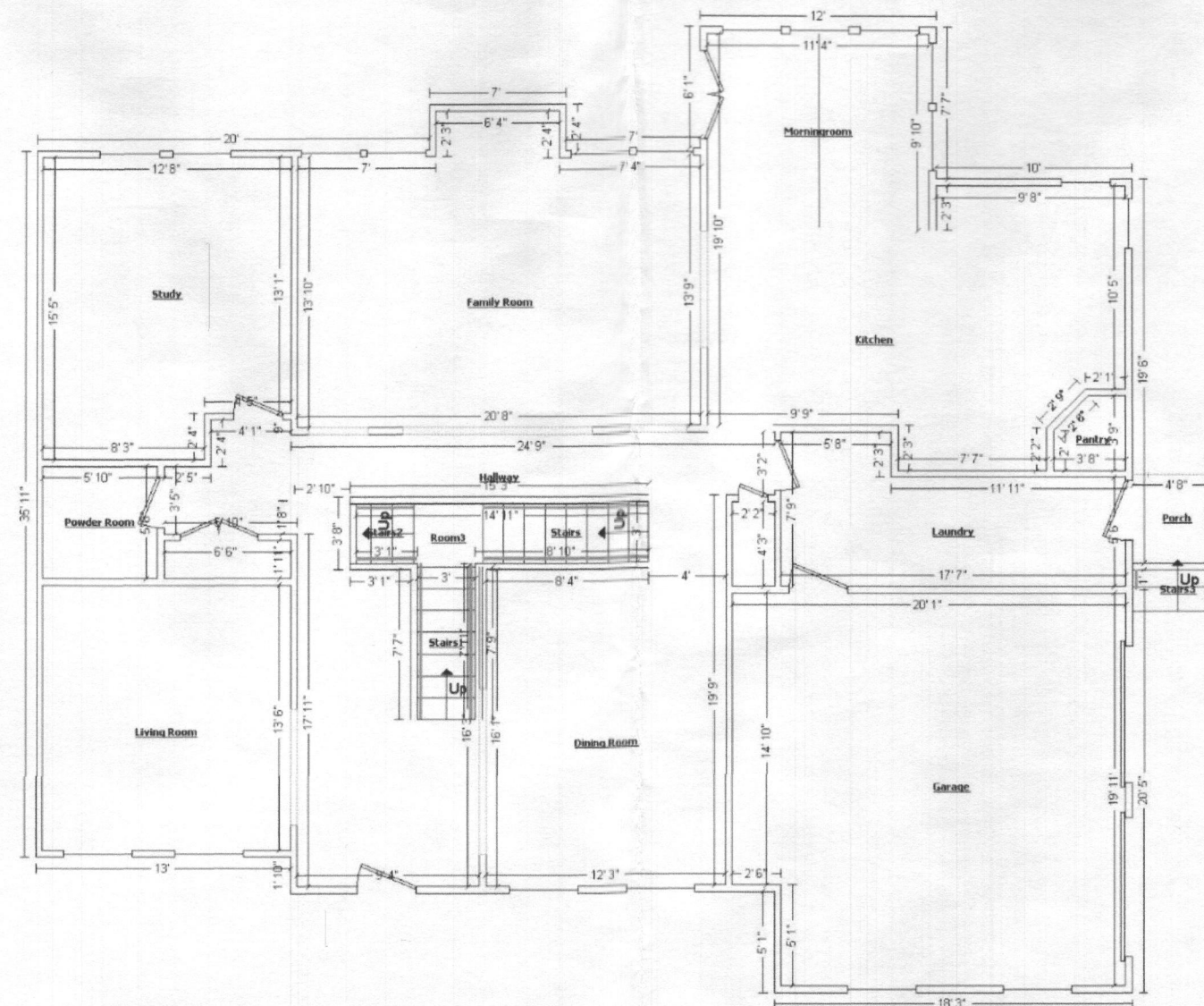
ODACHOWSKI-EXIST

2/6/2013

Page: 2

EXISTING HOUSE
FLOOR PLANS
3333 Velvet Valley Dr,
WEST FREDERICK, MD 21744

Main Level



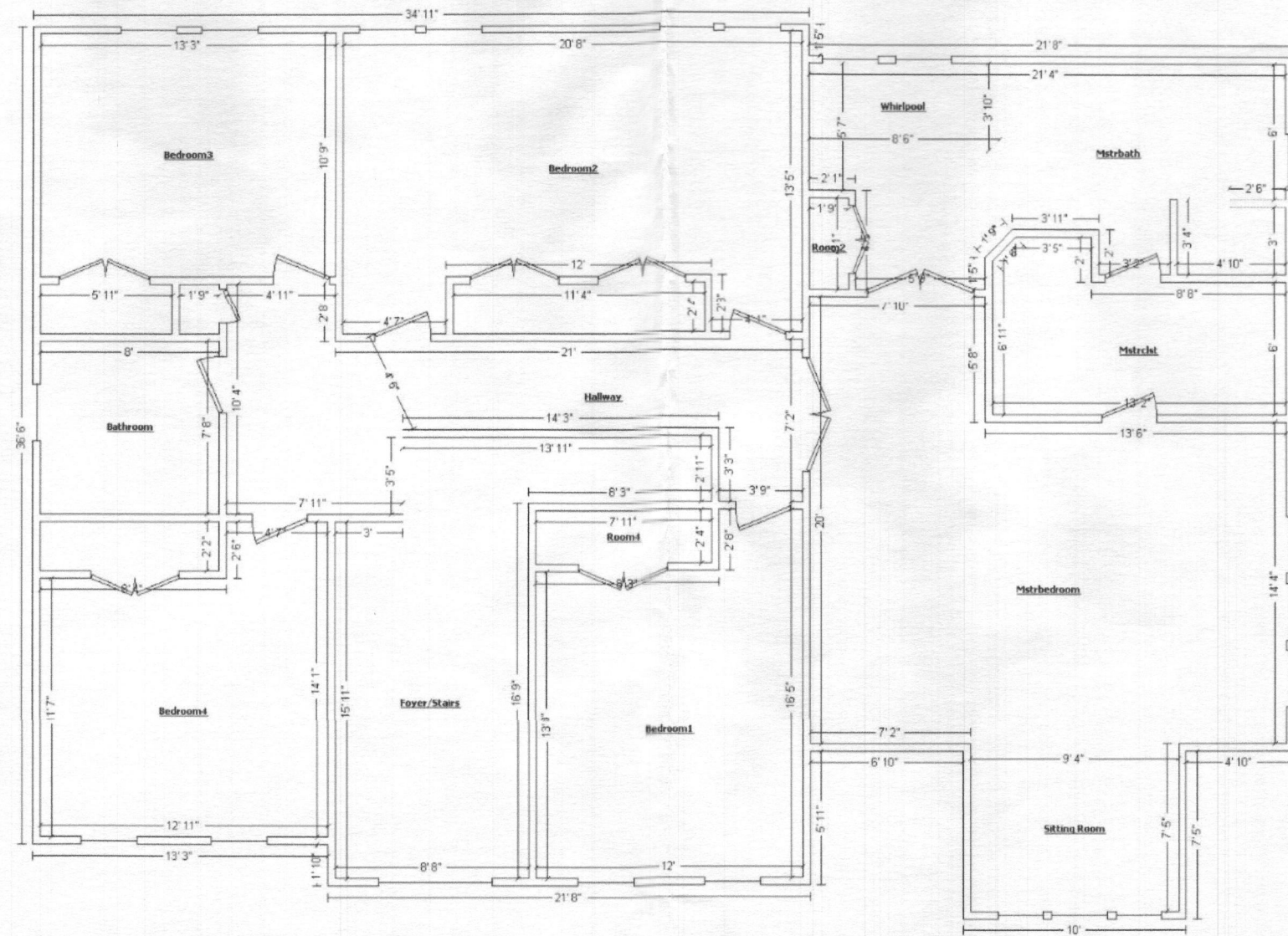
N
↑
Main Level

ODACHOWSKI-EXIST

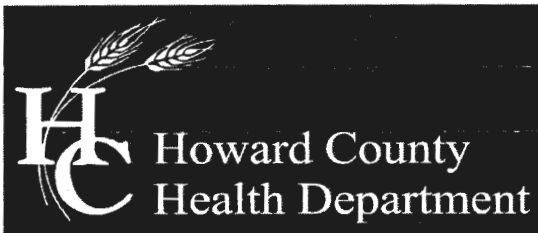
2/6/2013

Page: 1

2nd Floor



2nd Floor



Office of the Health Officer

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: February 5, 2013

TO: Wayne Odachowski

Via-e-mail: WAYNE@ODACHOWSKI.COM

RE: Building Permit # B13000247

3333 Velvet Valley Drive

West Friendship, Maryland 21794

Mr. Odachowski,

Further review is contingent upon submission of a revised building plan showing the following:

- Well must be shown on plan.
- Floor plans for the existing house.
- Floor plans for the proposed addition.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date:

To:

From:

Subject:

(Person's Name and Division)

(Your Name, Company Name and Telephone Number)

Project name

Project site address

Permit Number

SDP #

Other information pertinent to this project

RECEIVED

FEB 15 2013

PLAN REVIEW DIVISION

☒ Please check the attachments below that you are submitting with this transmittal:

☐ Letter of response to Howard County plan review code letter

☒ Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**

☐ Structural steel certification

☐ Energy conservation calculations

☐ Certification for _____ (be specific).

☐ Copies of _____ (be specific).

☒ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

☒ Other **REVISED PLOT PLAN AND EXISTING FLOOR PLANS**

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

(Person's name)

(Telephone number)

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by

t:\Updated forms\transmit.frm - Rev. 5/08

white: Plan Review Division
yellow: Applicant
pink: Permit Division

No title report was furnished.

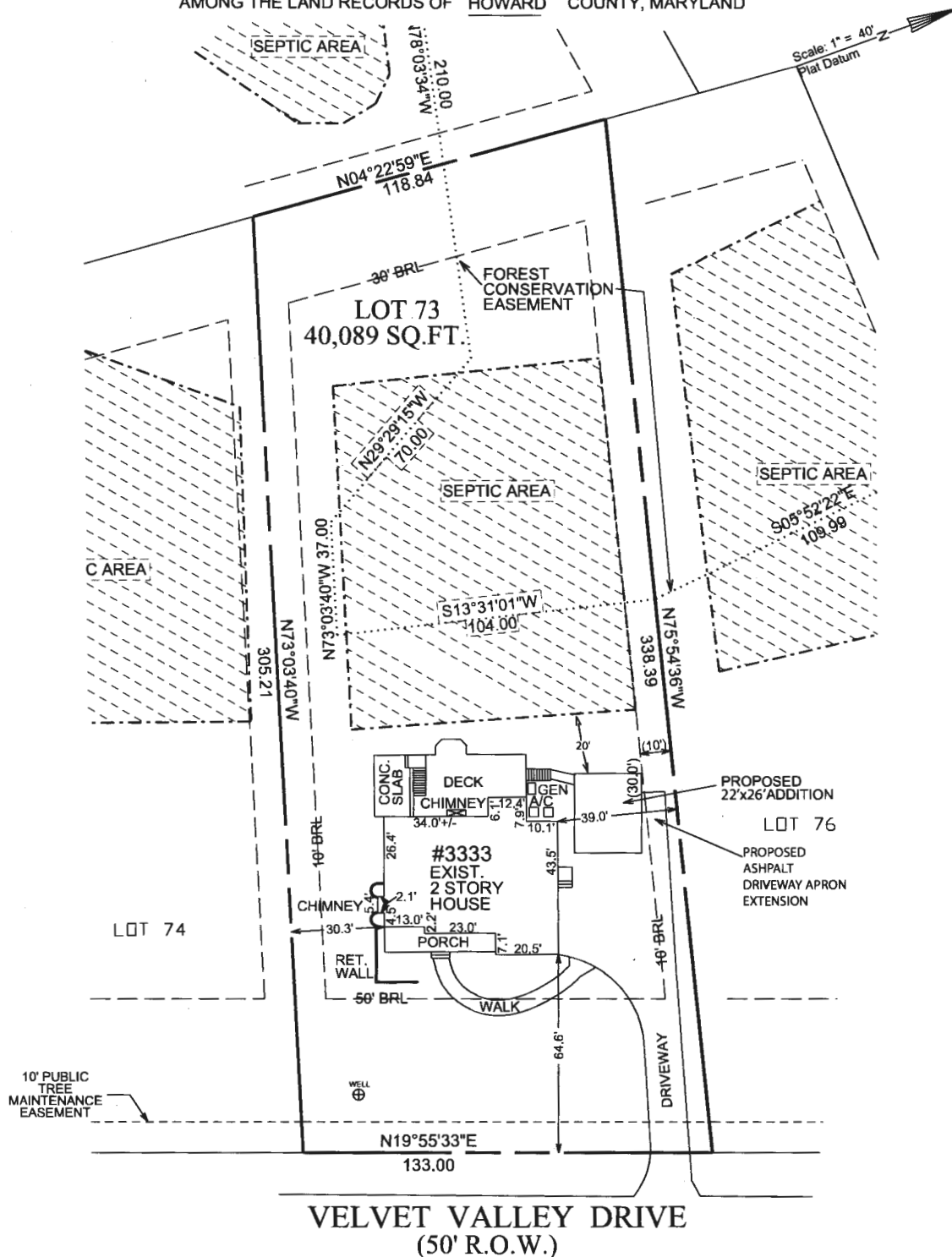
This property is subject to all applicable easements, rights-of-way, covenants and those documents which the undersigned has not been provided. Dimensions shown within "()" are to represent the proposed addition

House Location / Plot Plan

DESCRIBED AS: LOT 75 BLOCK N/A AS SHOWN ON A PLAT OF SUBDIVISION

ENTITLED: West Friendship Estates (Section 2) AS RECORDED IN PLAT BOOK N/A AS PLAT NO. 12453

AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND



THIS VERSION OF THE PLOT PLAN (SHOWING PROPOSED GARAGE LOCATION) WAS CREATED BY THE HOME OWNER - NOT THE ENGINEER NAMED BELOW.

Eyott, Inc.
5035 Lynn Burke Rd.
Monrovia, MD. 21770



Phone: (240) 415-3000
eFax: (909) 259-3332
www.eyott.com

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAT WAS PREPARED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND IN COMPLIANCE WITH COMAR (09.13.06.12) MARYLAND MINIMUM STANDARDS OF PRACTICE.

Name: David D. Kinman Date: January 30, 2013
Title: Professional Land Surveyor MD.Reg #: 21415 (Expires 6/8/2014)

Drawn By: DK

Scale: 1" = 40'

Location Date: 1/30/2013

Liber. 4090 Folio. 87

Tax ID#: 03-321738

Job #: Odachowski

Permits: 410-313-2455
Inspections: 410-313-1810
Automated Line: 410-313-3800

Howard County Building/Fire Permit Application
Department of Inspections, Licenses & Permits
3430 Court House Drive
Ellicott City, MD 21043

Permit Number:

B13000247

Building Address: <u>3333 VELVET VALLEY DR.</u> <u>NEXT FRIENDSHIP, MD 21794</u>		Property Owner's Name: <u>WAYNE ODACHOWSKI</u> Address: <u>3333 VELVET VALLEY DR.</u>	
Suite/Apt. #: _____ SDP/WP/BA #: _____		City: <u>W.F.</u> State: <u>MD</u> Zip Code: <u>21794</u>	
Census Tract: _____ Subdivision: _____		Home Phone: <u>410-424-430</u> Work Phone: <u>443-823-1832</u>	
Section: _____ Area: _____ Lot: <u>75</u>		Applicant's Name & Mailing Address, (if other than stated herein): _____	
Tax Map: <u>0022</u> Parcel: <u>0559</u> Grid: <u>0002</u>		Phone: _____	
Zoning: _____ Map Coordinates: _____ Lot Size: <u>40,089</u>		Email: <u>wayne@odachowski.com</u>	
Existing Use: <u>SFD</u>		Contractor Company: <u>SELF</u>	
Proposed Use: <u>SFD w/ garage</u>		Contact Person: _____	
Estimated Construction Cost: \$ <u>25000</u>		Address: _____	
Description of Work: <u>30' x 30' attached</u> <u>2-story garage bldg</u>		City: _____ State: _____ Zip Code: _____	
Occupant or Tenant: _____		License No.: <u>87630</u>	
Was tenant space previously occupied? <input type="checkbox"/> Yes <input type="checkbox"/> No		Phone: _____ Fax: _____	
Contact Name: _____		Email: _____	
Address: _____		Engineer/Architect Company: <u>JEFF LOVE & ASSOC</u>	
City: _____ State: _____ Zip Code: _____		Responsible Design Prof.: <u>JEFF LOVE</u>	
Phone: _____ Fax: _____		Address: <u>7624 INVESTMENT CT.</u>	
Email: _____		City: <u>OWINGS</u> State: <u>MD</u> Zip Code: <u>20736</u>	
		Phone: <u>410-550-3134</u> Fax: _____	
		Email: <u>jeff@jefflove-architects.com</u>	
BUILDING DESCRIPTION - COMMERCIAL			
Building Characteristics		Utilities	
Height: _____	Water Supply	Building Characteristics	
No. of stories: _____	<input type="checkbox"/> Public	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	Utilities
Gross area, sq. ft./floor: _____	<input type="checkbox"/> Private	Depth _____ Width _____	Water Supply
Area of construction (sq. ft.): _____	Sewage Disposal	1 st floor: _____	<input type="checkbox"/> Public
<input type="checkbox"/> Public	<input type="checkbox"/> Public	2 nd floor: _____	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Private	<input type="checkbox"/> Private	Basement: _____	<input type="checkbox"/> Public
Use group: _____	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Unfinished Basement	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Construction type:	Heating System	<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil	<input type="checkbox"/> Slab on Grade	Heating System
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	No. of Bedrooms: _____	<input checked="" type="checkbox"/> Electric <u>2000 BTU</u>
<input type="checkbox"/> Masonry	Sprinkler System:	Multi-family Dwelling	<input type="checkbox"/> Oil
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A	No. of efficiency units: _____	<input type="checkbox"/> Natural Gas
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full	No. of 1 BR units: _____	<input type="checkbox"/> Propane Gas
<input checked="" type="checkbox"/> Roadside Tree Project Permit	<input type="checkbox"/> Partial	No. of 2 BR units: _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Other Suppression	No. of 3 BR units: _____	
Roadside Tree Project Permit # _____	No. of Heads: _____	Other Structure: _____	
		Dimensions: _____	
		Footings: _____	<input checked="" type="checkbox"/> Roadside Tree Project Permit
		Roof: _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
		<input type="checkbox"/> State Certified Modular	Roadside Tree Project Permit # _____
		<input type="checkbox"/> Manufactured Home	
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.			
Applicant's Signature: <u>Wayne Odachowski</u>		Print Name: <u>WAYNE ODACHOWSKI</u>	
Email Address: <u>wayne@odachowski.com</u>		Date: <u>1/18/13</u>	
Title/Company: <u>SELF/PROP OWNER</u>			

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

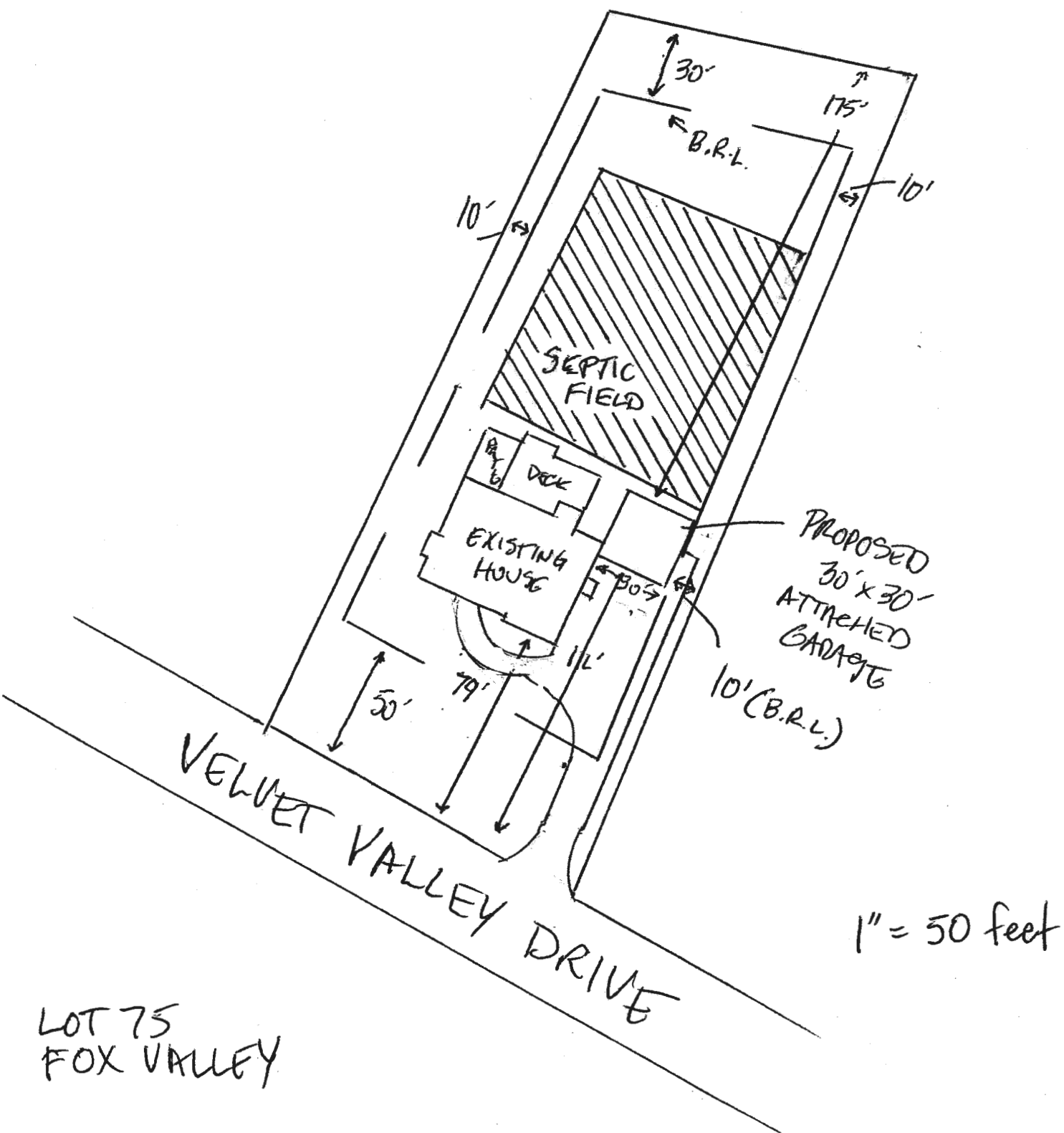
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
✓ Building Officials		
✓ PSZA (Zoning)		
✓ PSZA (Engineering)		
✓ Health		
Fire Protection		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START
☐ ONE STOP SHOP

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>25</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$

Cash



LOT 75
FOX VALLEY

PLOT PLAN - 3333 VELVET VALLEY DRIVE
WEST FRIENDSHIP, 21794
ODACHOWSKI RESIDENCE

Permits: 410-313-2455
Inspections: 410-313-1810
Automated Line: 410-313-3800

Howard County Building/Fire Permit Application
Department of Inspections, Licenses & Permits
3430 Court House Drive
Ellicott City, MD 21043

Permit Number:

B13000247

Building Address: 3333 VELVET VALLEY DR.
NEXT FRIENDSHIP, MD 21794

Suite/Apt. #: _____ SDP/WP/BA #: _____

Census Tract: _____ Subdivision: _____

Section: _____ Area: _____ Lot: 75

Tax Map: 0022 Parcel: 0559 Grid: 0002

Zoning: _____ Map Coordinates: _____ Lot Size: 40,089

Existing Use: SFD

Proposed Use: SFD w/ garage

Estimated Construction Cost: \$ 25000

Description of Work: 30' x 30' attached
2-story garage bldg

Occupant or Tenant: _____

Was tenant space previously occupied? ☐ Yes ☐ No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: WAYNE ODACHOWSKI

Address: 3333 VELVET VALLEY DR.

City: W.F. State: MD Zip Code: 21794

Home Phone: 410-942-4430 Work Phone: 443-823-1832

Applicant's Name & Mailing Address, (if other than stated herein): _____

Phone: _____ Fax: _____

Email: wayne@odachowski.com

Contractor Company: SELF

Contact Person: _____

Address: _____

City: _____ State: _____ Zip Code: _____

License No.: 87630

Phone: _____ Fax: _____

Email: _____

Engineer/Architect Company: JEFF LOVE & ASSOC

Responsible Design Prof.: JEFF LOVE

Address: 7624 INVESTMENT CT.

City: OWINGS State: MD Zip Code: 20736

Phone: 443-550-3134 Fax: _____

Email: jeff@jla-architects.com

BUILDING DESCRIPTION - COMMERCIAL	
Building Characteristics	Utilities
Height:	<u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
Area of construction (sq. ft.):	<u>Sewage Disposal</u>
Use group:	<input type="checkbox"/> Public
Construction type:	<input type="checkbox"/> Private
<input type="checkbox"/> Reinforced Concrete	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Structural Steel	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Masonry	<u>Heating System</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input checked="" type="checkbox"/> Roadside Tree Project Permit	<u>Sprinkler System:</u>
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Roadside Tree Project Permit #	<input type="checkbox"/> Full
	<input type="checkbox"/> Partial
	<input type="checkbox"/> Other Suppression
	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics	Utilities
<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
Depth	<input type="checkbox"/> Public
Width	<input checked="" type="checkbox"/> Private
1 st floor:	<u>Sewage Disposal</u>
2 nd floor:	<input type="checkbox"/> Public
Basement:	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Finished Basement	Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Unfinished Basement	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	<u>Heating System</u>
<input type="checkbox"/> Slab on Grade	<input checked="" type="checkbox"/> Electric <u>200/100</u>
No. of Bedrooms:	<input type="checkbox"/> Oil
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Natural Gas
No. of efficiency units:	<input type="checkbox"/> Propane Gas
No. of 1 BR units:	
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> Roadside Tree Project Permit
Roof:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	Roadside Tree Project Permit #
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Wayne Odachowski

Print Name: WAYNE ODACHOWSKI

Email Address: wayne@odachowski.com

Date: 1/18/13

Title/Company: SELF/PROPR OWNER

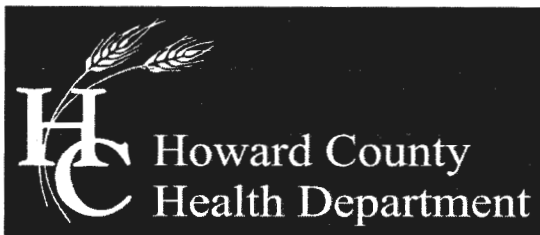
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		
Fire Protection		
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		
<input type="checkbox"/> ONE STOP SHOP		

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	<u>25</u>
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA
T:\Operations\Updated Forms\New building app 11.10.2010.docx



Office of the Health Officer

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: February 28, 2013

TO: Wayne Odachowski

Via-e-mail: WAYNE@ODACHOWSKI.COM

RE: **Building Permit # B13000247**

3333 Velvet Valley Drive

West Friendship, Maryland 21794

Mr. Odachowski,

Further review is contingent upon submission of a revised building plan showing the following:

- Garage must be 20 feet away from septic easement.
- Floor plans for the proposed addition.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard

Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file