



Howard County Health Department

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 1/5/15

ONSITE SEWAGE DISPOSAL SYSTEM

P 555383

APPROVAL DATE: 3/15/2016

PERMIT:

REPAIR

A

PROPERTY ADDRESS: 14290 Triadelphia Road

SUBDIVISION: Homewood Interiors Inc.

LOT: _____

TAX ID: 04-341376

CONTRACTOR: Fogle's Septic Clean Inc.

EMAIL: kevin@foglesinc.com

CONTRACTOR ADDRESS: 580 Obrecht Road, Sykesville, MD 21784

PHONE: 410-795-5670

CONTRACTOR CERTIFIED FOR BAT INSTALLATION:

☐

MDE

☐

MANUFACTURER:

PROPERTY OWNER: Stacia Smith

EMAIL: _____

OWNER ADDRESS: 14290 Triadelphia Road, Glenelg, MD 21737

PHONE: _____

BAT UNIT MODEL: Hoot 600 BNR

PUMP SIZE: 750

PUMP TANK CAPACITY: EP04 Goulds

OPERATION & MAINTENANCE AGREEMENT

DATE SIGNED: _____

DATE RECORDED: _____

DISTRIBUTION SYSTEM:

☐

GRAVITY

☒

PRESSURE DOSED

BEDROOMS: _____

APPLICATION RATE: _____

TRENCHES:	LINEAR FEET REQUIRED: <u>① 4'-8' = 101'</u> , <u>② 3.5'-8' = 42'</u>		INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>	
	MINIMUM SPACE BETWEEN TRENCHES: _____ EFFECTIVE AREA BEGINNING DEPTH: _____		
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND BAT UNIT LOCATION MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.		
NOTES:	Install LPD system per approved plans. Installation will include BAT unit, initial and repair system. All components if system must be surveyed and staked prior to preconstruction meeting.		

ISSUED BY: Kevin Wolf

ISSUE DATE: 8-31-15

EXPIRATION DATE: 1-5-16

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT SEPTIC TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADE FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

☒

ELECTRICAL PERMIT ISSUED

E

13005710

NOTE: AN INDIVIDUAL CERTIFIED BY MDE AND THE MANUFACTURER FOR BAT INSTALLATION MUST BE PRESENT AT ALL TIMES DURING BAT INSTALLATION.

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

**Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.**

**Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.**

June 25, 2014

Mr. Mike Davis
Howard County Health Department
Bureau of Environmental Health
8930 Stanford Blvd.
Columbia, MD 21045

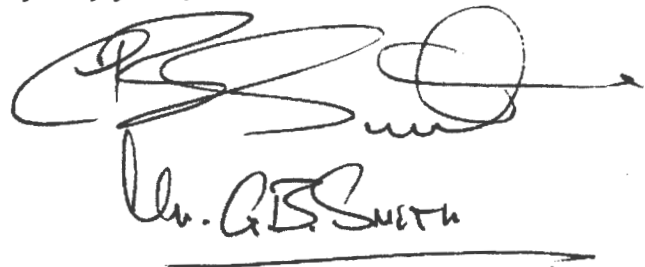
Re: 14290 Triadelphia Road,
Percolation Certification Plat
Waiver Request

Dear Mr. Davis:

In response to an email dated May 28, 2014 from Jeff Williams with the Howard County Health Department To Mr. Anthony Fertitta with Fisher, Collins And Carter, Inc., we are requesting a variance for the proposed septic easement on 14290 Triadelphia Road located 200' above gradient from the neighboring well on 4050 Hobbs Hill Road.

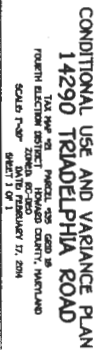
Thank you for your consideration of this request.

Very truly yours,



Mr. G.B. Smith

WO #13034



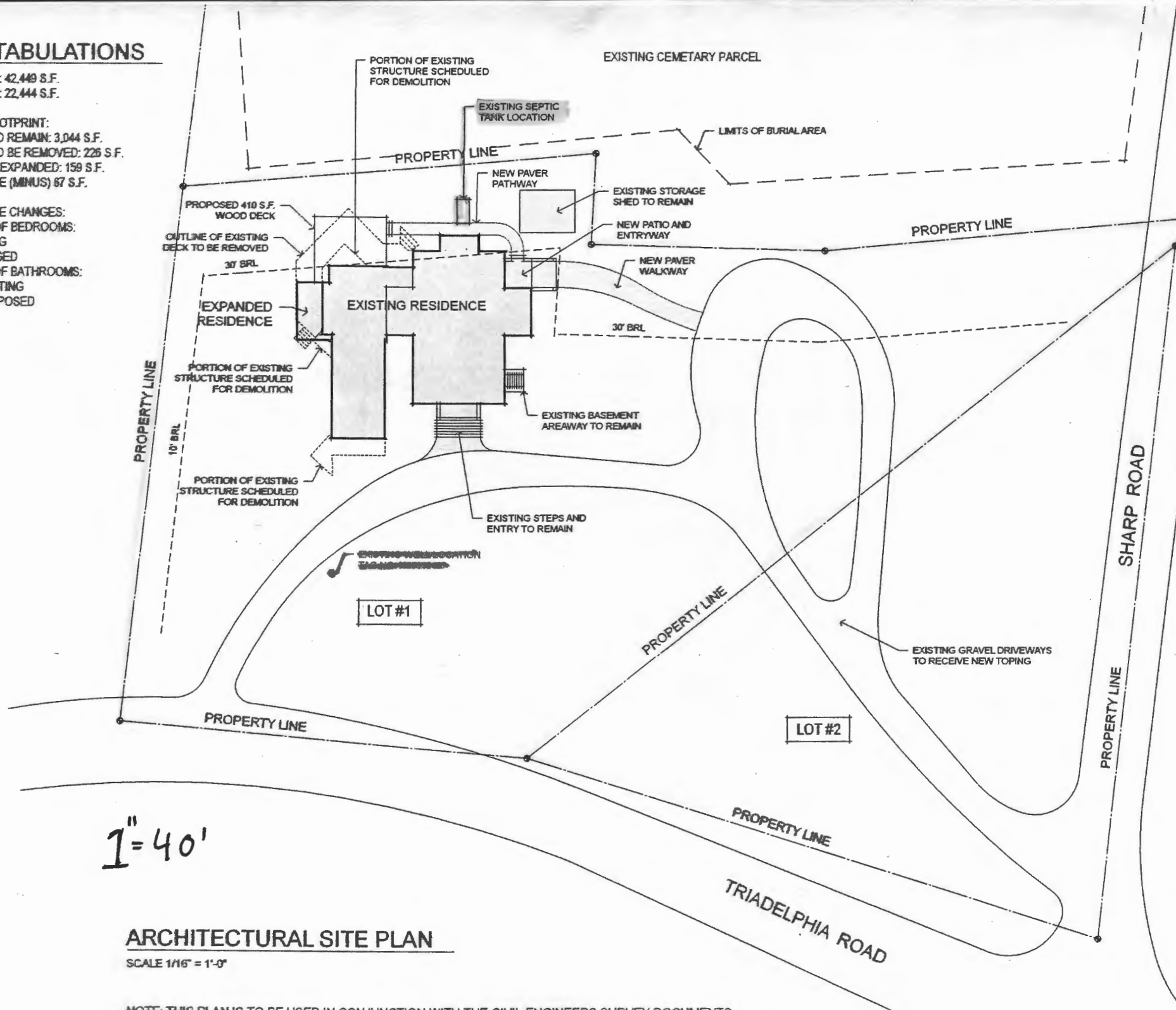
CONDITIONAL USE AND VARIANCE PLAN
14290 TRADELPHIA ROAD
TAX MAP #61 PARCEL #35 GSD 16
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
ZONING RC-300
SCALE 1"=50'
DATED FEBRUARY 17, 2014
SHEET 1 OF 1

AREA TABULATIONS

LOT #1 AREA: 42,449 S.F.
LOT #2 AREA: 22,444 S.F.

BUILDING FOOTPRINT:
EXISTING TO REMAIN: 3,044 S.F.
EXISTING TO BE REMOVED: 226 S.F.
PROPOSED EXPANDED: 159 S.F.
NET CHANGE (MINUS) 67 S.F.

INTERIOR USE CHANGES:
QUANTITY OF BEDROOMS:
4 - EXISTING
1 - PROPOSED
QUANTITY OF BATHROOMS:
4 1/2 - EXISTING
2 1/2 - PROPOSED



1"=40'

ARCHITECTURAL SITE PLAN

SCALE 1/16" = 1'-0"

NOTE: THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL ENGINEERS SURVEY DOCUMENTS



PC
LEHMAN ASSOCIATES, PC
ARCHITECTS

PROPOSED RESTORATION AND MODIFICATIONS
HOMEWOOD PROPERTIES, LLC
14290 TRIADDELPHIA ROAD, GLENELG, MARYLAND 21737

DATE: 05.30.13

PERMIT

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Monday, February 02, 2015 3:16 PM
To: 'Stephanie Tuite'
Subject: RE: Homewood Interiors BAT (14290 Triadelphia Rd)

Here are comments:

- Static head is elevation difference between pump off float/probe and the highest point in the piping system. The highest point is the invert out of the tank, which you give as 583.5. You give the pump off as 578.56. That puts the static head at 4.94'
- You state friction loss in 2" pipe fittings, but you list all piping at 1.5" diameter.
- You give a volume of 1.25" pipe for the laterals when calculating dose, but elsewhere you show the laterals at 1.5" diameter.
- You show perf spacing in trench 1 at 4.25' with 11 perfs. That gives a lateral length of 44.625, not 48.9 as stated (10 spaces at 4.25' and one half space at 2.125'). This is too short for the trench length at 51'. A spacing of 4.25 could accommodate 12 holes in a 51' trench with a lateral length of 48.875. All other trenches have similar problems.
- An adjustment for the number of perfs will correspond to an increase in the total flow rate for the system.
- The pump run time should be set to correspond to the revised flow rate.
- Show the location of the blower motor and the control panel on the plan.

From: Stephanie Tuite [<mailto:Stephanie@fcc-eng.com>]
Sent: Tuesday, January 20, 2015 4:21 PM
To: Williams, Jeffrey
Subject: Homewood Interiors BAT (14290 Triadelphia Rd)
Importance: High

Jeff,

I am trying to wrap up revisions to the BAT Site Plan sheet of the SDP for 14290 Triadelphia Rd (Homewood Interiors). I want to make sure I have addressed everything the way you want, trying not to go another round of comments. Please take a look. I have attached a PDF of the plan and a PDF of the comments and responses. Thanks.

Steph

Stephanie Tuite, RLA, PE, LEED AP BD&C
Fisher, Collins & Carter, Inc.
10272 Baltimore National Pike
Ellicott City, Maryland 21042
410-461-2855 x 1833
410-750-3784 fax
410-491-5962 cell

Fyock Septic Service, Inc.

**P.O. Box 89
Glenelg, MD 21737
(410) 988-9270**

CERTIFICATION OF SEPTIC SYSTEM

Property 14290 Triadelphia Rd.
Glenelg, MD 21737

Buyers

Sellers Gregg Phillips

CLEAN OUTS EXPOSED

☒ YES ☐ NO

BAFFLES INTACT

☒ YES ☐ NO

WATER LEVEL IN SEPTIC TANK

HIGH ☒ NORMAL ☐ LOW

WATER LEVEL IN DRYWELL

HIGH / NORMAL / LOW ☒ NA

TOILETS FLUSH PROPERLY

☒ YES ☐ NO

SYSTEM WORKING PROPERLY AT THIS TIME

☒ YES ☐ NO

☒ PASSED ☐ FAILED

COMMENTS

Tank size 1000 gal. - Concrete

Service Driver

Don Martin

Date

6-19-2013

Permit # H-19

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

HEALTH DEPT
JEFF WILLIAMS
COPY

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.
Mark L. Robel, P.L.S.
Aldo M. Vitucci, P.E.

October 7, 2015

Mr. Chad Edmondson, Chief
Development Engineering Division
Howard County Department of Planning and Zoning
3430 Court House Drive
Ellicott City, MD 21043

RE: Homewood Properties
SDP-15-010
Redline Revision

Dear Mr. Edmondson:

Please find the enclosed Redlined Road Plan package for your review and approval.
Enclosed please find:

1. Four (4) sets of redlined Site Development Plan (1 for Health).
2. Check made payable to the Director of Finance for the applicable fee.

The purpose of this redline is mainly for Health Department to revise the septic trenches proposed on Sheet 5. Revision is to shorten initial trenches 1 and 2, create a 3rd trench and modify the replacement trench layout, associated profile and chart information revisions. Revisions are to avoid an existing underground electric conduit that was overtop of replacement trench 1 and to avoid the major tree roots of the large oak in the vicinity of the ends of initial trenches 1 and 2.

Should you have any questions or require any additional information, please do not hesitate to contact me.

Very truly yours,
Fisher, Collins & Carter, Inc.

Stephanie Tuite
Stephanie Tuite, RLA, PE, LEED AP BD&C

Hand carry copy to
Health Dept. DED
Reviewer contact H.D.
FOR comment Response
Back TO DED.
THE D.E.D. Reviewer is
Jaxesh Pancholi.

Coordinate comments by email
10/7/15

Chad
Edmondson

14290
Clerk of the Circuit Court for
Howard County
Land Records/Licensing

Trigade/ph
RD.

The Thomas Dorsey Building
9250 Bendix Road
Columbia, MD 21045
410-313-5850

=====

LR - Agreement Recording Fee		
	1x 20.00	20.00

Grantor/Grantee Name: HOMEWOOD
Reference/Control #: 89

=====

LR - Agreement Surcharge		
	1x 40.00	40.00

=====

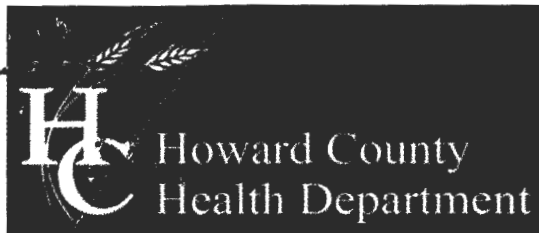
SubTotal:		60.00
Total:		60.00

=====

REV-Check-BOA		60.00
Number : 4456		

07/21/2015 11:27 CC13-TR
#4568099 /396/109
***** DUPLICATE #001 *****

07/21/2015 11:28 CC13-TR
Thank you for visiting us today



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Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

OPERATION AND MAINTENANCE AGREEMENT FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM HAVING AN ADVANCED PRE-TREATMENT SYSTEM^e

THIS AGREEMENT is made this 14th day of July, 2015 among Homewood Properties, LLC, hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner or contract owner of a parcel of land located at 14290 Triadelphia Road, in the 4th Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber 14715 Folio 33.

WHEREAS, The Lot is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013. The pre-treatment device being installed is HOOT H-600 BNR.

NOW, THEREFORE, the parties hereto agree as follows:

A. Owner hereby grants to the County the right to enter upon the Lot at any reasonable time for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County to develop accurate and thorough test results.

B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.

C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.

D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.

E. This agreement shall run with the land and upon Owner's taking title to the Lot shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Lot that the system shall require



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Maura J. Rossman, M.D., Health Officer

OPERATION AND MAINTENANCE AGREEMENT FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM HAVING AN ADVANCED PRE-TREATMENT SYSTEM^e

THIS AGREEMENT is made this 21st day of July, 2015 among Homewood Properties, LLC, hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner or contract owner of a parcel of land located at 14290 Triadelphia Road, in the 4th Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber 14715 Folio 33.

WHEREAS, The Lot is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013. The pre-treatment device being installed is HOOT H-600 BNR.

NOW, THEREFORE, the parties hereto agree as follows:

A. Owner hereby grants to the County the right to enter upon the Lot at any reasonable time for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County to develop accurate and thorough test results.

B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.

C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.

D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.

E. This agreement shall run with the land and upon Owner's taking title to the Lot shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Lot that the system shall require

maintenance or other attention. Upon taking title to the Lot, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement may be voided at any time at the discretion of the County.

H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

Bev Nye 7/21/2015
Howard County Health Department

[Signature] 7.15.15
Owner #1 Signature Date

Owner #2 Signature Date

GARY B. SMITH - MEMBER - HOMEWOOD
Owner #1 Print Name PROPERTIES LLC

Owner #2 Print Name

Buyer #1 Signature Date

Buyer #2 Signature Date

Buyer #1 Print Name

Buyer #2 Print Name

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Friday, July 24, 2015 10:10 AM
To: 'Stephanie Tuite'
Subject: RE: SDP-15-010 Homewood Properties

The perf spacing and lateral length are incorrect based on the info provided.

T1 length 51' with 11 holes should be: 4.636' spacing and 48.68' lateral length
T2 length 51' with 9 holes should be: 5.66' spacing and 48.17' lateral length
T3 length 46' with 11 holes should be: 4.18' spacing and 43.91' lateral length
T4 length 46' with 9 holes should be: 5.11' spacing and 43.445' lateral length

You can come in to redline the sheet or send a replacement sheet for our signature. Thanks
Jeff

From: Stephanie Tuite [<mailto:Stephanie@fcc-eng.com>]
Sent: Friday, July 24, 2015 9:20 AM
To: Williams, Jeffrey
Subject: RE: SDP-15-010 Homewood Properties

I didn't think you had any comments remaining with the last submission, any idea when this might continue circulation?

Steph

Stephanie Tuite, RLA, PE, LEED AP BD&C
Fisher, Collins & Carter, Inc.

From: Williams, Jeffrey [<mailto:jeffwilliams@howardcountymd.gov>]
Sent: Friday, July 24, 2015 9:11 AM
To: Stephanie Tuite <Stephanie@fcc-eng.com>
Subject: RE: SDP-15-010 Homewood Properties

I have it. It is still in review. Thanks
Jeff

From: Stephanie Tuite [<mailto:Stephanie@fcc-eng.com>]
Sent: Thursday, July 23, 2015 6:09 PM
To: Williams, Jeffrey
Subject: SDP-15-010 Homewood Properties
Importance: High

Jeff,

Has SDP-15-010 been signed off yet? Just trying to get the plan circulated for signature.

Stephanie

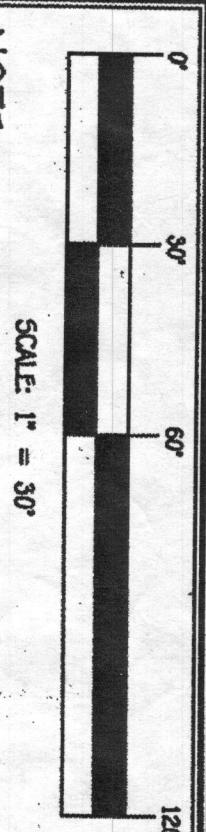
Current Project - Project Markups Listing

SDP-15-010

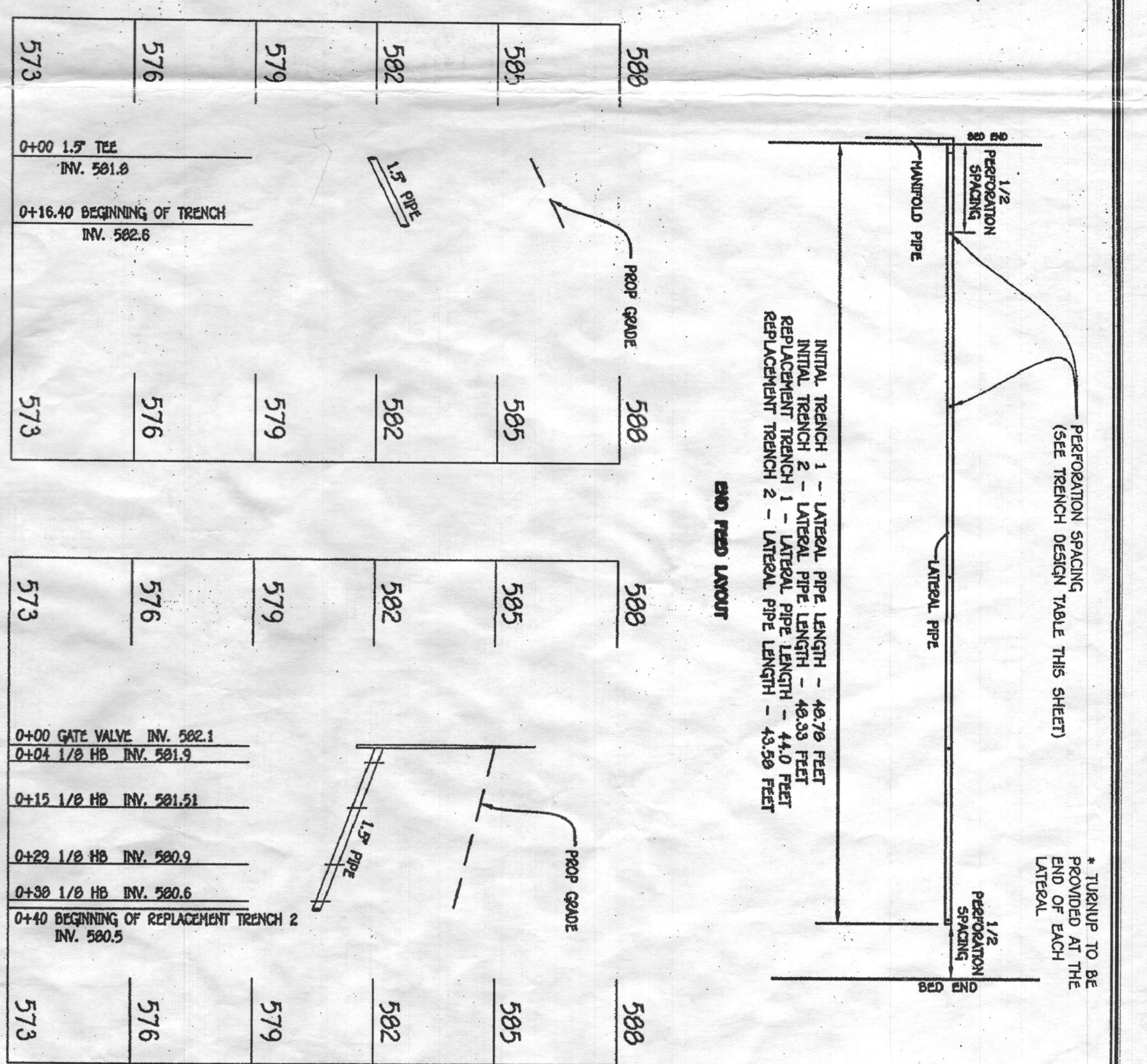
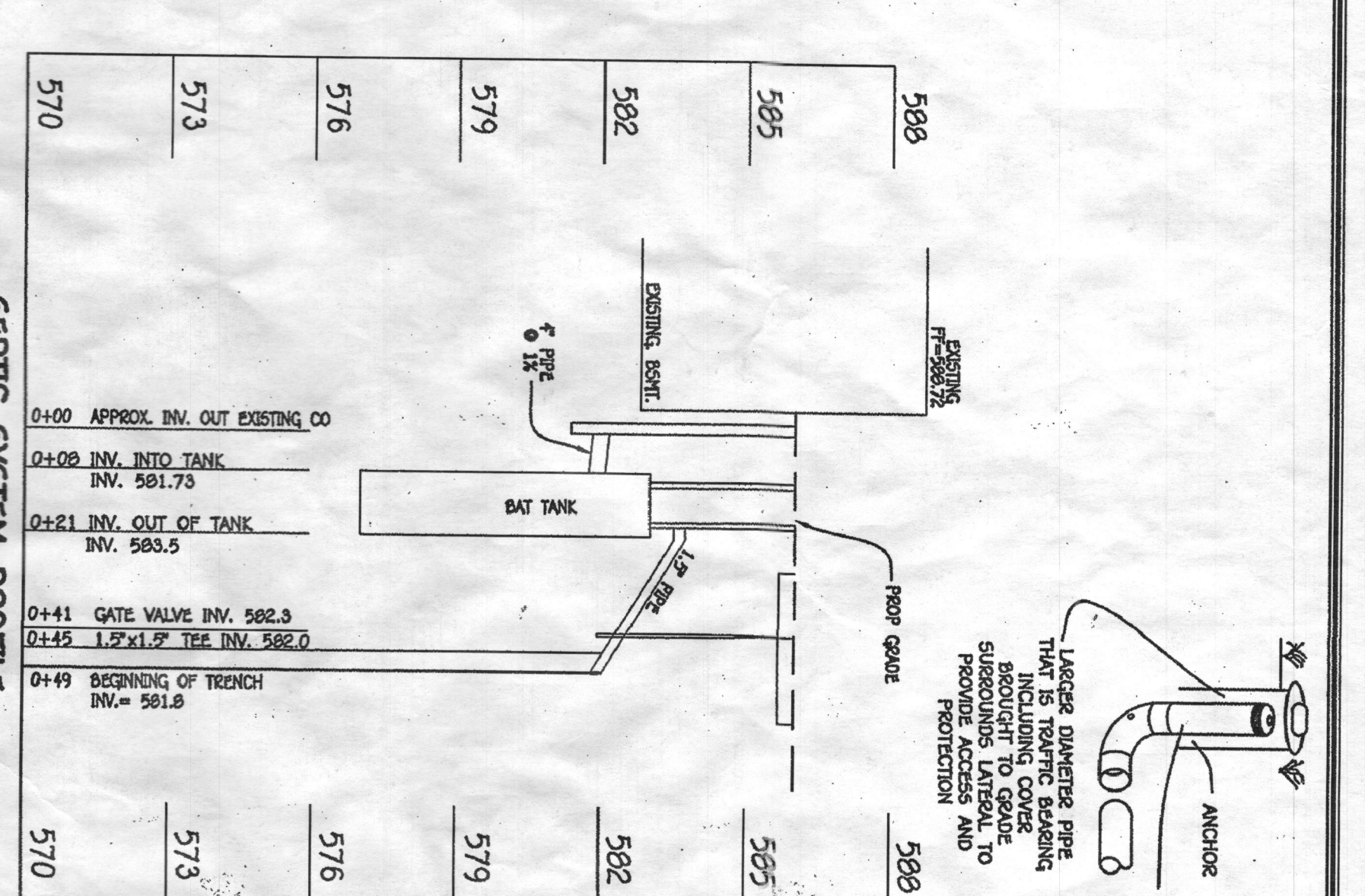
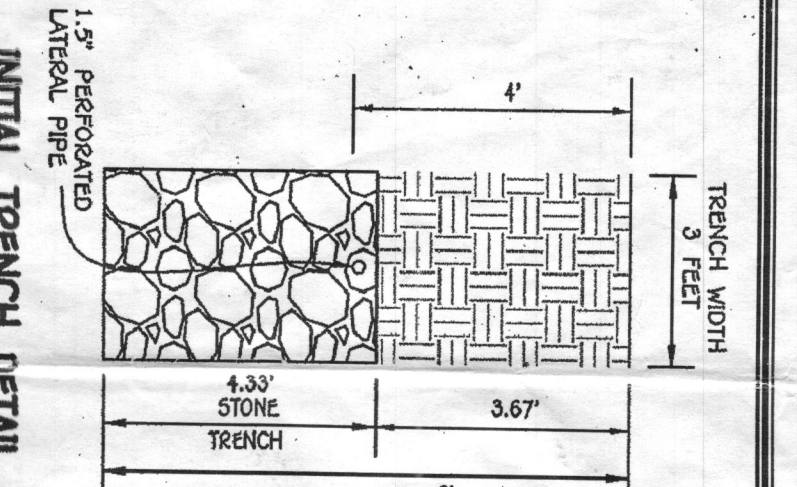
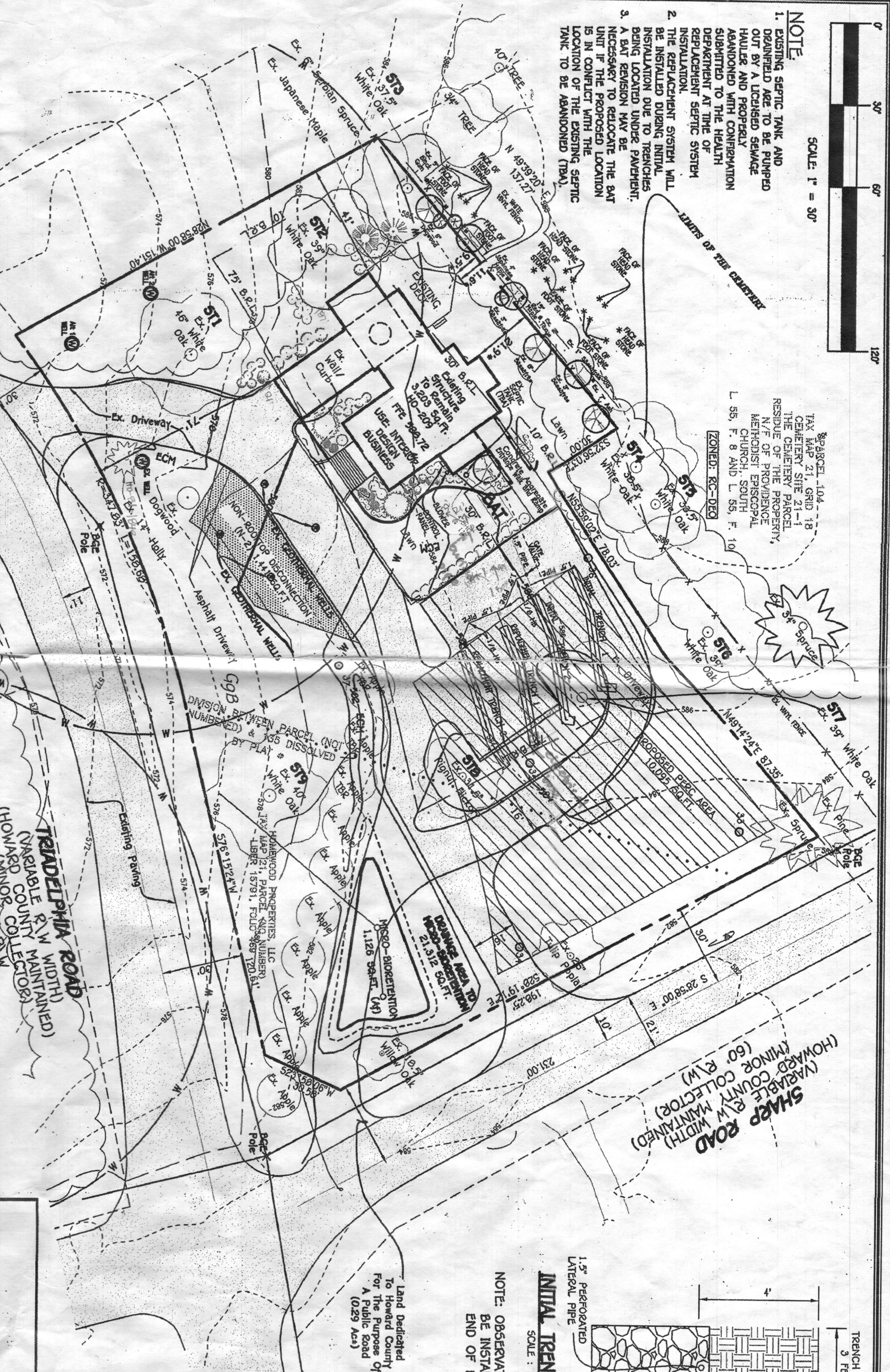
Markup Name	Markup Text	Markup Date	File Name	First Name	Last Name
Jeff Williams	lateral length and perforation spacing is not correct for all trenches based on number of perforations and length of trench provided.	02/20/2015	SDP-15-010 Sheet 5.dwf	Jeff	Williams
Jeff Williams	static head note should state "pump off to highest point in distribution network".	02/20/2015	SDP-15-010 Sheet 5.dwf	Jeff	Williams
Jeff Williams	Add note stating that a BAT plan revision may be necessary to relocate the BAT unit if the proposed location is in conflict with the location of the existing septic tank to be abandoned.	02/20/2015	SDP-15-010 Sheet 5.dwf	Jeff	Williams
Jeff Williams	Include a Health officer signature block on all pages.	02/13/2015	SDP-15-010 Sheet 1.dwf	Jeff	Williams
Jeff Williams	label existing septic tank as to be abandoned	02/13/2015	SDP-15-010 Sheet 2.dwf	Jeff	Williams

SDP-15-010

Markup Name	Markup Text	Markup Date	File Name	First Name	Last Name
Jeff Williams	Include a Health signature block on all pages.	09/24/2014	SDP-15-010 Sheet 1.dwf	Jeff	Williams
Jeff Williams	Revise note 27 to state "Existing well will be utilized. Existing septic system must be abandoned and replaced with new septic system utilizing a BAT unit and a low pressure dosed distribution system. All initial and replacement septic laterals and trenches located under pavement must be installed during initial installation. Septic system must be replaced prior to Health signature of a building permit."	09/24/2014	SDP-15-010 Sheet 1.dwf	Jeff	Williams
Jeff Williams	A record plat combining the twoparcel into one must be signed and recorded prior to Health signature of the site development plan. Alternatively, an easement agreement allowing a portion of the sewage disposal area to be located on the neighboring parcel must be recorded in land records for both parcels.	09/24/2014	SDP-15-010 Sheet 1.dwf	Jeff	Williams
Jeff Williams	label the geothermal wells.	09/24/2014	SDP-15-010 Sheet 2.dwf	Jeff	Williams
Jeff Williams	label the existing c/o as existing septic tank to be abandoned. Show location of existing drainfield and label as to be abandoned. Add note on septic design page stating that existing septic tank and drainfield are to be pumped out by a licensed sewage hauler and properly abandoned with confirmation submitted to the Health Department at time of replacement septic system installation.	09/24/2014	SDP-15-010 Sheet 2.dwf	Jeff	Williams
Jeff Williams	Show proposed BAT unit location. If unit is to be located under pavement, details must be shown for traffic bearing tank.	09/24/2014	SDP-15-010 Sheet 2.dwf	Jeff	Williams
Jeff Williams	All details of BAT unit and septic system design must be shown on the SDP. Everything required on a BAT plan must be included.	09/24/2014	SDP-15-010 Sheet 2.dwf	Jeff	Williams
Jeff Williams	Details and explanation of daily wastewater flow from	09/24/2014	SDP-15-010	Jeff	Williams

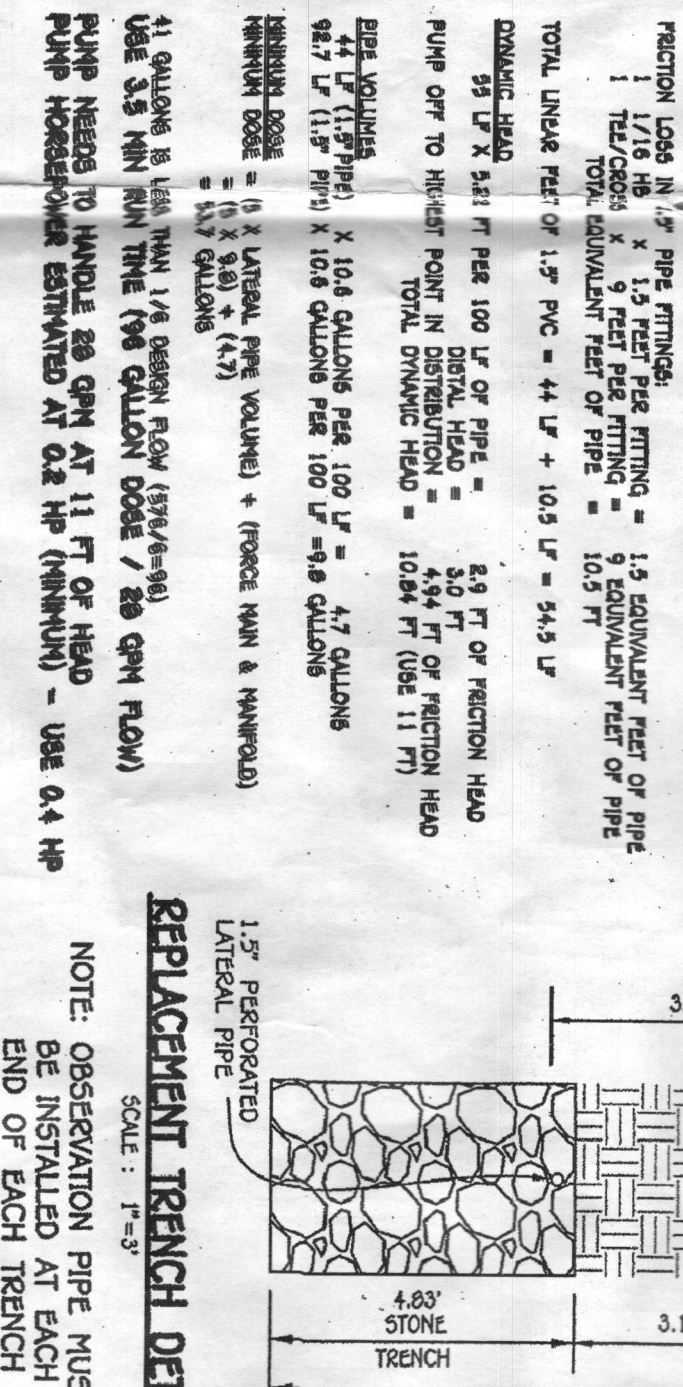


- NOTE:**
1. EXISTING SEPTIC TANK AND PUMP ARE TO BE REMOVED AND REPLACED WITH THE NEW SYSTEM.
 2. THE REPLACEMENT SYSTEM WILL BE INSTALLED IN THE EXISTING TANK LOCATION.
 3. A BAT REVISION MAY BE REQUIRED TO ACCOMMODATE THE NEW SYSTEM.
 4. THE LOCATION OF THE EXISTING SEPTIC TANK TO BE ABANDONED (TBA).

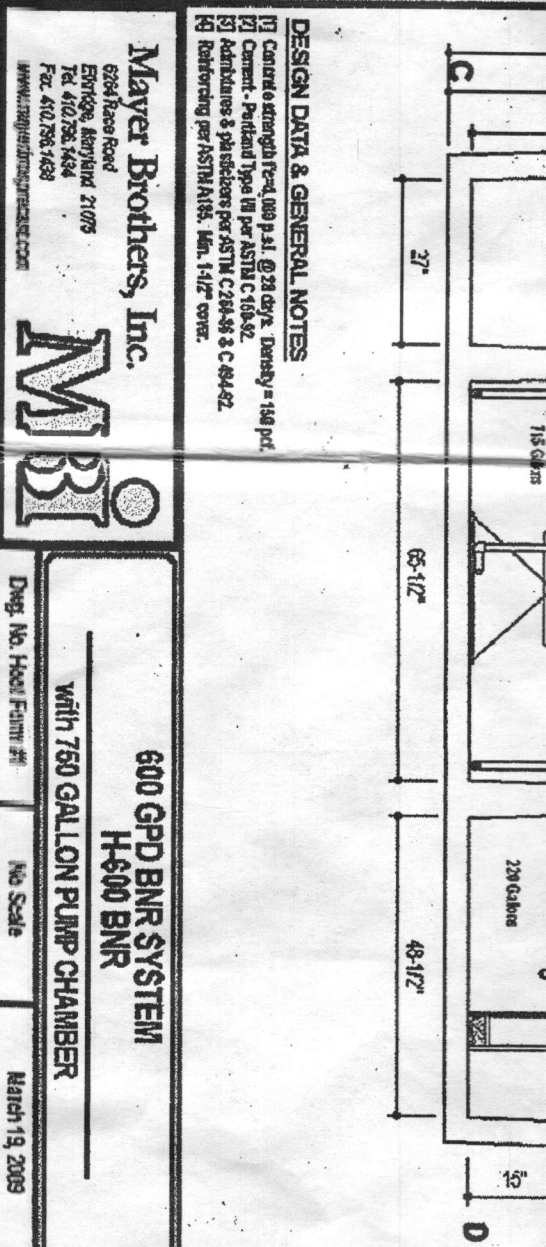


LOW PRESSURE DRAINING SYSTEM (REPLACEMENT TRENCHES)

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1/2" PRECAST CONCRETE PIPE	100	LINEAL FEET	1.50	150.00
2	1/2" PRECAST CONCRETE MANHOLE	1	UNIT	100.00	100.00
3	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
4	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
5	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
6	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
7	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
8	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
9	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
10	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
11	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
12	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
13	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
14	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
15	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
16	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
17	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
18	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
19	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
20	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
21	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
22	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
23	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
24	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
25	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
26	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
27	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
28	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
29	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
30	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
31	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
32	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
33	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
34	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
35	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
36	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
37	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
38	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
39	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
40	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
41	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
42	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
43	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
44	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
45	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
46	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
47	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
48	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
49	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
50	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
51	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
52	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
53	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
54	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
55	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
56	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
57	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
58	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
59	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
60	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
61	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
62	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
63	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
64	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
65	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
66	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
67	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
68	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
69	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
70	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
71	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
72	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
73	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
74	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
75	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
76	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
77	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
78	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
79	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
80	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
81	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
82	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
83	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
84	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
85	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
86	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
87	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
88	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
89	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
90	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
91	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
92	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
93	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
94	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
95	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
96	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
97	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
98	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
99	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00
100	1/2" PRECAST CONCRETE TRENCH	100	LINEAL FEET	1.50	150.00

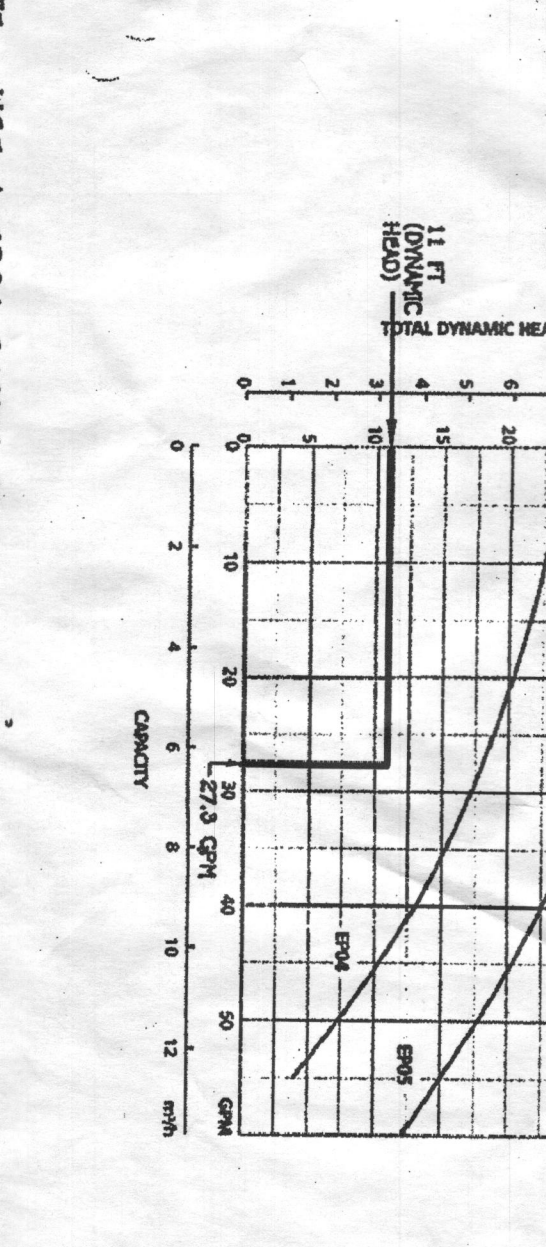


- PAI NOTES:**
1. ANY CHANGE TO THE LOCATION OR DEPTH TO ANY COMPONENT MUST BE APPROVED BY THE ENGINEER AND THE HOMEWOOD PROPERTIES, LLC.
 2. THE HANNOVER COVER OVER THE BAT PUMP IS REQUIRED.
 3. THE HANNOVER COVER OVER THE BAT PUMP IS REQUIRED.
 4. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 5. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 6. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 7. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 8. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 9. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 10. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 11. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
 12. THE BAT PUMP SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.



MODEL INFORMATION

Model No.	Capacity	Material	Notes
1000	100 GPD	Concrete	Standard Model
1500	150 GPD	Concrete	Standard Model
2000	200 GPD	Concrete	Standard Model
2500	250 GPD	Concrete	Standard Model
3000	300 GPD	Concrete	Standard Model
3500	350 GPD	Concrete	Standard Model
4000	400 GPD	Concrete	Standard Model
4500	450 GPD	Concrete	Standard Model
5000	500 GPD	Concrete	Standard Model
5500	550 GPD	Concrete	Standard Model
6000	600 GPD	Concrete	Standard Model
6500	650 GPD	Concrete	Standard Model
7000	700 GPD	Concrete	Standard Model
7500	750 GPD	Concrete	Standard Model
8000	800 GPD	Concrete	Standard Model
8500	850 GPD	Concrete	Standard Model
9000	900 GPD	Concrete	Standard Model
9500	950 GPD	Concrete	Standard Model
10000	1000 GPD	Concrete	Standard Model



INSIDE COUNCIL & CHARTER INC.

14290 TRADEPHIA ROAD
PARCEL NO. 135
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: FEBRUARY, 2015
SHEET 5 OF 5

PROFESSIONAL CERTIFICATION

I, the undersigned, being a duly licensed Professional Engineer in the State of Maryland, do hereby certify that the foregoing is a true and correct copy of the original design and specifications for the above project.

Signature
DATE: 7/17/2015

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS.

HOWARD COUNTY HEALTH DEPARTMENT.

Signature
DATE: 7/17/2015

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