Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B14000567

Building Address: 13249 TALADELPHIA RD.
City: ELLICOTT CITY State: MD Zip Code: 21042
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 2
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SINGLE FAMILY DWELLING
Proposed Use: 16 x 32 MASTER BEDROOM ADDITION
Estimated Construction Cost: $ 80,000 - 512.50 FT
Description of Work: ADDITION WITH BATHROOM, BEDROOM AND LAUNDRY ROOM UNFINISHED BASEMENT. RENOVATE EXISTING KITCHEN
Occupant or Tenant: SAME AS OWNER 16X32
Was tenant space previously occupied? ☐Yes ☐No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: LAUREN MEYERS
Address: 13249 TALADELPHIA RD.
City: ELLICOTT CITY State: MD Zip Code: 21042
Phone: 443-878-5154 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: SAME AS CONTRACTOR.
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: DONSEY KUSTOM CARPENTRY INC
Contact Person: JOSEPH H DONSEY
Address: 14767 JUSTIFIABLE CT.
City: WOODBINE State: MD Zip Code: 21797
License No.: MHIC 68878
Phone: 443-307-7043 Fax: 410-489-7075
Email: FOURWHEELING1@AOL.COM

Engineer/Architect Company: JNA ARCHITECTURE LLC
Responsible Design Prof.: JONATHAN RIVERA
Address: _____
City: WOODBINE State: MD Zip Code: 21797
Phone: 443-226-5745 Fax: _____
Email: WWW.JNA-DESIGN.COM

Commercial Building Characteristics	Residential Building Characteristics
Height:	☒SF Dwelling ☐ SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1st floor: 24 X 52
	2nd floor:
Area of construction (sq. ft.):	Basement:
	☐ Finished Basement
Use group:	☐ Unfinished Basement
	☒ Crawl Space
Construction type:	☐ Slab on Grade
☐ Reinforced Concrete	No. of Bedrooms: 2
☐ Structural Steel	Multi-family Dwelling
☐ Masonry	No. of efficiency units:
☐ Wood Frame	No. of 1 BR units:
☐ State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
Roadside Tree Project Permit	Footings:
☐Yes ☐No	Roof:
Roadside Tree Project Permit #	☐ State Certified Modular
	☐ Manufactured Home

Utilities	
Water Supply	
☐ Public	
☑ Private	
Sewage Disposal	
☐ Public	
☒ Private	
Electric: ☒Yes ☐ No	
Gas: ☐ Yes ☒No	
Heating System	
☒ Electric ☐ Oil	
☐ Natural Gas ☐ Propane Gas	
☐ Other:	
Sprinkler System:	
☐ Yes ☒No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____ Print Name JOSEPH H DONSEY

Email Address FOURWHEELING1@AOL.COM Date 2/27/14

Title/Company PRESIDENT DONSEY KUSTOM CARPENTRY INC

RECEIVED
FEB 28 2014
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

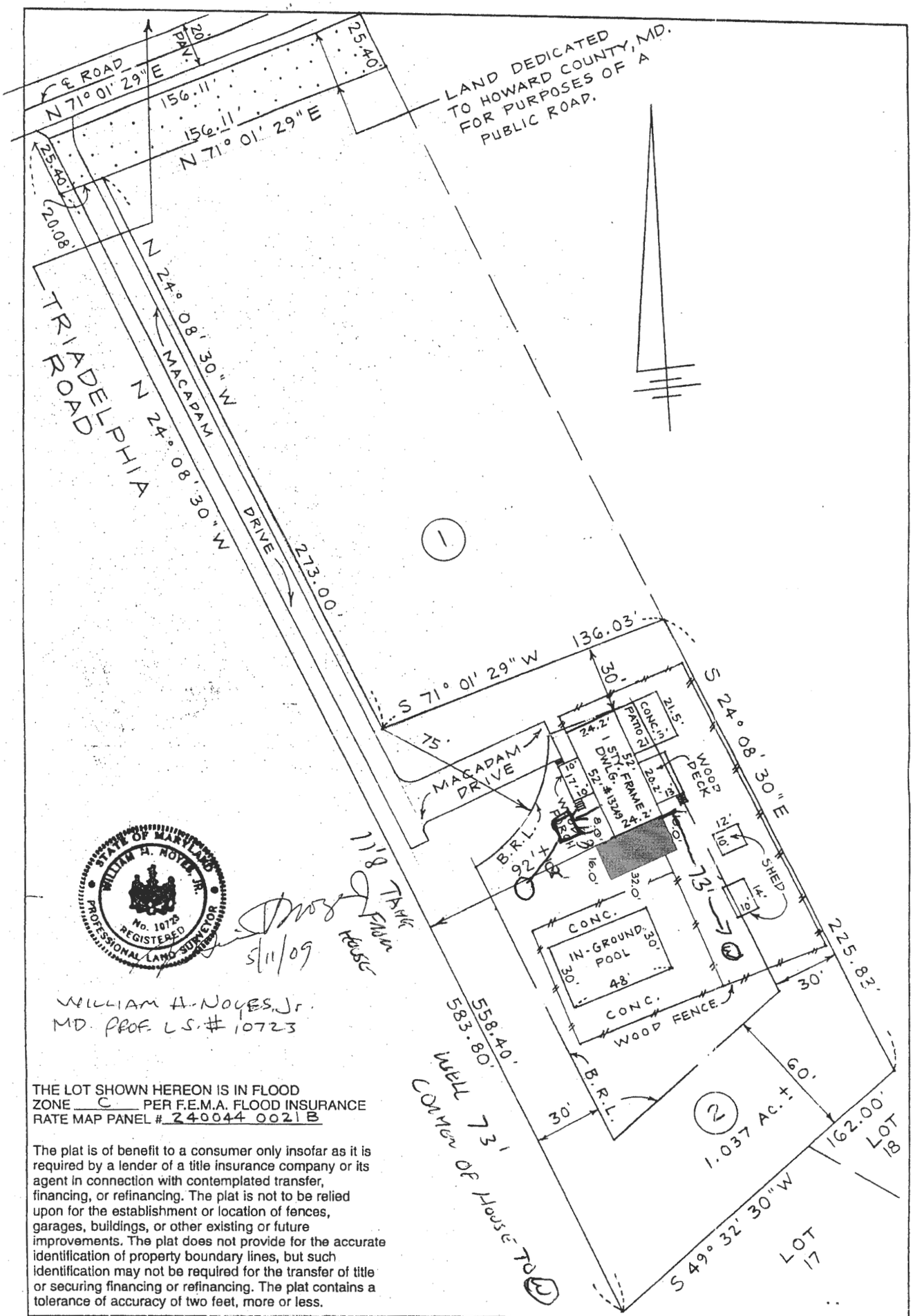
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

Is Sediment Control approval required for issuance? ☐ Yes ☐ No
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	☐ Yes ☐No
Is Entrance Permit Required?	☐ Yes ☐No
Historic District?	☐ Yes ☐No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	$ 25
Permit Fee	$
Tech Fee	$
Excise Tax	$
PSFS	$
Guaranty Fund	$
Add'l per Fee	$
Total Fees	$
Sub-Total Paid	$
Balance Due	$
Check	# 6560

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA



WILLIAM H. NOYES, Jr.
MD. PROF. L.S. # 10723

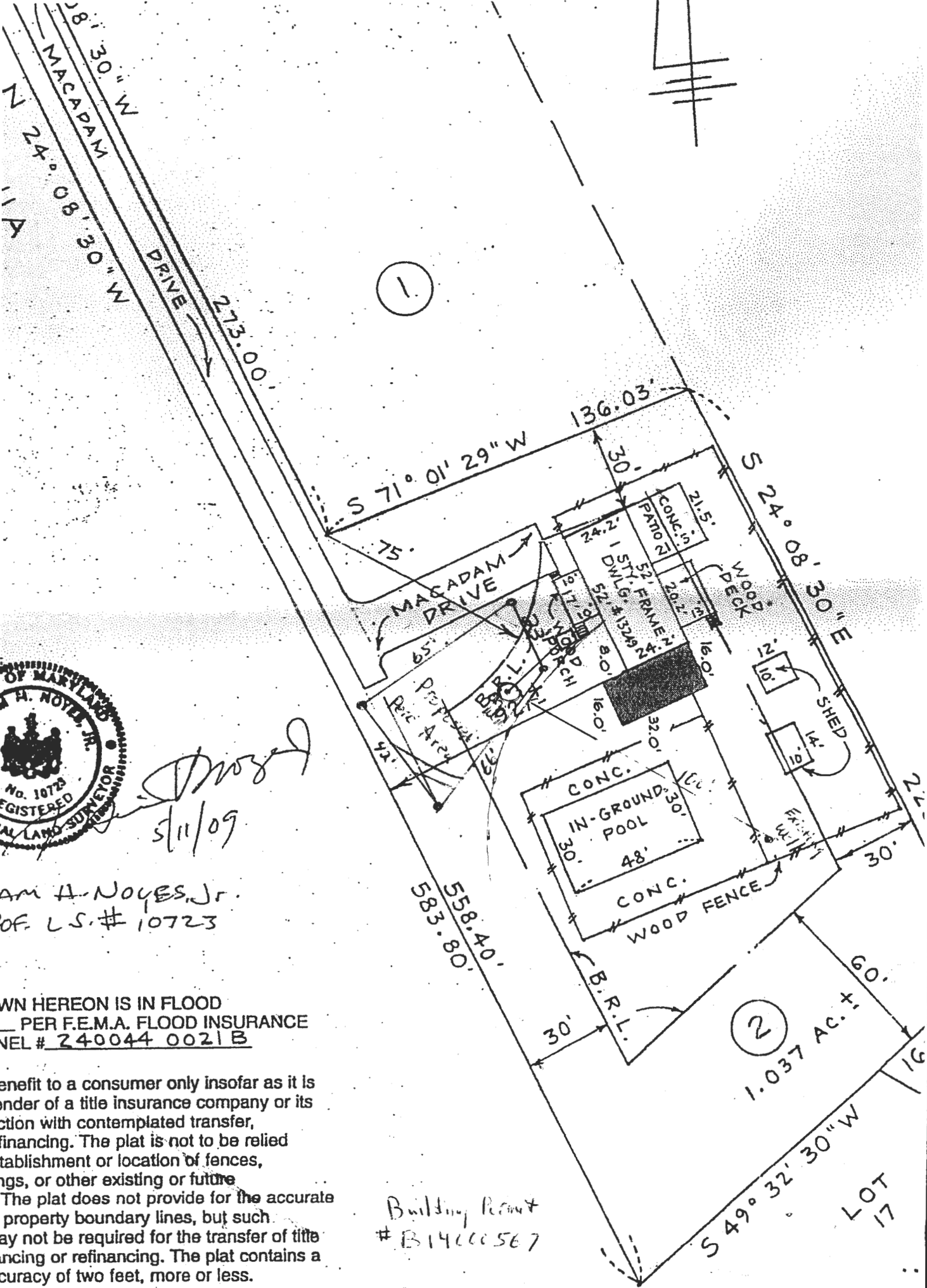
THE LOT SHOWN HEREON IS IN FLOOD ZONE C PER F.E.M.A. FLOOD INSURANCE RATE MAP PANEL # 240044 0021 B

The plat is of benefit to a consumer only insofar as it is required by a lender of a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing. The plat contains a tolerance of accuracy of two feet, more or less.

HICKS ENGINEERING ASSOCIATES, INC.
ENGINEERS, SURVEYORS & PLANNERS
200 EAST JOPPA ROAD – SUITE 402
TOWSON, MARYLAND, 21286
TELEPHONE: (410) 494-0001

LOCATION DRAWING OF
#13249 TRIADELPHIA ROAD
LOT 2 ~ "LOTS 1 AND 2 – ALBERT J. KAPPES PROPERTY" PLAT # 4253
HOWARD COUNTY, MD.
DEED REF: 10403/520

DATE: 4/22/09 | SCALE: 1" = 40' | FILE: 27471



OF MARYLAND
H. NOYES, JR.
No. 10723
REGISTERED
LAND SURVEYOR

5/11/09

am H. Noyes, Jr.
of L.S. # 10723

WN HEREON IS IN FLOOD
__ PER F.E.M.A. FLOOD INSURANCE
NEL # 240044 0021 B

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Building Permit
B14000567

HICKS ENGINEERING ASSOCIATES, INC.
ENGINEERS, SURVEYORS & PLANNERS
200 EAST JOPPA ROAD – SUITE 402
TOWSON, MARYLAND, 21286
TELEPHONE: (410) 494-0001

LOCATION DRAWING OF
#13249 TRIADELPHIA ROAD
LOT 2 ~ "LOTS 1 AND 2 – ALBER
KAPPES PROPERTY" PLAT # 4
HOWARD COUNTY, MD.
DEED REF: 10403 / 520

DATE: 4/22/09 | SCALE: 1" = 40' | FILE: 27

ALBERT

Howard County Health Department

Office of the Health Officer
8930 Stanford Drive, MD 21045
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

DATE: March 19, 2014

TO: DORSEY KUSTOM CARPENTRY INC.
Via E-mail: FOURWHEELING1@AOL.COM

RE: **Building Permit # B14000567**
13249 Triadelphia Road
Ellicott City, Maryland 21042

Mr. Dorsey,

Further review is contingent upon submission of a revised building plan showing the following:

- Floor plans for the existing house and proposed addition.
- Plan must be to scale with septic system and all of its components shown on plan.
- Your septic system may have to be upgraded to accommodate the new addition and that decision will be based on the final review of the floor plans and the current septic system conditions.
- As of January 1, 2013, all new construction is required to use the "Best Available Technology" (BAT) for septic installation. Before building permit approval, a BAT site plan must be submitted along with your building application and building plan.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,
Dana Bernard

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, April 02, 2014 4:14 PM
To: 'FOURWHEELING1@AOL.COM'
Subject: 13249 Triadelphia Road

DATE: April 2, 2014

TO: DORSEY KUSTOM CARPENTRY INC.
Via E-mail: FOURWHEELING1@AOL.COM

RE: **Building Permit # B14000567**
13249 Triadelphia Road
Ellicott City, Maryland 21042

Mr. Dorsey,

I have received floor plan for the proposed addition and other supporting documents. Your floor plans reflect **4 bedrooms** and your current septic system cannot support your proposed addition. Our records indicate that your file is incomplete and we will have to do percolation testing to establish a 10,000 square foot septic system. In addition to percolation testing, a percolation certification plan will be required to process your building permit. A new 2000 gallon tank will also be required and based on the information you have presented, it appears as if you will fall into our category of the new laws implemented January 1, 2013. As of January 1, 2013 a person may not install or have installed an on-site sewage disposal system (OSDS) unless the OSDS utilizes Best Available Technology for any of the following reasons:

1. **New construction in either the Chesapeake Bay Watershed or the Atlantic Coast watershed.**
2. **New construction in any watershed of a nitrogen impaired body of water; or**
3. **A replacement system to serve a property in the Chesapeake Bay critical area or the Atlantic Coastal critical areas.**

Your property falls under the category of **new construction** which includes the construction of an On Site Disposal System for a new home or non-residential building. New construction also includes any alteration to an existing home that requires a building permit review by the Howard County Health Department. The Howard County Health Department has determined that the existing OSDS is not adequate and needs to be upgraded. The review of the existing OSDS included the following:

1. **Tank adequately sized and of water tight construction;**
2. **Absorption system is adequately sized; and**
3. **System is properly designed and not a public health concern.**

Please see the Howard County Health Department website, Bureau of Environmental Health Well and Septic Program page for a link to the Maryland Department of the Environment list of approved BAT systems. There is also a link to information on the Bay Restoration Fund; however BRF funding is currently not available for new construction. BAT site plan requirements are available on the same page.

Your building permit will be placed "on hold" until all Howard County Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

Thank you & Have a*´¨)
¸.·´¸.·*´¨) ¸.·*¨)
(¸.·´ (¸.·´ * Wonderful Day !

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 4/4/14

To: PLAN REVIEW + HEALTH DEPARTMENT
(Person's Name and Division)

From: JOSEPH DORSEY DORSEY KUSTOM CAB. (443) 309-7043
(Your Name, Company Name and Telephone Number)

Subject: Project name LAUREN MEYERS

Project site address 13249 TRIDELPHIA RD. ELK. MD 21042

Permit Number B14000567 **SDP #** _____

Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

____ Letter of response to Howard County plan review code letter

__X__ Revised plans and/or revised details: When submitting for a complete **re-review, duplicate sets shall be submitted.**

____ Structural steel certification Per health - revised to show a study - not a bedroom.

____ Energy conservation calculations

____ Certification for _____ (be specific).

____ Copies of _____ (be specific).

____ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____

____ Other _____

Is there anyone else that should be contacted regarding this project if there are questions?

If so, please list that person's name and telephone number below:

_____ (___) _____
(Person's name) (Telephone number)

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY <u>SIGNED AND SEALED</u>, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT <u>IS</u> READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A <u>MINIMUM OF FIVE (5) WORKING DAYS</u> FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

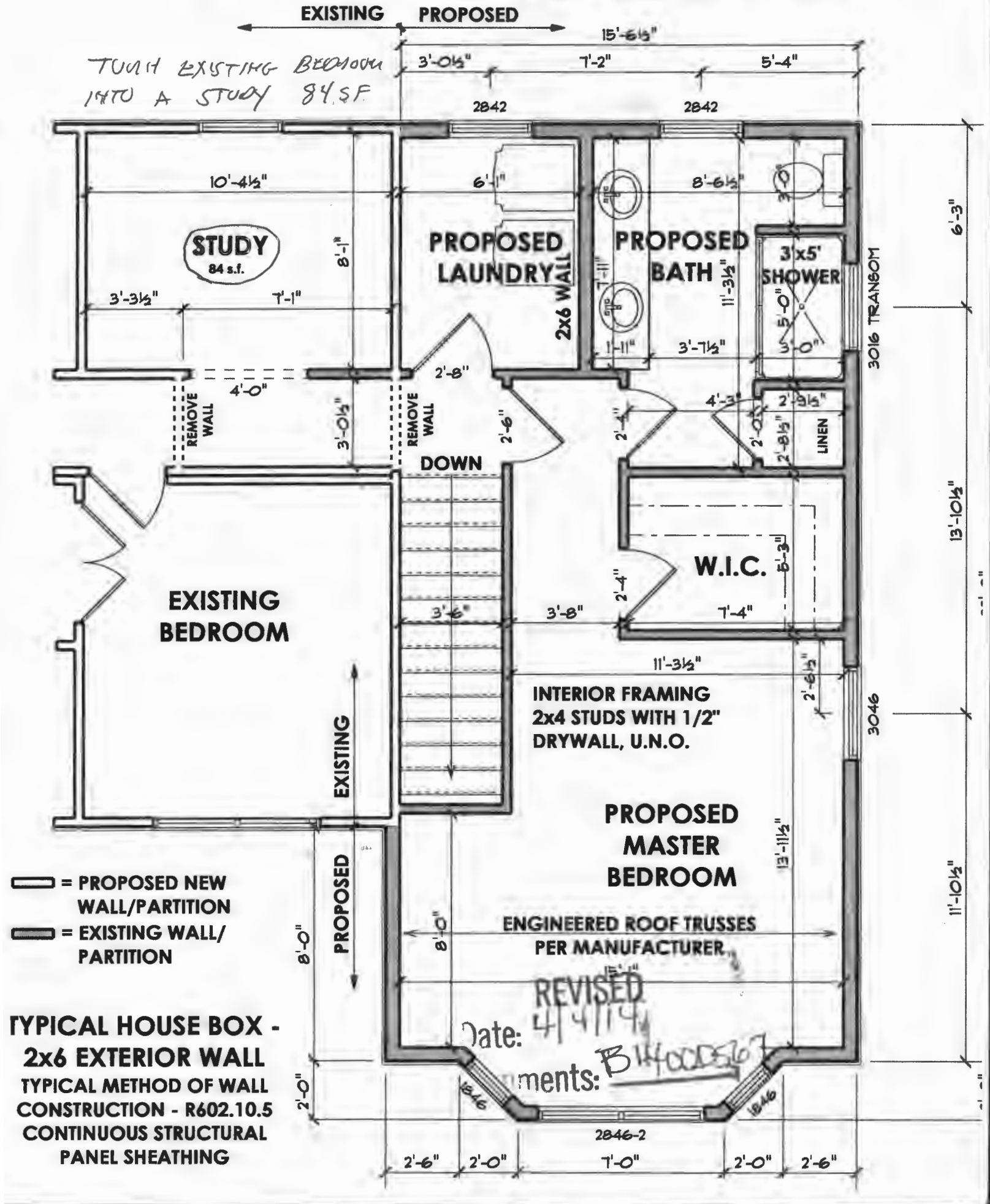
Received by _____ DIFB

white: Plan Review Division
yellow: Applicant
pink: Permit Division

t:\Updated forms\transmit.frm - Rev. 5/08

B14000567 ADDRESS 13249 TALBOTHIA RD. LEC. MD 21042

ALL DIMENSIONS TO BE VERIFIED IN FIELD



= PROPOSED NEW WALL/PARTITION

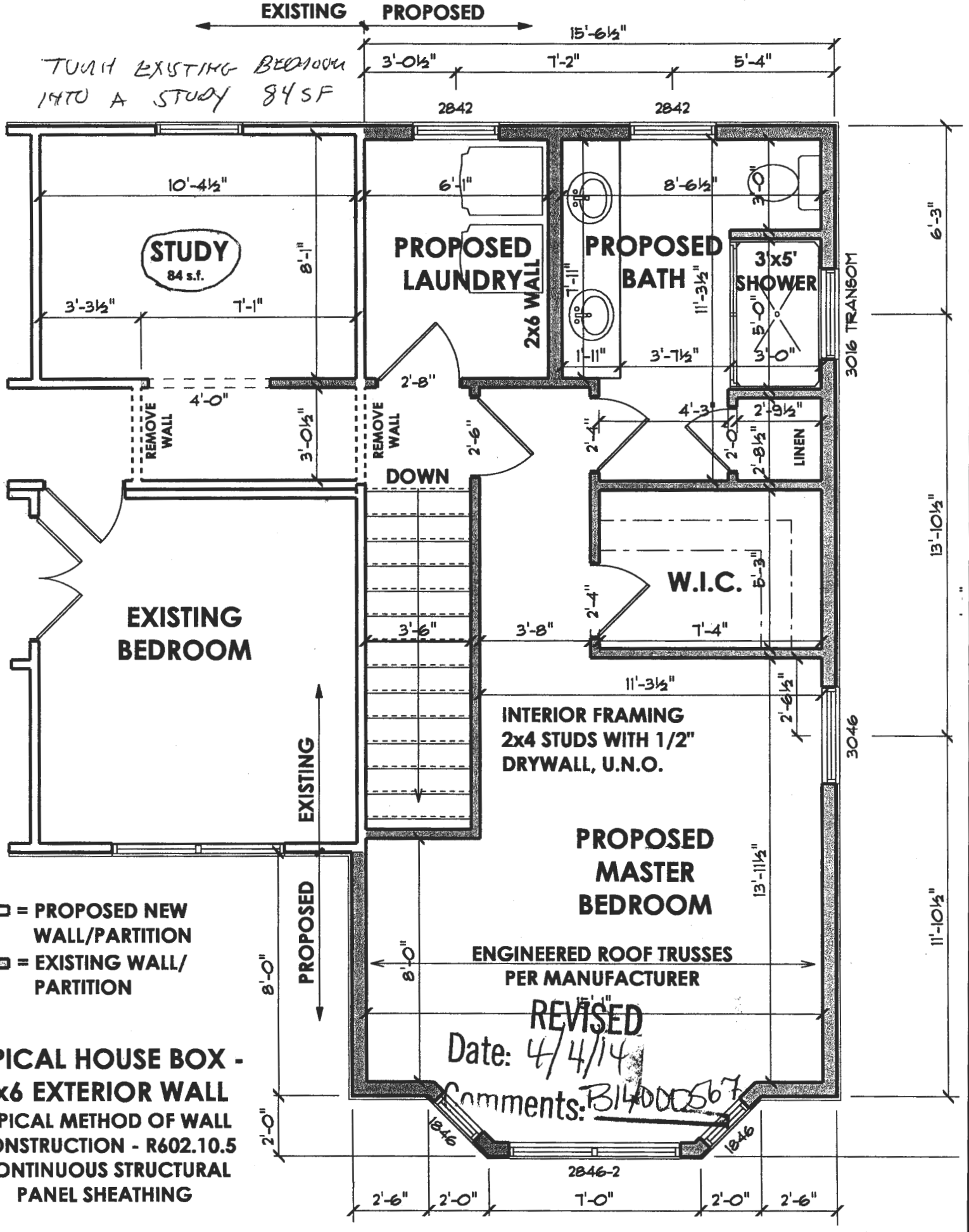
= EXISTING WALL/ PARTITION

TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL

TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5 CONTINUOUS STRUCTURAL PANEL SHEATHING

B14000567

ALL DIMENSIONS TO BE VERIFIED IN FIELD

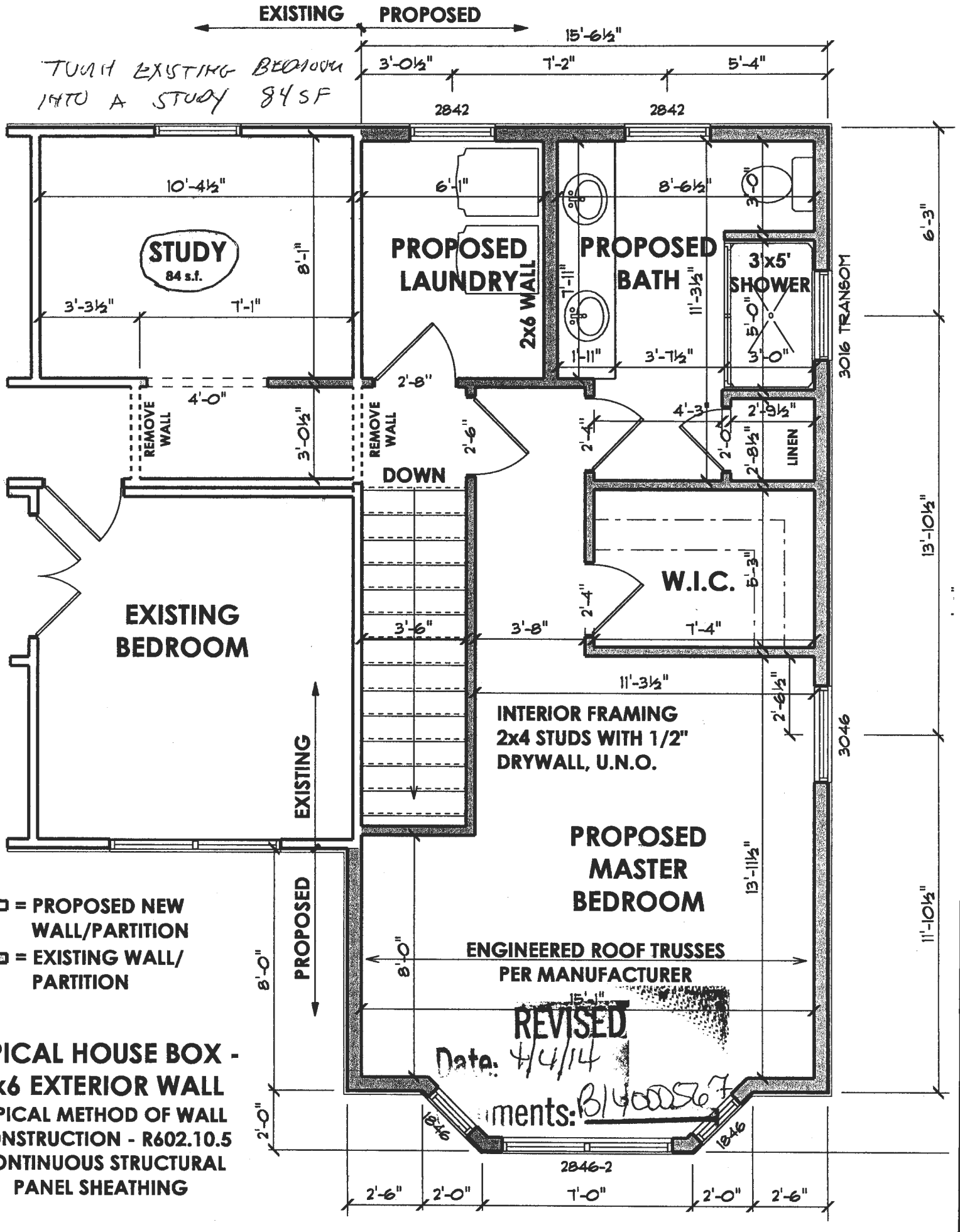


TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL

TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5 CONTINUOUS STRUCTURAL PANEL SHEATHING

B14000567 Address 13477 [illegible]

ALL DIMENSIONS TO BE VERIFIED IN FIELD



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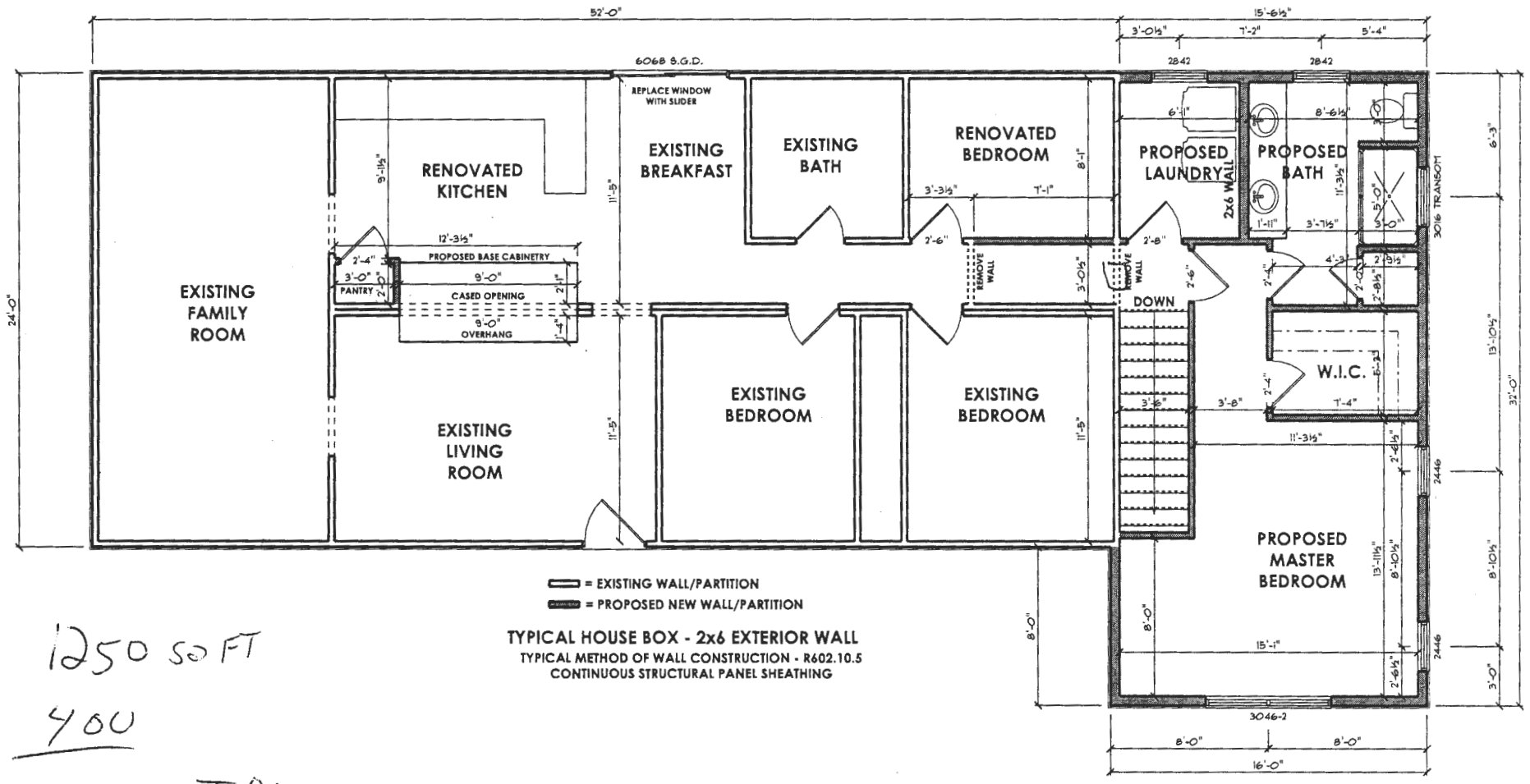

1250 SQ FT

400

1650 TDC


DKC
Joseph H. Dorsey
443-309-7043
MHIC #68878
MHBL #6367
Dorsey Kustom Carpentry, Inc.
Homes • Additions • Basements
Bathrooms • Kitchens
BBB

IECC CODE COMPLIANCE

Climate Zone 4
Compliance Method
- Mandatory and Perscriptive Provisions

Exterior Frame Wall Construction
- 2x6 Studs @ 16" o.c.
- R-21 Kraft faced batt insulation
- 7/16" O.S.B. (continuous)
- Housewrap

Attic Insulation
- R-49

Basement Wall Insulation
- R-13/R-10 Foil Faced Continuous Batts Full Height extending from floor above to finish grade level and then vertically or horizontally an additional 2'-0"

Floor Insulation over Unconditioned Space
- R-38 batt insulation

Window u-Value/SHGC
- U-Value = .34
- SHGC = .31

Slab on Grade Floors less than 12" below grade
- R-10 Rigid Foam Board under slab extending 2'-0" vertically or 2'-0" horizontally

Attic Access
- Access Scuttle will be weatherstripped and insulated R-49

Building Thermal Envelope (air leakage)
- Exterior walls and penetrations will be sealed per this section of the 2012 IECC with caulk, gaskets, weatherstripping or an air barrier of suitable materail

Building Envelope Tightness Test
- Building envelope tightness and insulation must meet the inspection criteria listed in table 402.4.2. A "Blower Door Air Infiltration Test" shall be performed. See also Section 4303.4 of the 2012 IRC.

Fireplace
- All wood burning masonry fireplaces will have gasketed doors and outdoor combustion air. Gasketed doors are not required for prefabricated units.

Recessed Lighting
- Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage.

Thermostat
- All dwelling units will have at least 1 programmable thermostat for each separate heating and cooling system per 2012 IECC section 403.1
- Where a heat pump system having supplementary electric resistance heat is used the thermostat shall prevent the supplementary heat from coming on when the heat pump can meet heating load.

Mechanical Duct Insultation
- Supply ducts in attic R-8 minimum
- Supply ducts outside of conditioned spaces R-8 minimum
- All other ducts except those located completely inside the building thermal envelope R-6 minimum. Ducts located under concrete slabs R-6 minimum

Duct Sealing
- All ducts, air handlers, filter boxes will be sealed. Joints and seams will comply with section M1601.4.1 of the IRC.
- A duct tightness tess ("Duct Blaster" duct total leakage test) will be performed on all homes and shall be verified by either a post construction test or a rough-in test. Duct tightness test is not required if the air handler and all ducts are located within the conditioned space.

Mechanical Ventilation
- Outdoor (make-up) air will be brought into the home thru a duct with an automatic OR gravity damper.

Equipment Sizing
- All furnaces will be 80% efficient furnaces minimum

Lighting Equipment
- A minimum of 75% of all lamps (lights) must be High-Efficact Lamps

Water Heater
- Minimum efficiency established by NAECA

Contractor will be responsible for generating Certificate of Compliance and affixing to electrical panel.

WINDOW SCHEDULE VERIFY PER PLANS

ANDERSEN 400 SERIES - DOUBLE HUNG/CASEMENTS

WINDOW SIZE	MINIMUM ROUGH OPENING (HxW)	CLEAR OPENING AREA	EGRESS WINDOW
1846	56-7/8" x 22-1/8"		NO
2842	52-7/8" x 34-1/8"		NO
2846	56-7/8" x 34-1/8"		NO
3046	56-7/8" x 38-3/4"	5.71 S.F.	YES

DOOR SCHEDULE EXTERIOR ONLY

ANDERSEN 400 SERIES - FRENCHWOOD

DOOR DESIGNATION	MINIMUM ROUGH OPENING (HxW)	DESCRIPTION
6068 SLIDER	80" x 72"	BASEMENT

PLUMBING FIXTURE TAB.

FIXTURES	QUANTITY	FIXTURES	QUANTITY
SINGLE BOWL SINKS	1	HOSE BIB	2
TOILETS	1		
SHOWER	1		

DESIGN CRITERIA

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA - table 301.2 (1)

GROUND SNOW LOAD (lbs./s.f.)		30
WIND PRESSURE (pounds per square foot)		17 +/- (90 m.p.h.)
SEISMIC CONDITION BY ZONE		B
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	30
	TERMITE	MODERATE
	DECAY	MODERATE
WINTER DESIGN TEMP. FOR HEAT. FACILITIES		13°
RADON RESISTANT CONSTRUCTION REQ		
FLOOD ZONE		

ITEMS OF PARTICULAR NOTE

- Contractor, sub-contractor or supplier shall verify all job conditions and measurements prior to commencing work or ordering materials. Discrepancies between dimensions shown on drawings and actual field conditions should be brought to the Architect and Owner's attention immediately for clarification prior to proceeding with work. These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference. If there are any conflicts, discrepencies or ambiguity with dimensioning the Contractor shall notify the Architect immediately for clarification. Field verify ALL proposed dimensions

- As a matter of record, JRArchitecture, LLC shall not be responsible for construction means and methods or omissions by the contractor, sub-contractor or any other persons performing work in accordance with these drawings.

- On this Project, the Contractor shall have sole supervision over, and exclusive responsibility for: demolition and temporary construction; construction means, methods, techniques, sequences, procedures, safety precautions and safety programs in connection with all demolition and construction work; and protection of persons and property during construction until final completion is attained. Services performed by Architect or its consultants during construction, if any, are intended to promote the goal that, in general, the construction work, when fully completed, will be consistent with the design intent reflected in the permit or construction drawings. Means and methods responsibility always shall be the exclusive responsibility of the Contractor and Contractor shall separately engage specialty engineers or other consultants as required to fulfill this responsibility.

GENERAL FRAMING NOTES

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS NOTED OTHERWISE ON THE PLANS.

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG. FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND MODULUS OF ELASTICITY OF 1,600,000 MIN. UNLESS OTHERWISE NOTED.

ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS AND HEADERS LABELED ON THE PLANS, TO HAVE A Fb RATING OF 2,950 AND MODULUS OF ELASTICITY OF 2,000,000 MIN. UNLESS OTHERWISE NOTED. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

ALL STRUCTURAL OPENINGS TO RECEIVE MIN. 3-2x10 HEADERS W/ 1/2" RIGID INSULATION FILLER & 1 JACK STUD EACH END UNLESS NOTED OTHERWISE.

PROVIDE SOLID 2x10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOIST BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

PROVIDE ADEQUATE CLEARANCE @ PLUMBING STACKS AS REQ.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ARCHITECT or ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ANY VARIATION FROM THESE PLANS THAT WILL REQUIRE CHANGES TO THE STRUCTURAL MEMBERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

WHERE APPLICABLE, REFER TO ENGINEERED LUMBER MFR'S SPECIFICATIONS FOR MULTI-MEMBER INSTALLATION & CONNECTION REQUIREMENTS

FASTEN MULTIPLE MEMBER JACKS TOGETHER W/ MIN. 10d NAILS @ 8" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. PROVIDE NAILING W/IN 3" OF TOP OR BOTTOM OF MEMBERS.

FASTEN MULTIPLE MEMBER BEAMS TOGETHER W/ MIN 16d NAILS @ 12" O.C. STAGGERED ALONG ENTIRE LENGTH OF MEMBERS. TWO ROWS REQUIRED FOR DEPTHS UP TO 12". THREE ROWS REQUIRED FOR DEPTHS OF 12-18". PROVIDE NAILING W/IN 22" OF EACH END OF MEMBERS. FOR BEAMS 7" OR GREATER IN WIDTH PROVIDE BOLTED CONNECTION W/ ASTM GRADE A-307 (OR BETTER) 1/2" DIA. BOLTS IN TWO ROWS 3" FROM EACH END OF BEAM @ 24" O.C. STAGGERED.

DRAWING LIST

0.01	COVER SHEET
0.02	GENERAL INFO
1.01	ELEVATIONS
2.01	PLANS
3.01	SECTIONS
3.51	BRACING PLANS

AREA INFO

FLOOR	SQUARE FOOTAGE
BASEMENT	458 s.f.
FIRST FLOOR	515 s.f.

CODE INFORMATION

2012 International Residential Code
2011 National Electrical Code
with Local Amendments (NFPS 70)
2012 International Mechanical Code
2012 Life Safety Code
2009 National Standard Plumbing Code Illustra.
2009 National Fuel Gas Code (NFPA 54)
2012 International Energy Conservation Code

CONCACT:
Joe Dorsey
Kustom Carpentry
443-309-7043

Meyers Residence

MASTER BEDROOM ADDITION

13249 Triadelphia Road, Ellicott City, Maryland 21042

REVISIONS
1
2
3

ISSUE DATES:
2-13-14 PERMIT SET

SCALE: 1/4" = 1'-0"

COVER SHEET

0.01

PRINT DATE :
February 26, 2014

MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be installed over 15# felt or approved water repellant sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer, i.e. bay windows, Off-set chimneys, etc..

- Masonry veneer shall be attached and anchored in accordance with the local code requirements.

- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.

- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade B Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 2000 psi.

- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved bituminous material applied at the recommended rate below grade.

- MASONARY LINTELS: Provide lightweight pre-cast lintels for all openings and and recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.

- Use Type "M" mortar for masonry below grade in contact with earth.

- Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-83

- Bottom of all footings shall be located a minimum of 36", (or as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs shall have 6"x6"x10" W.W.M. or control joints. Monolithic turned down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade shall be dampproofed or water proofed using materials and methods approved by local building jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3000 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3000 PSI
- Garage and Exterior Slabs	3500 PSI

(or as per local code)

- Concrete works shall conform to American Concrete Institute Standard 318-83

- All Interior Concrete footings and slabs shall have a minimum 28 Day Compressive Strength of 2500 psi - unless noted otherwise.

- REINFORCING RODS: ASTM A-615 and A-305 MESH: 6x6 – 1.4/1.4 WWF ASTM A-185. Reinforcing in footings is required where variations in soil conditions may exist.

- All interior slabs of 30 FEET or more in any dimension shall have WWF, Control Joints, or Fiber Reinforcemnt.

- Vapor barrier under all slabs EXCEPT garages: 6 MIL Polyethylene, Lap all edges 6", Lay over 4" Gravel bed.

- Exterior Concrete Slabs: 5% to 7% Air Entrained and shall have a minimum 28 Day Compressive Strength of 2500 psi - unless noted otherwise.

- Foundation Walls: Poured in place walls shall have a minimum 28 Day Compressive Strength of 3000 PSI. (SEE 4.01)

WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be engineered by others.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are stamped and certified by a registered engineer and meet TPI manufacturers minimum requirement.

- See drawings for type of floor construction.
  - Tongue and groove floor decking glued and nailed on (SPF #2) 2x8 or 2x10 or 2x12 floor joists at 16" o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.
  - Tongue and groove floor decking glued and nailed on pre-engineered wood joists/trusses at 16"o.c. maximum to meet the American Plywood Association Sturd-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- Structural lumber to have minimum bending stress of 1,200 psi

- All exterior walls are 2x6 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 3-2x10's unless noted otherwise

- Joist hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing at all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All work shall comply to local code.

METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick ties shall be installed as per local code.

- All steel shall conform to ASTM Specs for A-36 Steel.

- All steel designed for maximum bending stress of 24,000 psi

- Metal joist hangers (Standard wood ledger) Shall be used where required at joist without direct bearing and be 18 GA. galvanized steel. Use all nails specified by the manufacturer.

- Veneer ties shall be 1" wide, 22 GA., galvanized steel installed 24" O.C. Horiztonally and 16" O.C. Vertically.

- Steel lintels for all opening and recesses in brick or Brick Faced Masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6"baering at each end. Horizontal leg shall be 3 ½, unless noted otherwise.

- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

L-1	3 ½"x3-1/2"x5/16"	STEEL ANGLE	UP TO 3' OPG.
L-2	4"x 3-1/2"x5/16"	STEEL ANGLE	3' TO 5' OPG.
L-3	5"x 3-1/2"x3/8"	STEEL ANGLE	5' TO 6'-6" OPG.
L-4	6"x3-1/2"x1/2"	STEEL ANGLE	UP TO 9' OPG.
L-5	6"x 4"x5/8"	STEEL ANGLE	UP TO 10'-0"
L-6	8" OR 9"x4"x9/16"	STEEL ANGLE	16' GARAGE

- Lintels shown shall not support any superimposed loads.

- All steel angles in masonry walls are to be flashed and painted.

- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.

- All work shall comply to local code.

DOORS and WINDOWS

- Provide safety glazing as required by local code.

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

SITEWORK

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 2000 PSF. Additional engineering is required if soil bearing capacity is less than 2000 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2' dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and exterior slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required: for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x6 Walls (exterior)
R-38	9"	Crawl Space
R-38	'	Floors exposed to unheated condition
R-49 Batt.	12"	Roof
R-49 Blown	'	Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

- All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

- DAMPPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastometric, vinyl acrylic mastic, 35 Mil. min. thickness or other approved equal.

- SLAB VAPOR BARRIER: 6 Mil. polyethlene sheet where noted on drawings. Overlay all edges 6".

- SILL SEALER: ½" x 5 ½" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.

- Provide approved corrosion-resitive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommeded by window and door manufacturers.

- Slab perimeters exposed to outside or within 30" of grade; 4.5x24", either vertical or horizontal from slab intersection.

- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" Fiberglass based asphalt shingles over 15 pound felt. Eave flashing to a point 24" inside of interior face of wall line may be also installed at the owner discretion.

- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.

- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

  -- Use Group R-4 under the 2012 International Residential Code.

- These plans and notes are the property and sole responsibility of JRArchitecture, Inc. Use of these plans without the written consent of JRArchitecture, Inc. is prohibited.

- These plans are subject to modification as necessary to meet code requirements and or facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for Construction purposes. Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Field verify ALL existing dimensions

DESIGN - LIVE LOADS

- RECOMMENDED MINIMUMS:

- Ground Snow Load	55 psf
- Roof	30 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	60 psf
- Stairs	100 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf
- Guardrails	200' at any point in any direction.

(or as per local code)

SNOW LOADS:
ROOF: : 12.6 PSF
GROUND: : 20.0 PSF
FLAT ROOF: : 14.0 PSF
EXP. FACTOR: : 0.07
IMPORT FACTOR:: 1.0
ATTIC AREAS
UNACCESSIBLE: : 10PSF
ACCESSIBLE: : 20 PSF
WIND LOAD: : 16 PSF (EXPOSURE D)
FLUID PRESSURE: : 30 PCF MAXIMUM

LOADS GREATER THAN 30 PCF REQUIRE FOUNDATION WALLS TO BE ENGINEERED.

STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.
  - Minimum finish width: 36"
  - Minimum finished headroom height: 6'-8"
  - Maximum riser height: 7 3/4"
  - Minimum tread depth: 10"
  - Maximum space between ballisters: 4"
  - Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width of 6" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping room if required by local code. Provide detectors outside each sleeping area within 10'-0' of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.

CONCACT:
Joe Dorsey
Kustom Carpentry
443-309-7043

Meyers Residence

MASTER BEDROOM ADDITION

13249 Triadelphia Road, Ellicott City, Maryland 21042

REVISIONS

ISSUE DATES:
2-13-14 PERMIT SET

SCALE:

GENERAL INFO

0.02

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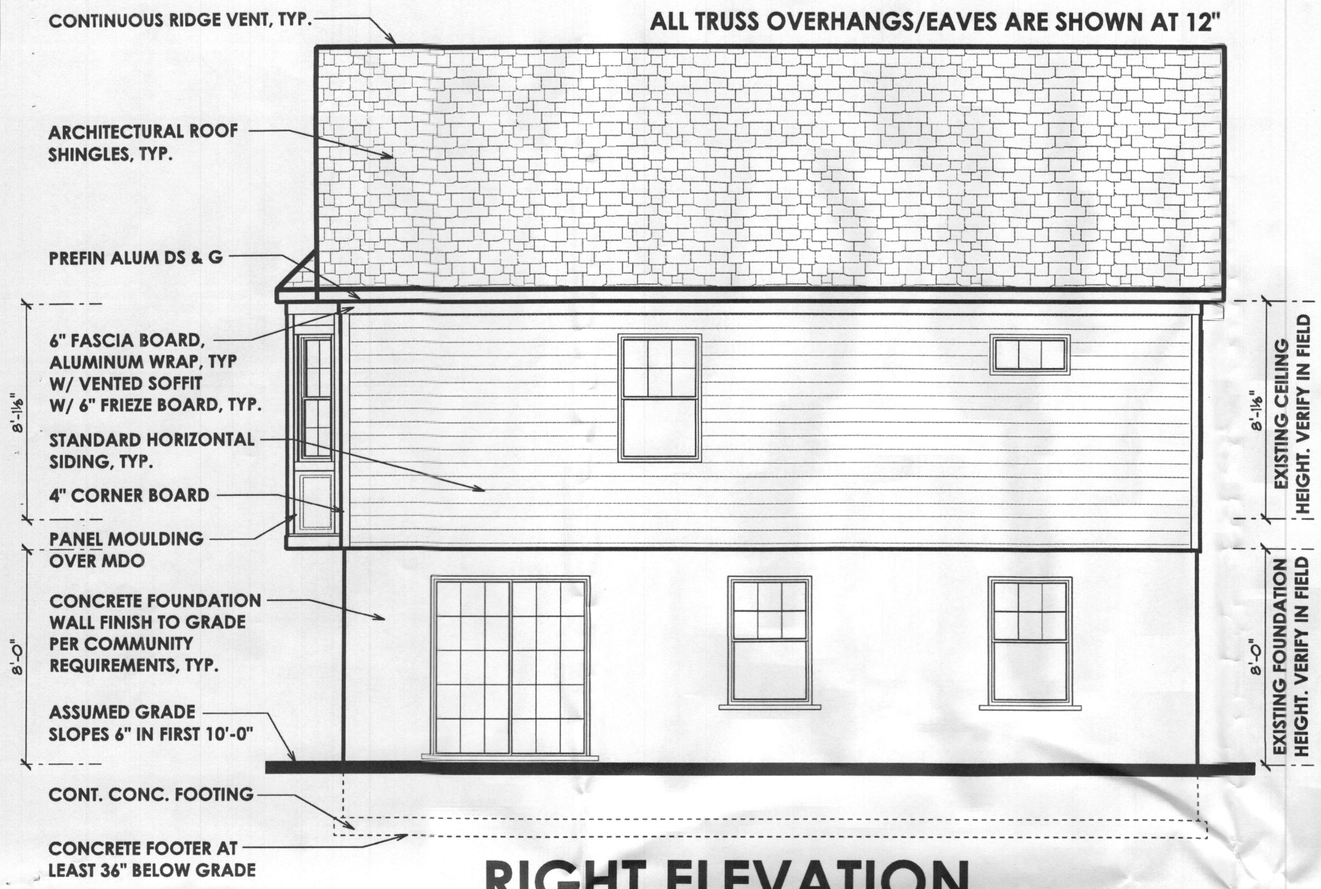
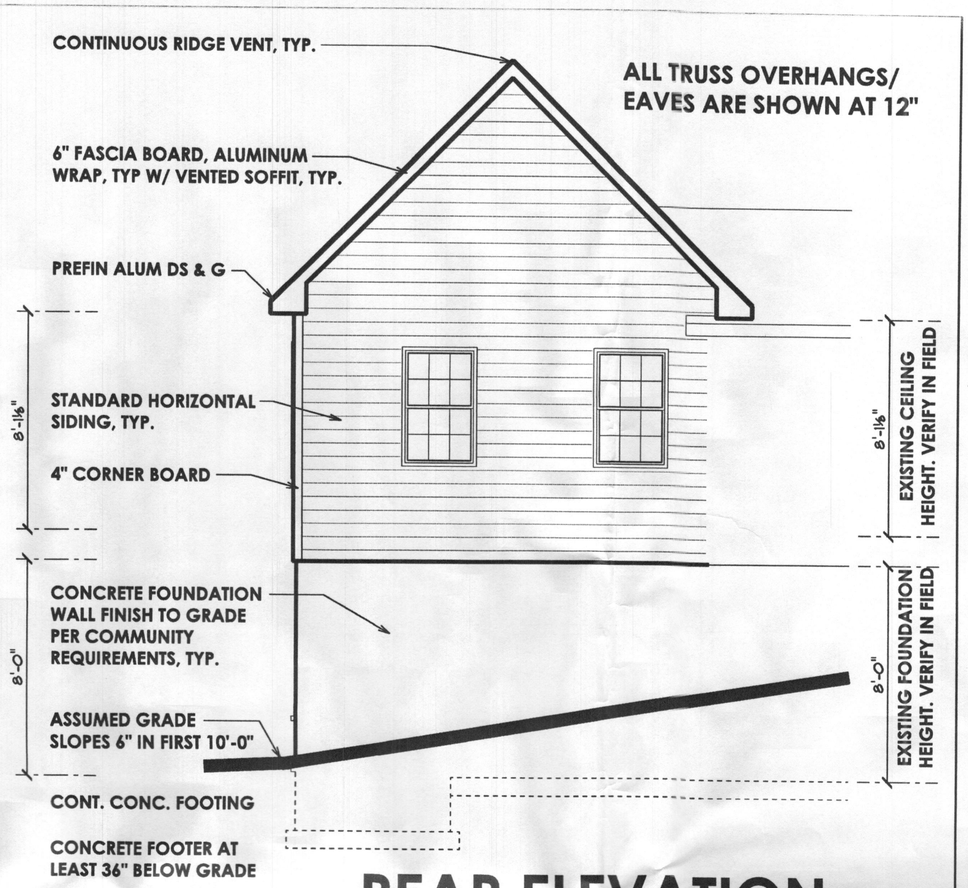
February 26, 2014



RIGHT ELEVATION



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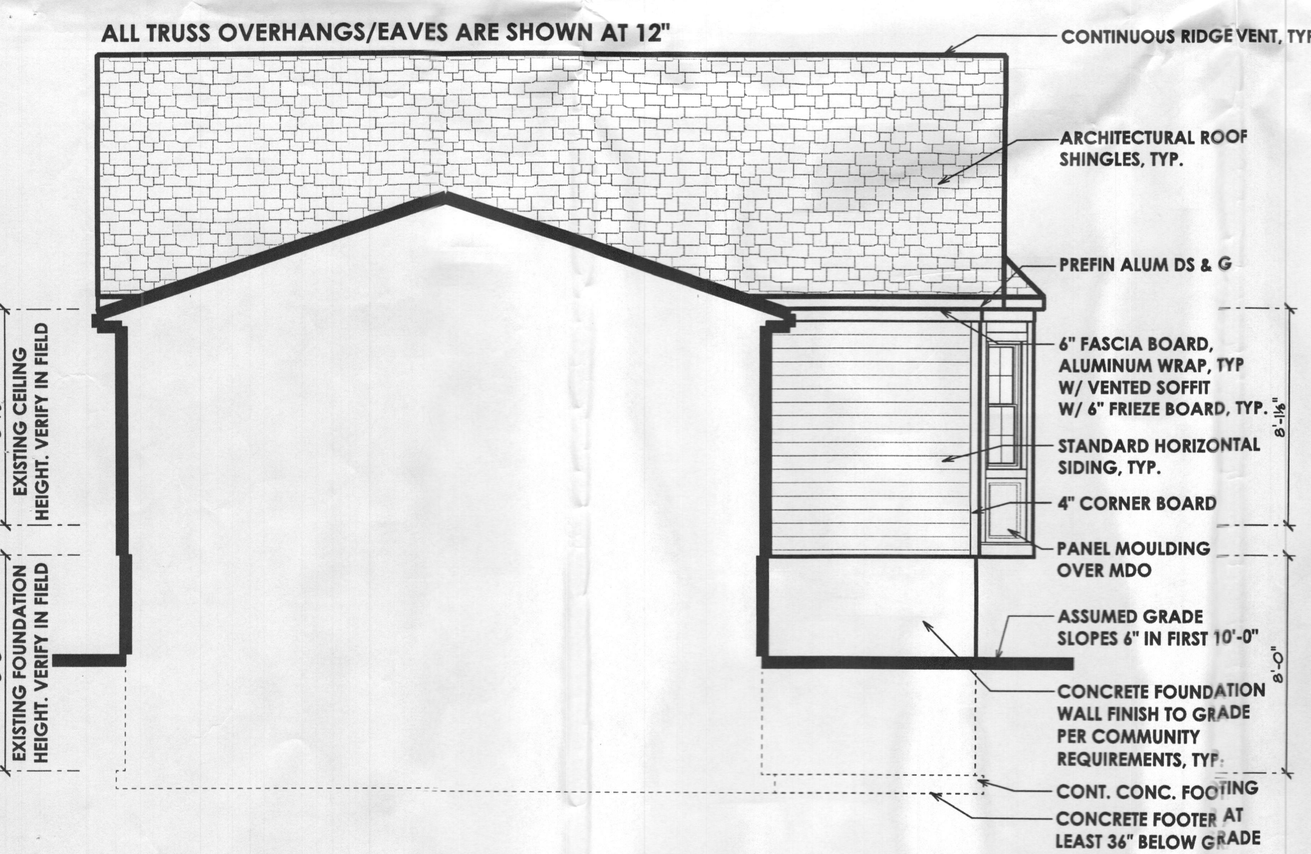

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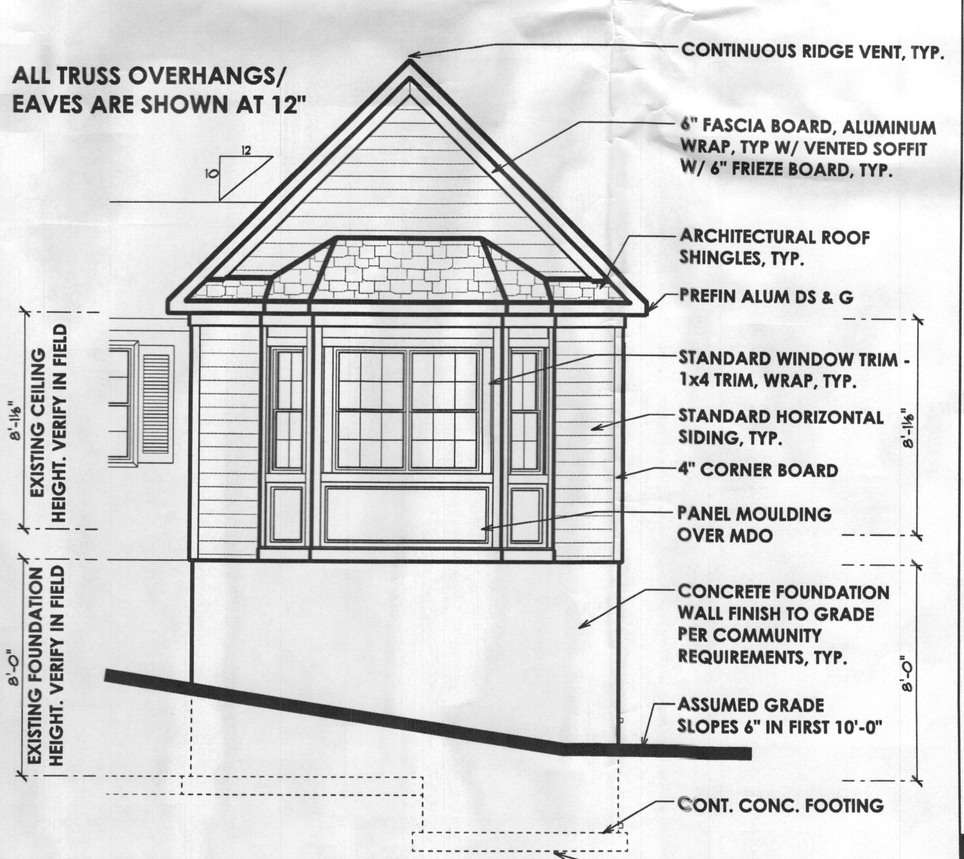

FRONT ELEVATION

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ELEVATIONS

1.01

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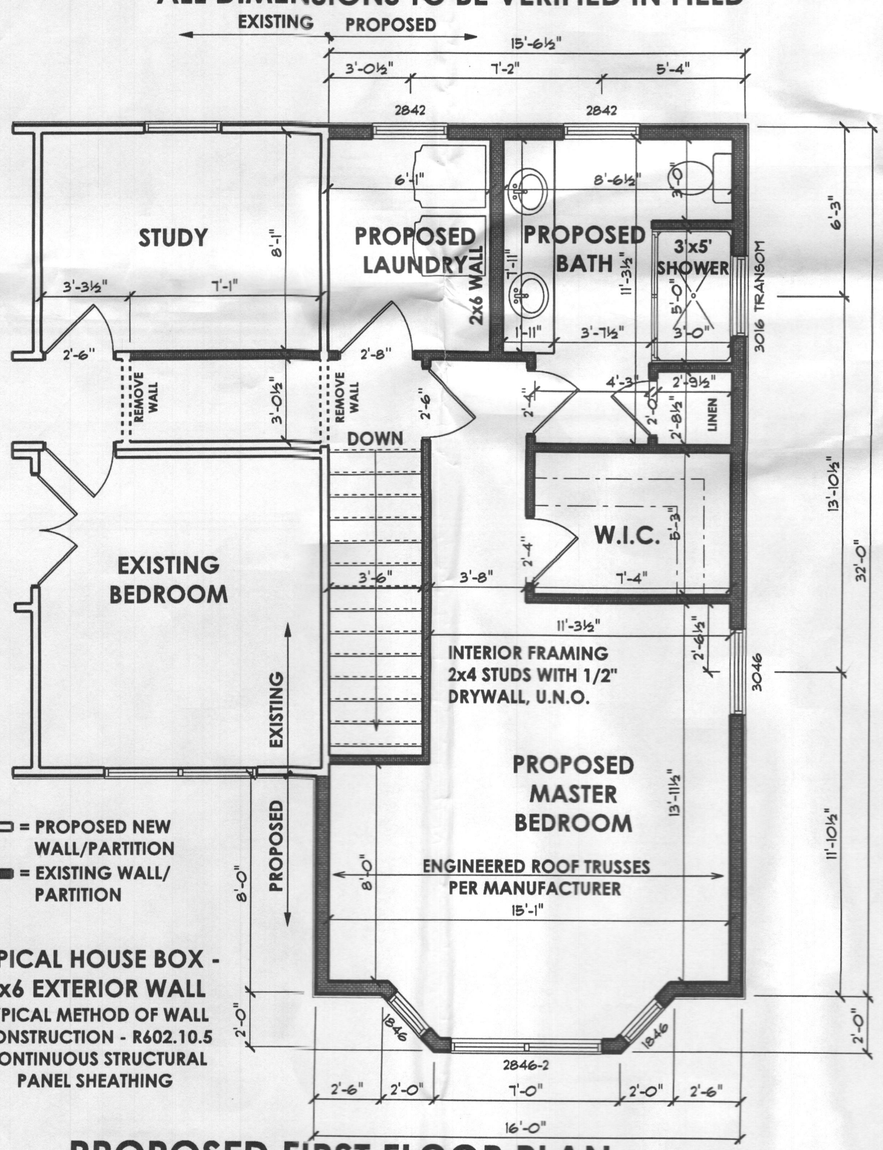
ALL DIMENSIONS TO BE VERIFIED IN FIELD

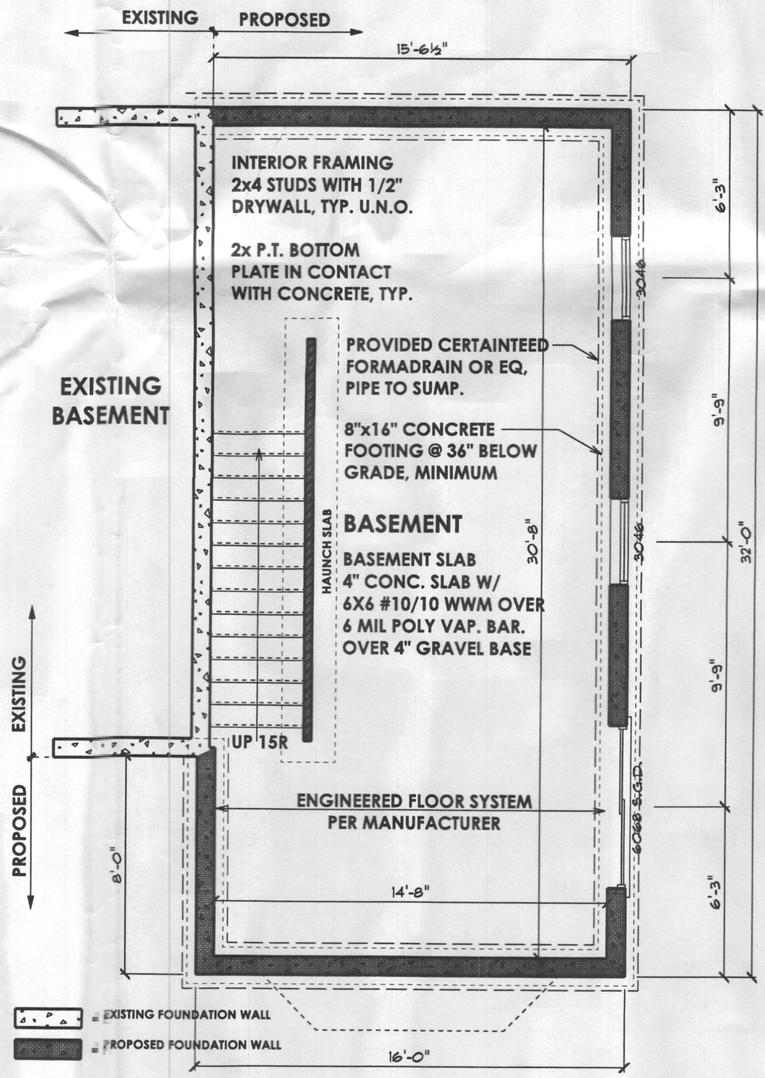


TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL

TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5 CONTINUOUS STRUCTURAL PANEL SHEATHING

PROPOSED FIRST FLOOR PLAN

ALL DIMENSIONS TO BE VERIFIED IN FIELD



PROPOSED FOUNDATION PLAN

FOUNDATION NOTES

1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED

2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.

3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.

4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE

5) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH

6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER

7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.

8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

TYPICAL HOUSE BOX ADDITION FOUNDATION WALL

MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)
MIN. 8"x16" CONTINUOUS FOOTING

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FLOOR PLANS

2.01

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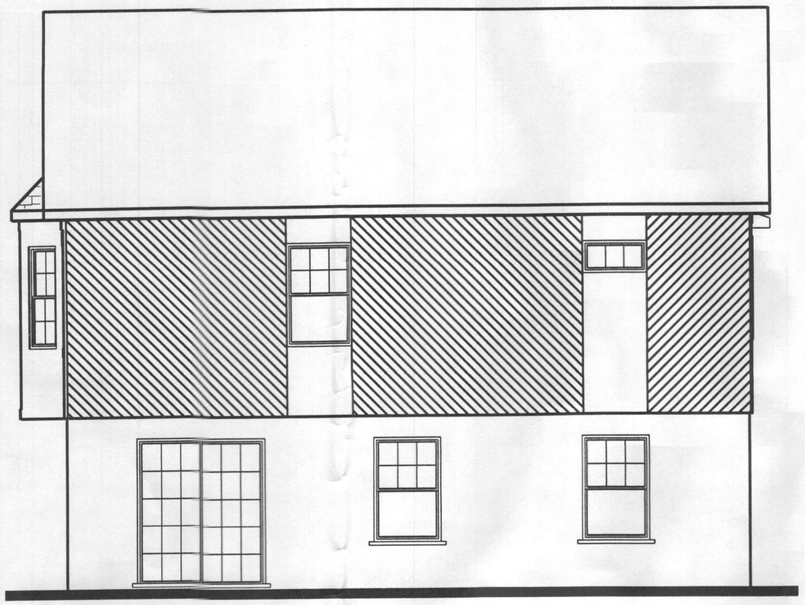

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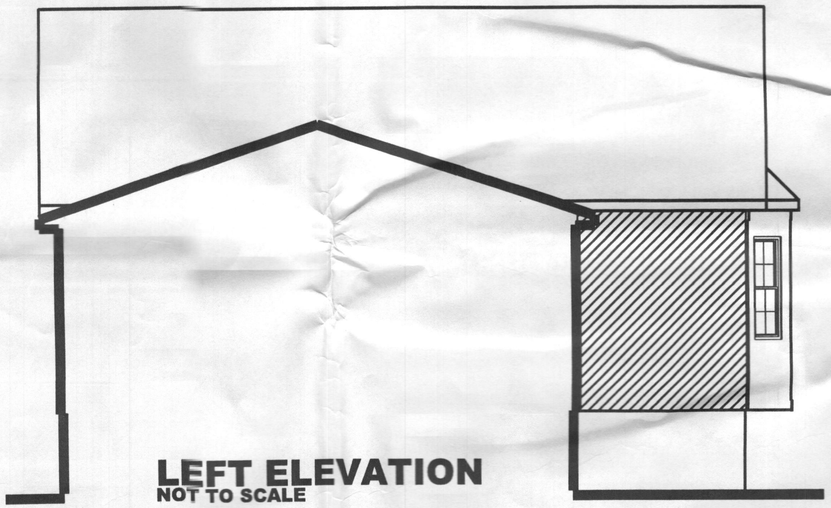
NOT TO SCALE



LEFT ELEVATION
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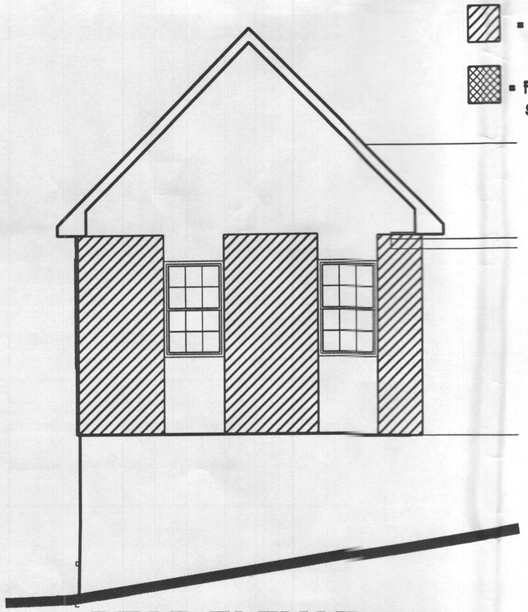
▪ CONTINOUS SHEATHING

▪ PORTAL FRAMES SEE 4.54



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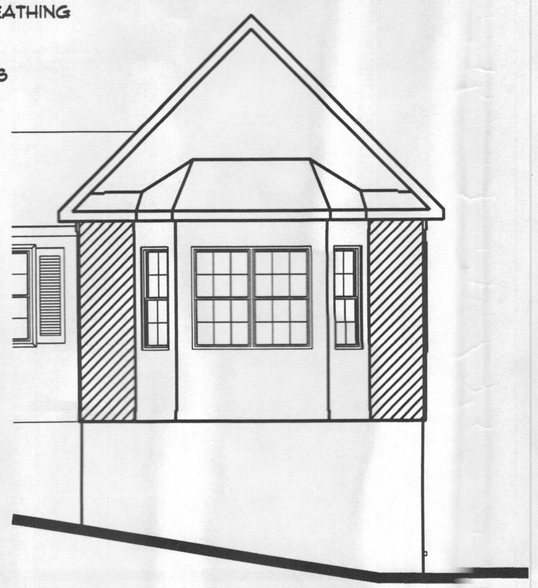

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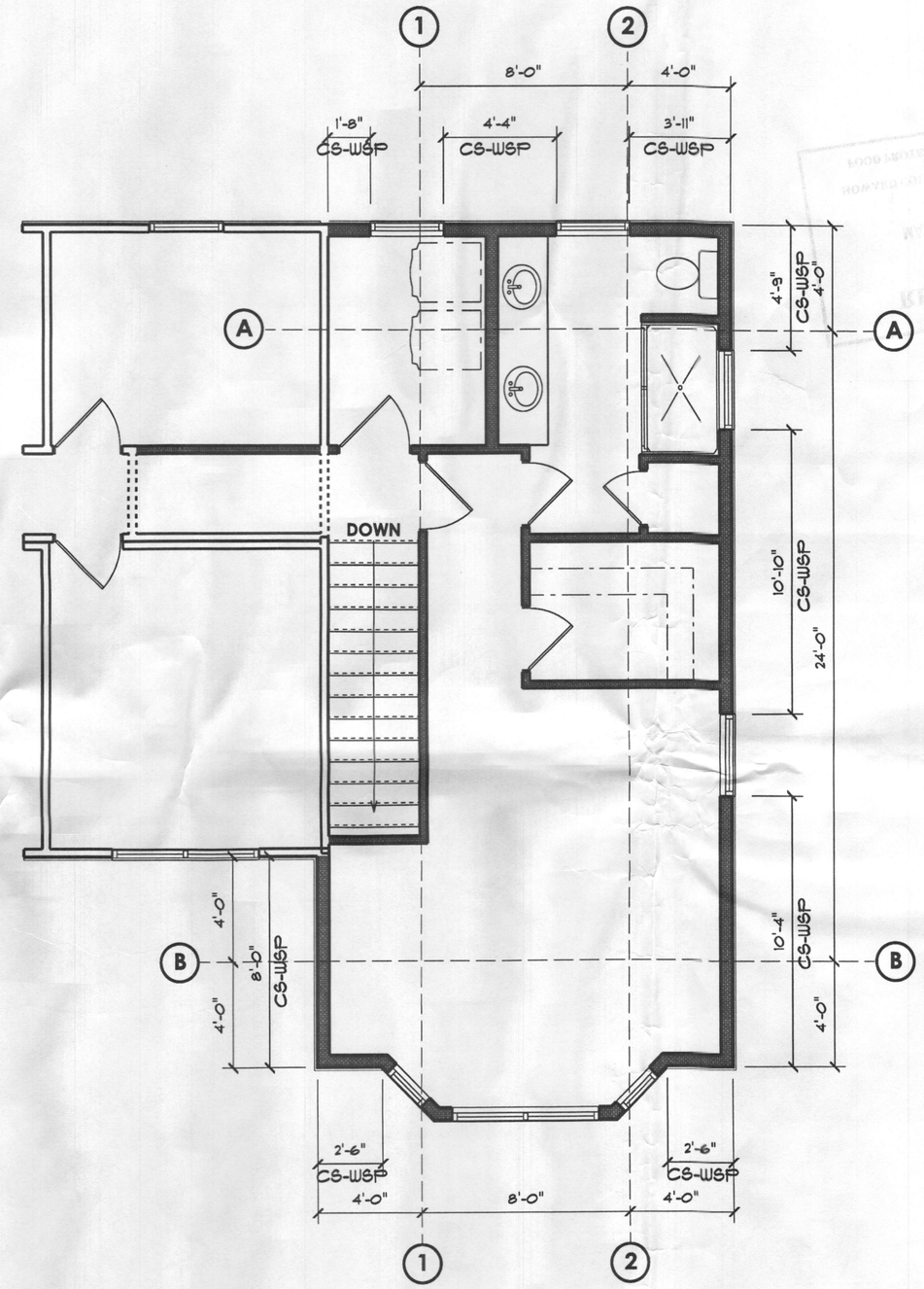

FIRST FLOOR CALCULATIONS

BRACED WALL LINE	WALL PANEL TYPE	REQUIRED WALL BRACING FT.	ACTUAL PROVIDED WALL BRACING FT.
A	CS-WSP	4.58'	9.91'
B	CS-WSP	4.58'	5.00'
1	CS-WSP	3.06'	8.00'
2	CS-WSP	3.06'	25.91'

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13249 Triadelphia Road, Ellicott City, Maryland 21042

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SCALE: 1/4" = 1'-0"

1ST FLOOR

3.51

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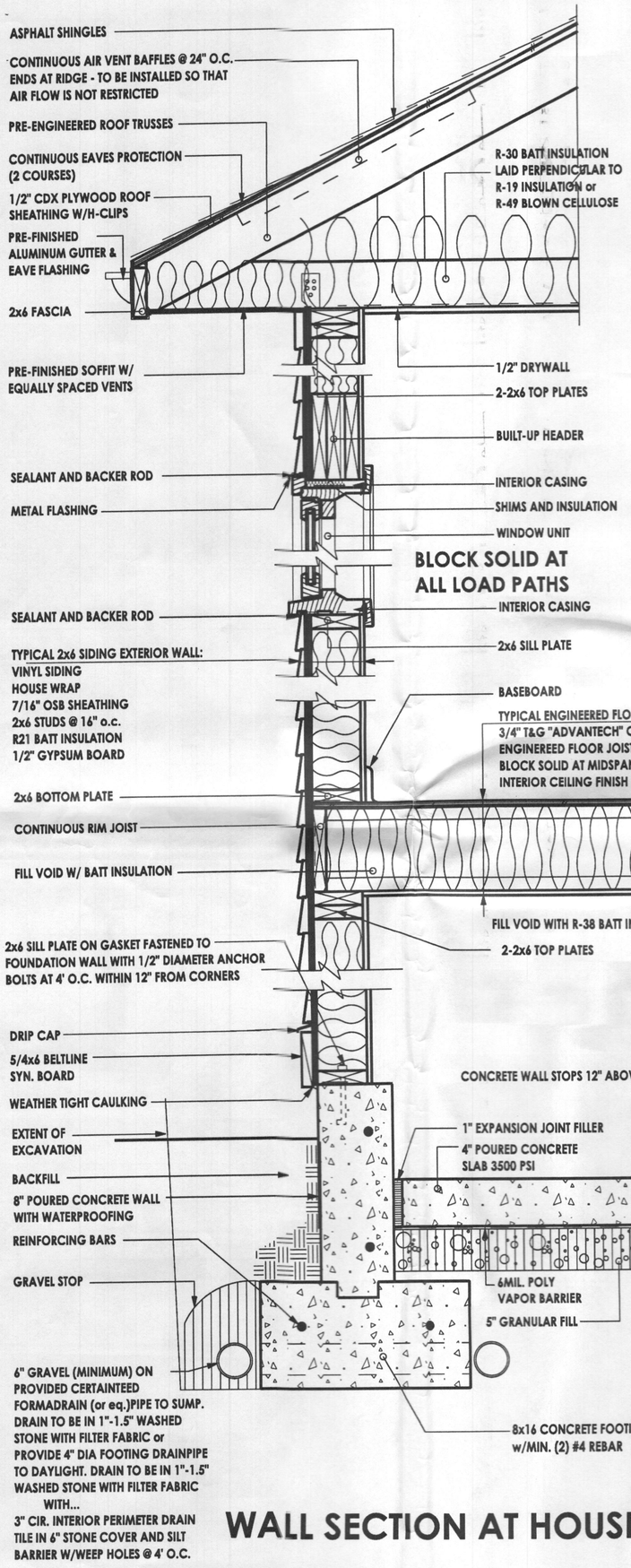
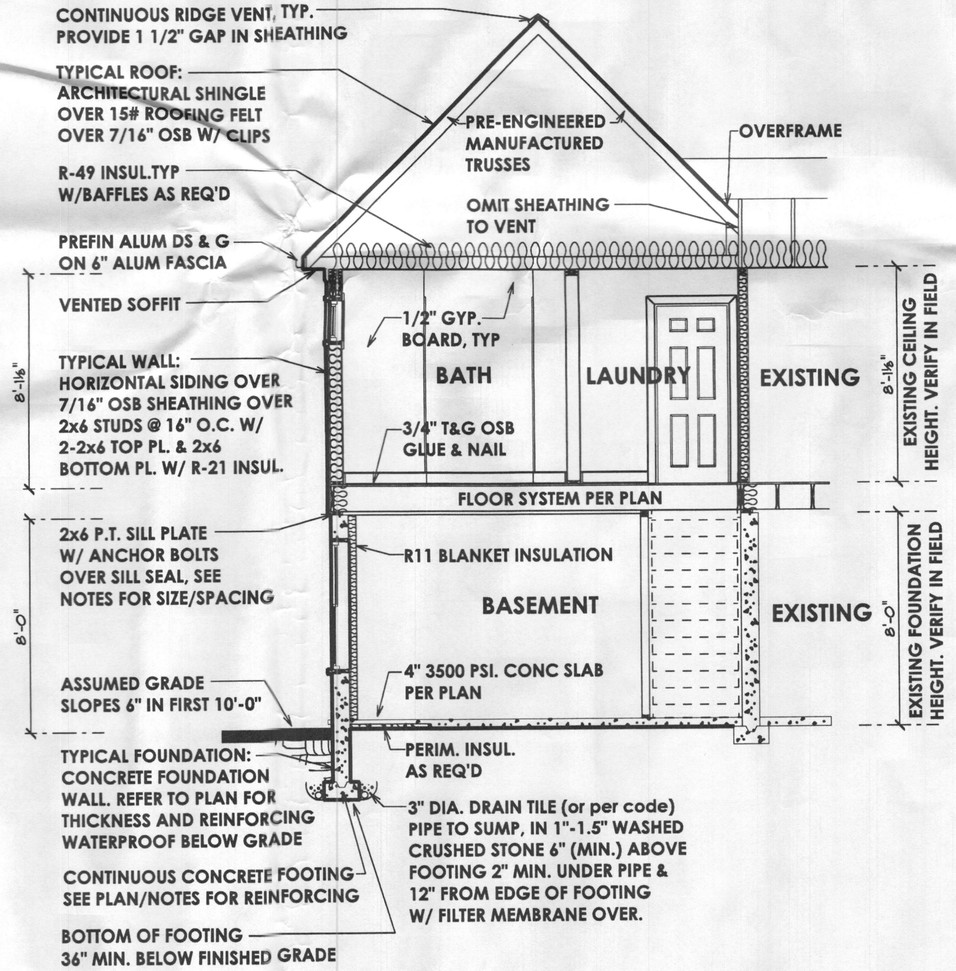


WALL SECTION AT HOUSE BOX



SECTION A-A

SECTION NOTES

1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED

2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THRUOUT U.N.O.

3) BASEMENT WINDOW LOCATIONS TO BE DETERMINED AT PRECON.

4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE

5) FOUNDATION WALL MIN. THICKNESS 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 16" HIGH

6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER

7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.

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SECTIONS

3.01

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