



CB15/221  
HEALTH

**Building Permit Application**  
Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2016 MAY 5 PM 2:19

Date Received: \_\_\_\_\_

Permit No.: B16001911

Building Address: 1771 Underwood Rd.  
City: Sykesville State: MD Zip Code: 21784  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: 6030 Subdivision: Streaker Pro  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 1  
Tax Map: 9 Parcel: 328 Grid: \_\_\_\_\_  
Zoning: R Map Coordinates: \_\_\_\_\_ Lot Size: 6.46  
Existing Use: Home Shop  
Proposed Use: Home Shop  
Estimated Construction Cost: \$ 42,000.00  
Description of Work: 15X67 Addition To Existing 60X30 Morton Building  
Occupant or Tenant: N/A  
Was tenant space previously occupied? ☐ Yes ☒ No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: <u>915 sq ft</u>	1 <sup>st</sup> floor: _____
Area of construction (sq. ft.): <u>1005</u>	2 <sup>nd</sup> floor: _____
Use group: _____	Basement: _____
Construction type: _____	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Bruce + Nancy Menz  
Address: 1771 Underwood Rd  
City: Sykesville State: MD Zip Code: 21784  
Phone: 410-442-2761 Fax: 410-442-1838  
Email: 655bigsky@comcast.net  
Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Contractor Company: Self  
Contact Person: Bruce Menz / Owner  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
License No.: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Engineer/Architect Company: Morton Buildings Inc  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Utilities
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric
<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas
<input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane
Cooling System
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: _____
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Bruce E. Menz  
Email Address: 655bigsky@comcast.net  
Title/Company: OWNER

Print Name: BRUCE MENZ  
Date: 5-5-2016

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DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	5/13/16	H.D. Swarth

Is Sediment Control approval required for issuance? ☐ Yes ☒ No  
☐ CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: \_\_\_\_\_

Rear: \_\_\_\_\_

Side: \_\_\_\_\_

Side St: \_\_\_\_\_

All minimum setbacks met? ☐ Yes ☒ No

Is Entrance Permit Required? ☐ Yes ☒ No

Historic District? ☐ Yes ☒ No

Lot Coverage for New Town Zone: \_\_\_\_\_

SDP/Red-line approval date: \_\_\_\_\_

Filing Fee	\$ 25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$ 100.00
Total Fee	\$
Sub-Total Paid	\$
Balance Due	\$
Check #	9313

Distribution of Copies: White: Building Officials Green: PSZA Zoning Yellow: PSZA Engineering Gold: SHA

T:\Operations\Updated Forms\Building appling 8.2012.docx



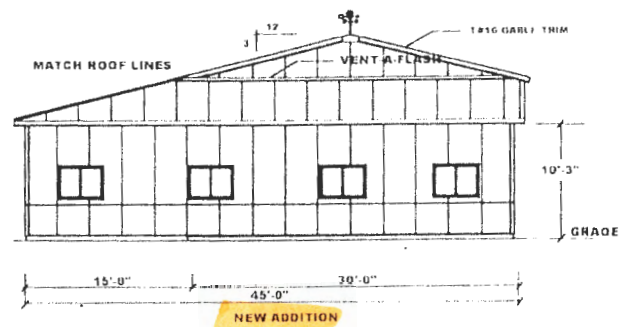
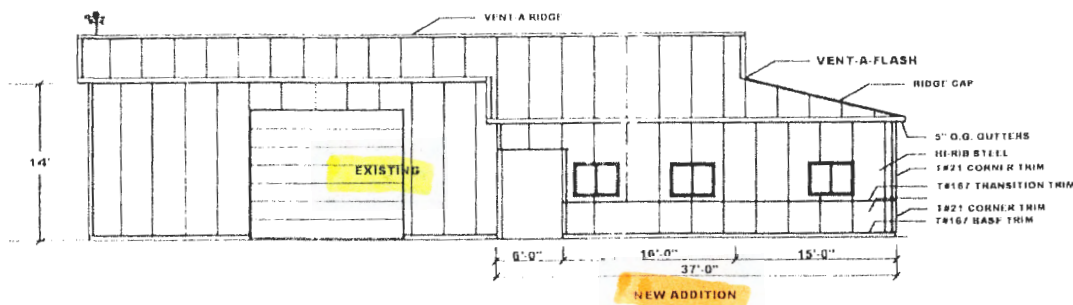
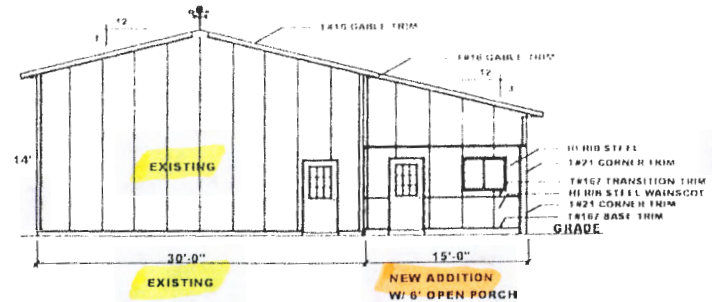
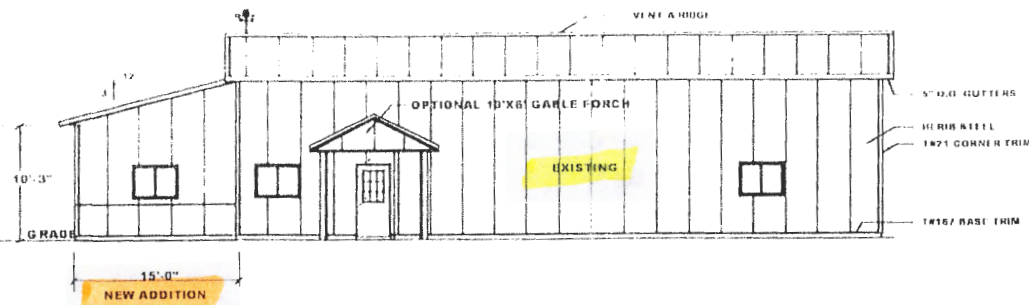
nov



04/14/2011

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## ELEVATIONS

SUPPLEMENT TO FORM 86  
Owner's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

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OFFICE: #04 GETTYSBURG  
(OR NO.)

BRUCE MENZ



**MORTON BUILDINGS, INC.**



DRAWN BY: JCL  
DATE: 02/17/15  
CHECKED BY:  
DATE:  
REVISED DATE:  
REVISED DATE:  
REVISED DATE:

SCALE:  
SHEET NO.  
01

# UTILITIES UNLIMITED INC.

410-442-1755

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[Equipment for Sale](#)

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[Contact](#)



Utilities Unlimited, Inc.  
1771 Underwood Road  
Sykesville, Maryland 21784  
410-442-1755 • [f] 410-442-1838  
[info@utilitiesunlimitedinc.com](mailto:info@utilitiesunlimitedinc.com)

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Utilities Unlimited Incorporated is a privately owned full service utility contractor located in Sykesville, MD. Since 1987 Utilities Unlimited Incorporated has provided the Maryland area with full site development services. With our main focus in underground utilities, we also offer services in excavating, clearing, pumping stations, and tank installments.



## Oswald, Hank

---

**From:** b55bigsky@comcast.net  
**Sent:** Wednesday, May 11, 2016 4:06 PM  
**To:** Oswald, Hank  
**Subject:** Re: B16001911\_1771 Underwood Road\_Addition

Hank, Morton building is a pole barn with a concrete floor inside .there is no plumbing that will affect the septic system.  
Thanks Bruce

Sent from my iPad

On May 11, 2016, at 3:58 PM, Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)> wrote:

Bruce Menz:

This office received a building permit entailing an addition to an existing 60 X 30 Morton Building. What kind of structure is the Morton building? I'm trying to determine if the addition will have any effect on the onsite well, septic system or sewage disposal area. Does the Morton building currently have plumbing? Will the addition have plumbing?

Thanks in advance.

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Wednesday, May 11, 2016 3:58 PM  
**To:** 'B55BIGSKY@COMCAST.NET'  
**Subject:** B16001911\_1771 Underwood Road\_Addition

Bruce Menz:

This office received a building permit entailing an addition to an existing 60 X 30 Morton Building. What kind of structure is the Morton building? I'm trying to determine if the addition will have any effect on the onsite well, septic system or sewage disposal area. Does the Morton building currently have plumbing? Will the addition have plumbing?

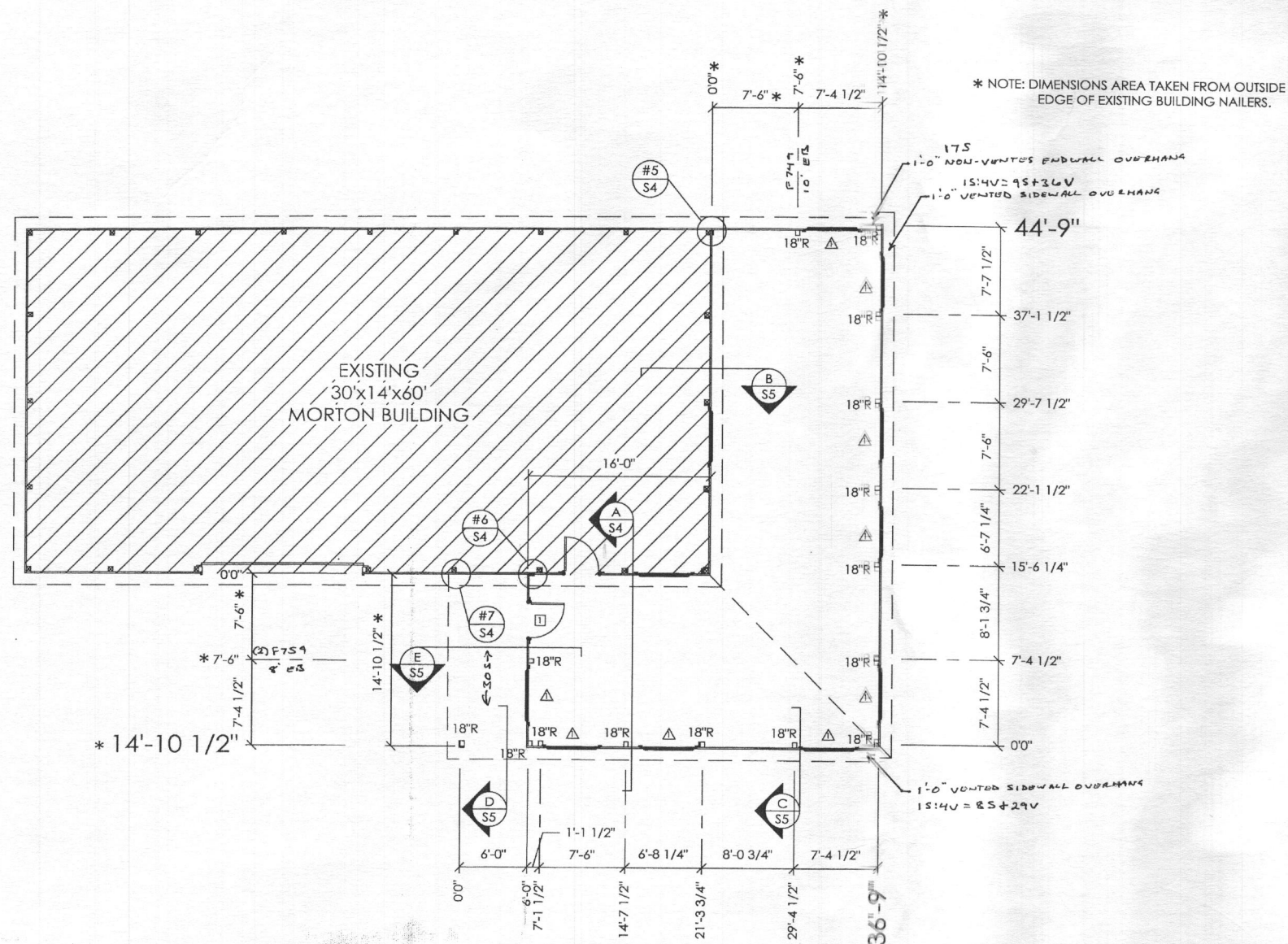
Thanks in advance.

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)



BRUCE MENZ  
SYKESVILLE, MD



### COLUMN PLAN LEGEND

- - 3-2x6 LAMINATED COLUMN LOCATION
- - 3-2x6 LAMINATED COLUMN LOCATION W/ ADD'L 2x6 LAMINATE
- - HEADERED TRUSS LOCATION
- - 3068 MB910 9-LITE GLASS IN PLAIN FLAT LEAF WALKDOOR(S), IN SWING, RIGHT HINGE WITH DOUBLE CYLINDER DEADBOLT, KEYED LEVER LOCKSET
- △ - (9) 4429 MB SLIDING WINDOW(S)
- SIDE AND END STEEL FASTENED WITH STAINLESS STEEL SCREWS
- 18"R - 18" DIAMETER FOOTING WITH 8" THICK MINIMUM READY-MIX CONCRETE BELOW BOTTOM OF LOWER COLUMN WITH ADDITIONAL READY-MIX TO TOP OF 218M STILT (9"x4"). PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.

### ROUGH OPENING SCHEDULE

UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
□	37 3/4"	81"
△	52 1/4"	33 5/8"

SCALE: 1" = 4' 1/2"

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### CONSTRUCTION PLANS

THIS IS A FINAL SET OF CONSTRUCTION DRAWINGS.  
ALL ALTERATIONS TO THESE PLANS MUST BE  
ACKNOWLEDGED BY A CHANGE ORDER.

ESTIMATOR'S SIGNATURE  
FIRST CONTACT: J.B. Erickson 6356  
JIM ERICKSON PHONE EXTENSION  
SECOND CONTACT: \_\_\_\_\_  
ESTIMATOR PHONE EXTENSION  
DATE PLANS SENT  
5/12/15

DRAWN BY:	LB
DATE:	4/29/2015
CHECKED BY:	---
DATE:	---
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---

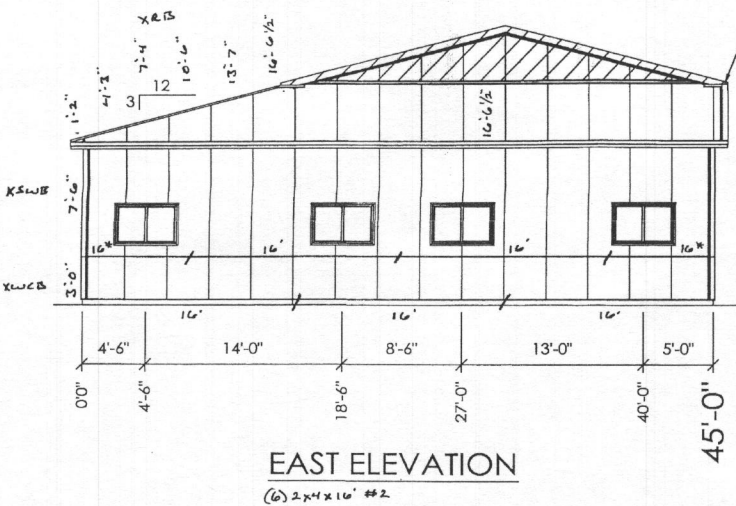
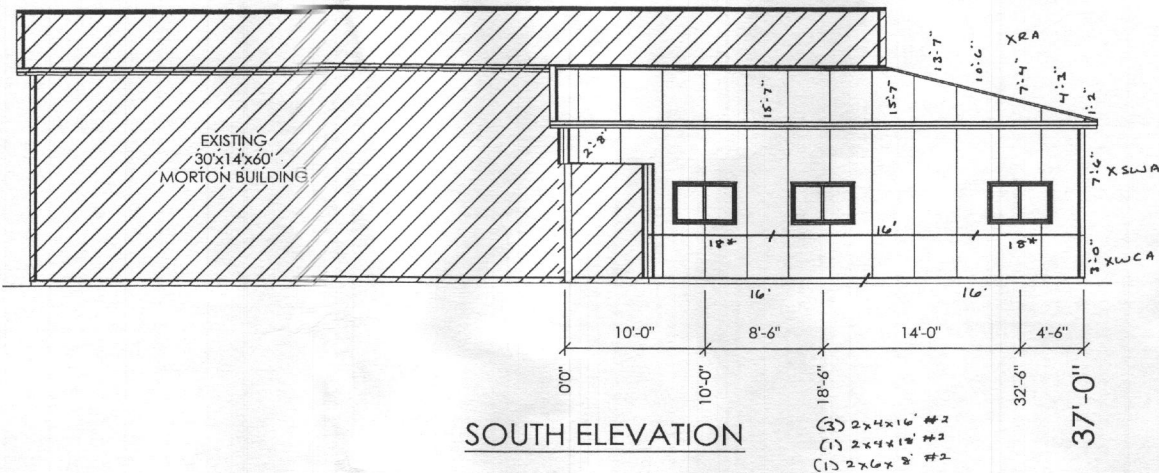
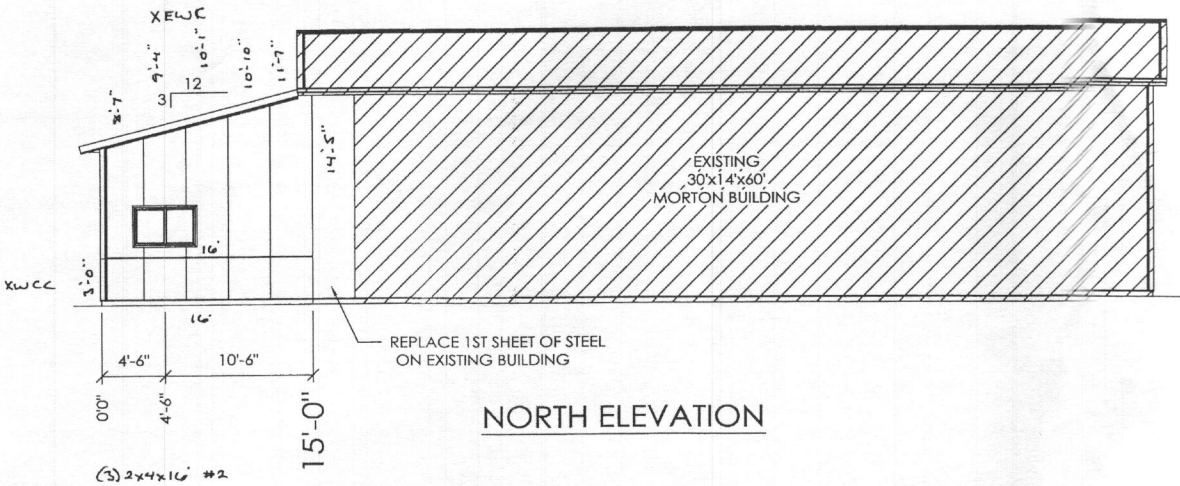
SCALE: AS NOTED  
SHEET NO.  
S1 OF S5



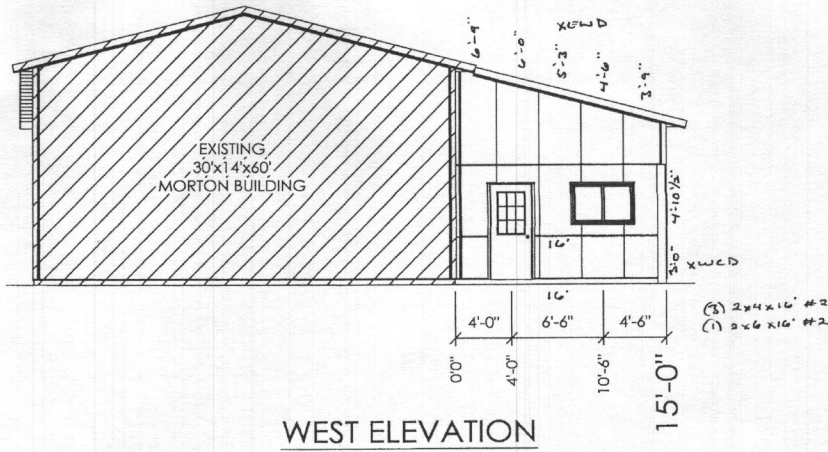
DESIGN AND EXPLANATORY NOTES

1.) EXTERIOR DOOR AND WINDOW LOCATIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE NAILERS AND ARE TO THE CENTER OF THE DOOR AND WINDOW UNITS. VERIFY ALL DOOR, WINDOW, SKYLIGHT AND SIDELIGHT LOCATIONS WITH THE OWNER.

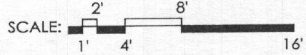
OFFICE:  
GETTYSBURG, PA  
JOB NO.  
064-048366



NEW GABLE TRIM MUST LAP OVER THE TOP OF THE T#6 AND TUCK UNDER EXISTING GABLE TRIM



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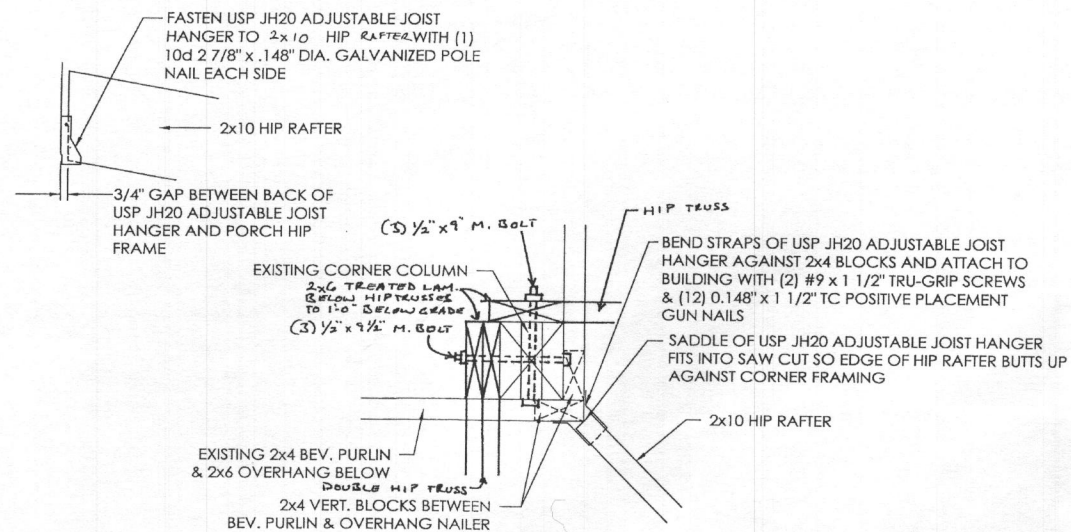
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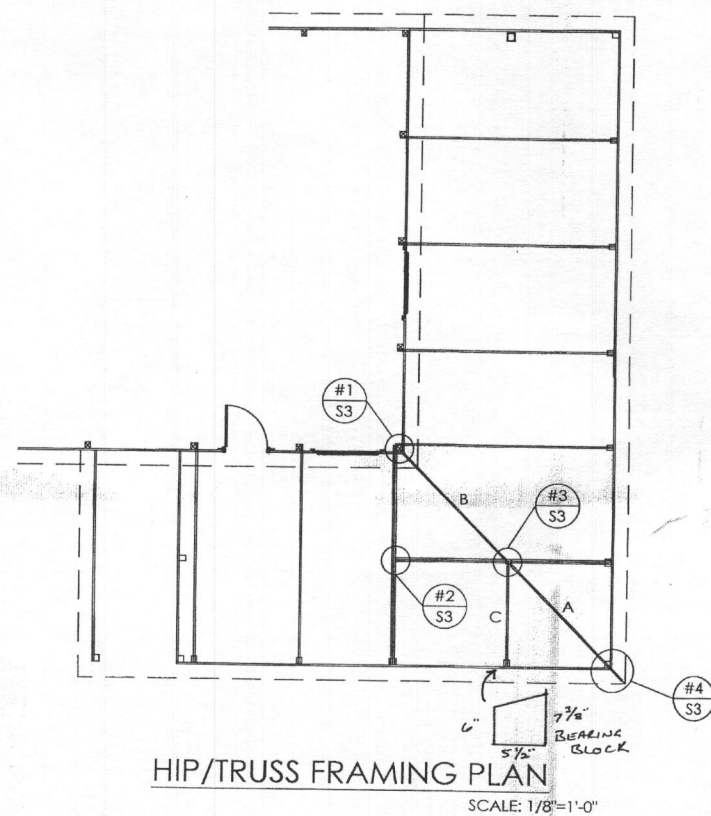
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S2 OF S6





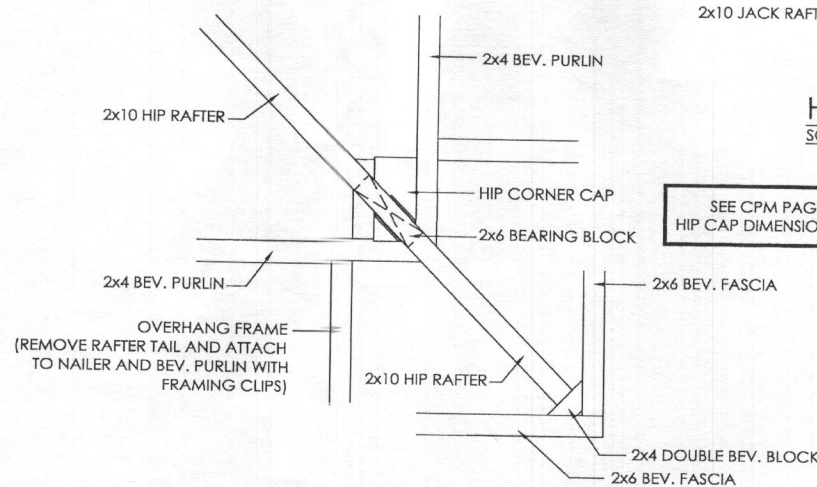
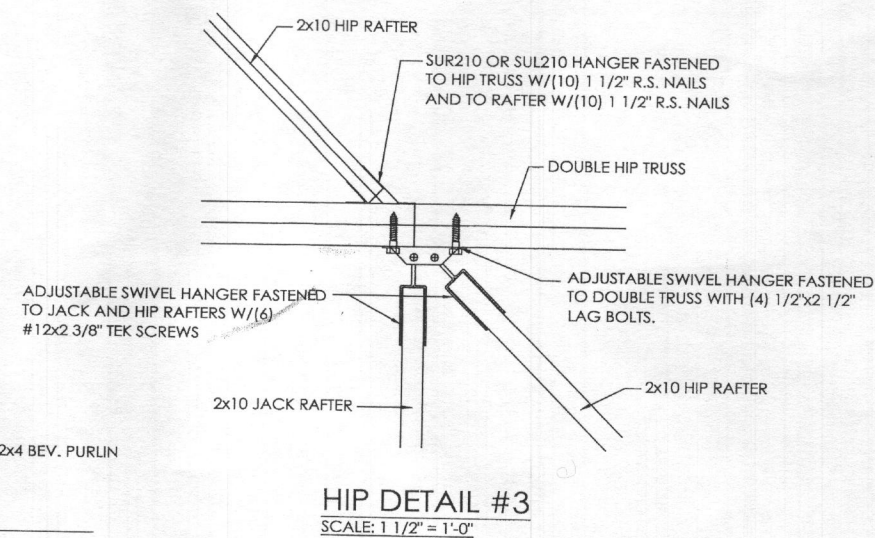
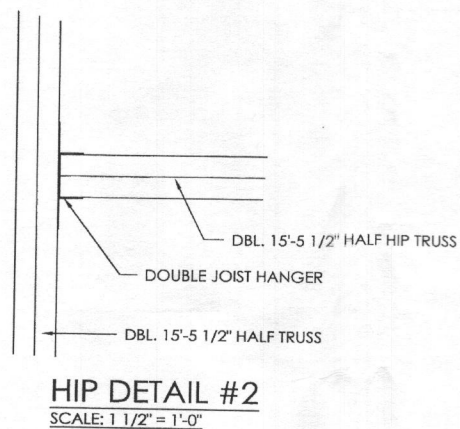
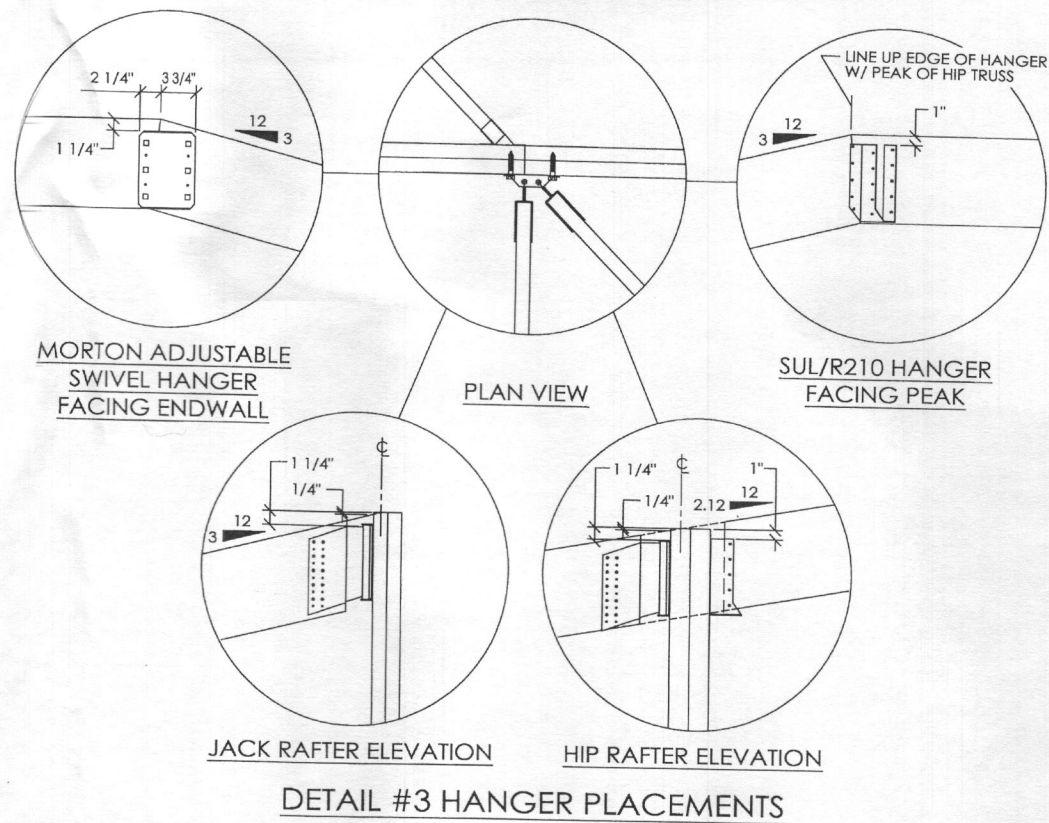
**HIP DETAIL #1**  
SCALE: 1 1/2" = 1'-0"



- NOTES:**
- 1.) HIP AND JACK RAFTERS ARE 2x10 (NO. 1 SYP).
  - 2.) HIP RAFTERS TO RECEIVE 2x4 LEDGERS ON BOTH SIDES.
  - 3.) ALL RAFTER LENGTHS ARE FIGURED FOR 1 1/2", 3", AND 4 1/2" TRUSS WIDTHS; PLEASE ADJUST IF TRUSS WIDTHS VARY.
  - 4.) COLUMN DIMENSIONS ARE TO THE CENTER OF THE THREE MEMBER LOWER COLUMNS.
  - 5.) SEE CONSTRUCTION MANUAL PAGES 9-3 AND 9-4 FOR CORNER CAP AND BEARING BLOCK INSTALLATION.

**HIP RAFTERS**  
2.12/12 PITCH  
A = 11'-6 1/4"  
B = 10'-4 1/2"

**JACK RAFTERS**  
3/12 PITCH  
C = 7'-3 7/16"



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REVISED DATE: —

SCALE: AS NOTED  
SHEET NO.  
S3 OF S6



# DESIGN AND EXPLANATORY NOTES

1.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.

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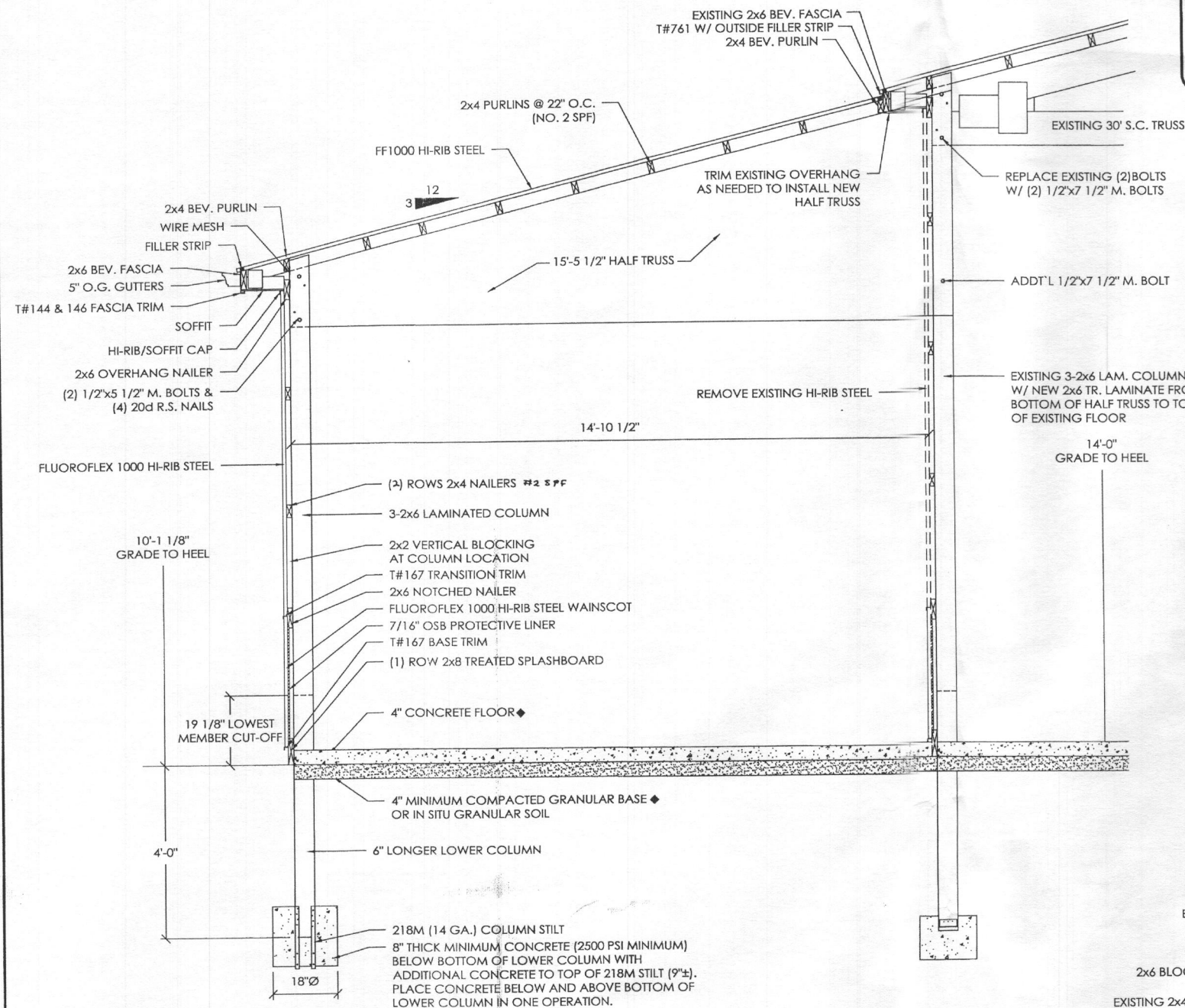
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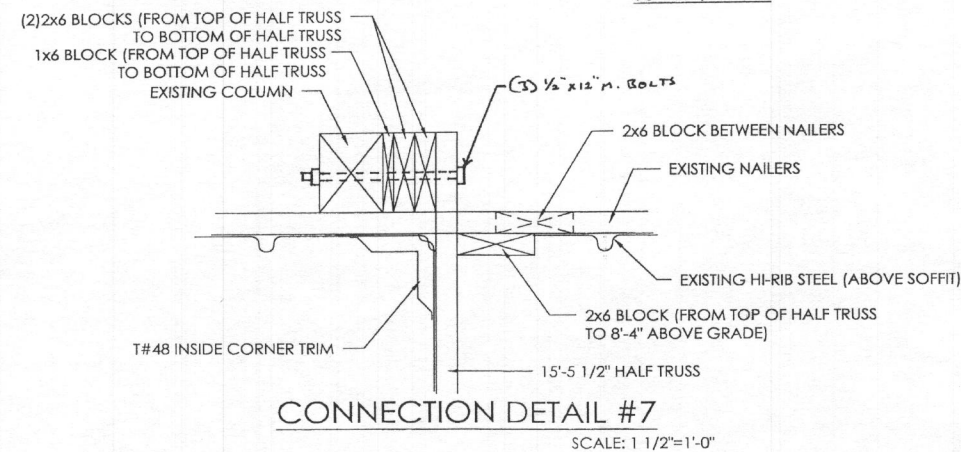


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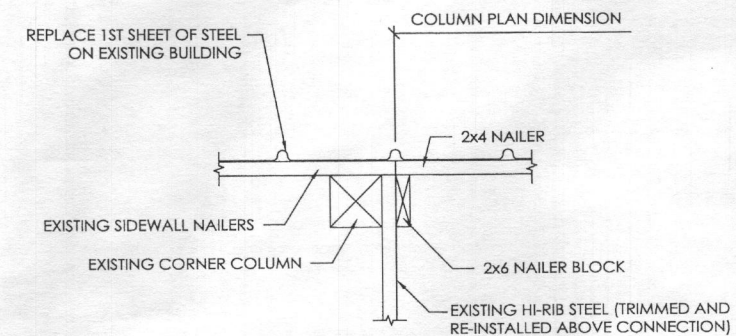
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SHEET NO.  
S4 OF S5



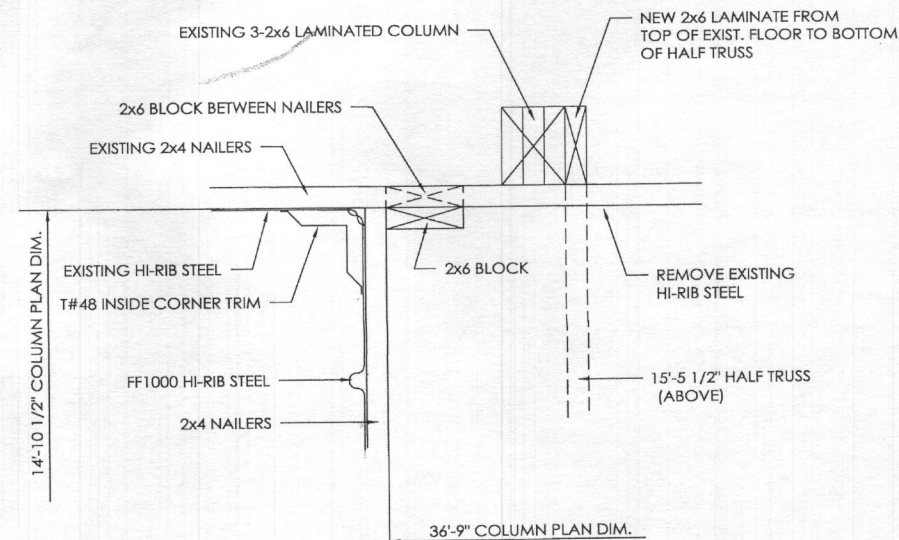
**CROSS SECTION A**  
SCALE: 1/2" = 1'-0"



**CONNECTION DETAIL #7**  
SCALE: 1 1/2" = 1'-0"



**CONNECTION DETAIL #5**  
SCALE: 1 1/2" = 1'-0"



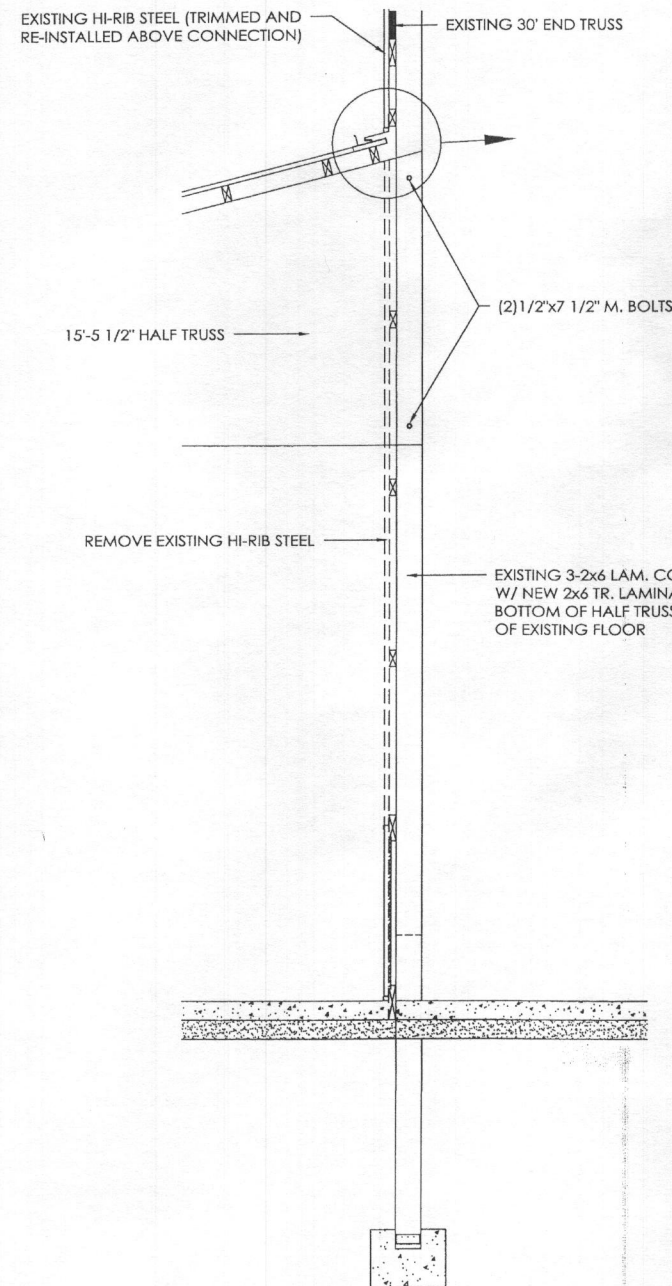
**CONNECTION DETAIL #6**  
SCALE: 1 1/2" = 1'-0"

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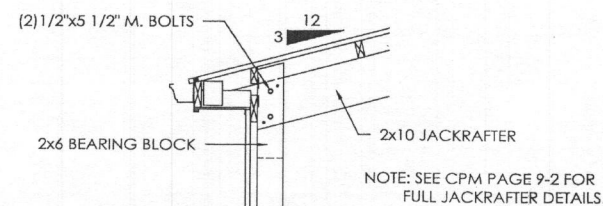
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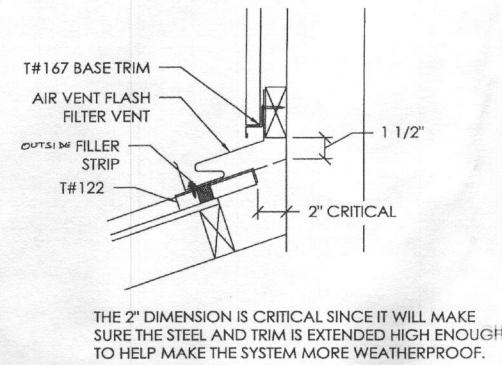




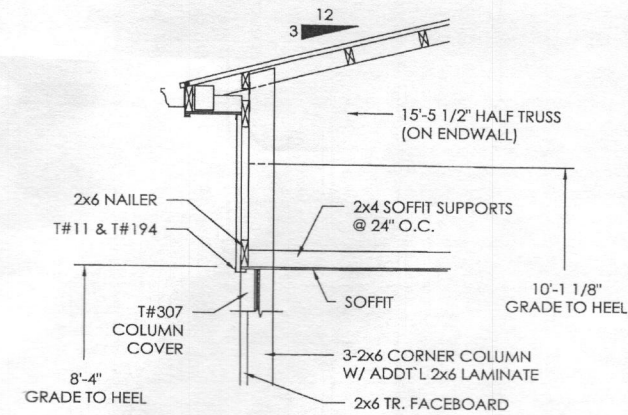
**CONNECTION SECTION B**  
SCALE: 1/2" = 1'-0"



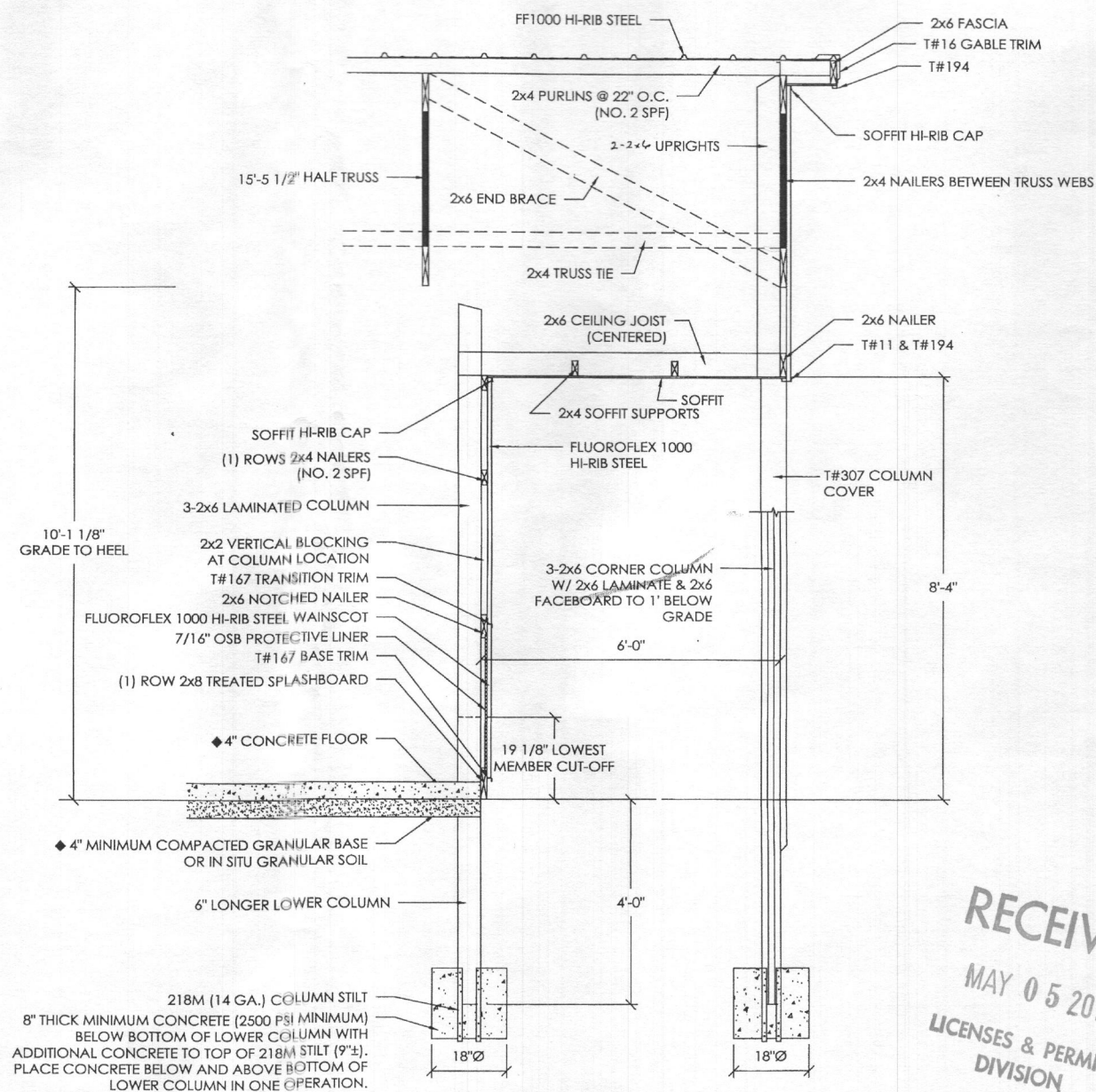
**JACKRAFTER SECTION C**  
SCALE: 1/2" = 1'-0"



**VENT-A-FLASH DETAIL**  
SCALE: 1 1/2" = 1'-0"



**PORCH SECTION D**  
SCALE: 1/2" = 1'-0"



**PORCH SECTION E**  
SCALE: 1/2" = 1'-0"

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SCALE: AS NOTED  
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S5 OF S6



OFFICE:  
GETTYSBURG, PA

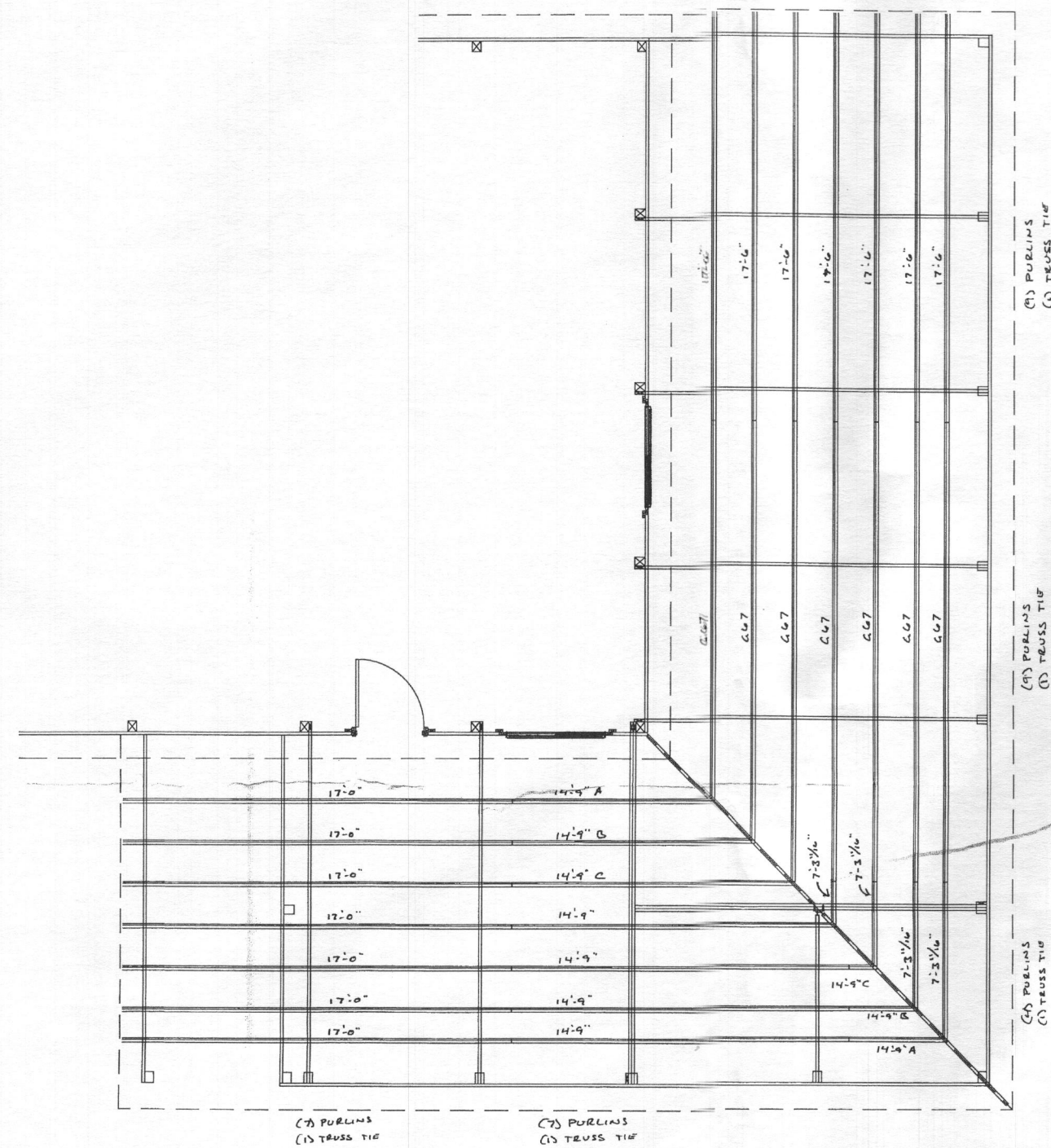
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**SYKESVILLE, MD**

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REVISED DATE:	---
REVISED DATE:	---
REVISED DATE:	---

SCALE: AS NOTED  
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S6 OF S6



## ROOF PURLIN LAYOUT

SCALE: 1/4" = 1'-0"

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MENZ

6.4E+07

END BRACE & E.C.E./UPRIGHT CUT SHEET -- PLAIN END &/OR SLIDING DOOR END

(For 2x4 Purlins)

30 Ft. Wide (SC)

3 /12 Roof Slope

6' 0" Sidewall Corner Bay

END BRACE & E.C.E. LENGTHS AT A COLUMN

Brace Angle	Board Length	Cut Length	E.C.E. (Max.)	E.C.E. (Sent)	7' 4-1/2" End Column Location	Note*
(5 3/16) 12	8'	6'-4 3/4"	4'-10 1/2"	(2) F759		2

-  
-  
-  
-

END BRACE & E.C.E. LENGTHS AT JAMB COLUMNS (SLIDING DOOR #1)

Brace Angle	Board Length	Cut Length	E.C.E. (Max.)	E.C.E. (Sent)	Note*
N/A					

-

END BRACE & E.C.E./UPRIGHT LENGTHS ABOVE SLIDING DOOR #1. DOOR HEIGHT = GTH +: 0.0 IN.

Brace Angle	Board Length	Cut Length	Upright (Max.)	Upright (Sent)	Note*
-------------	--------------	------------	----------------	----------------	-------

END BRACE & E.C.E. LENGTHS AT JAMB COLUMNS (SLIDING DOOR #2)

Brace Angle	Board Length	Cut Length	E.C.E. (Max.)	E.C.E. (Sent)	Note*
-------------	--------------	------------	---------------	---------------	-------

-

END BRACE & E.C.E./UPRIGHT LENGTHS ABOVE SLIDING DOOR #2. DOOR HEIGHT = GTH +: 0.0 IN.

Brace Angle	Board Length	Cut Length	Upright (Max.)	Upright (Sent)	Note*
-------------	--------------	------------	----------------	----------------	-------

\*Notes

- 1 = Brace runs from top of column.
- 2 = Brace runs from 2" above top of column for clearance due to angle of brace (less than a 3/12 slope).
- 3A = Brace runs from bottom of sliding door track girt.
- 4A = Brace runs from grade to heel height for sliding door.

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END BRACE & E.C.E./UPRIGHT CUT SHEET -- PLAIN END &/OR SLIDING DOOR END

(For 2x4 Purlins)

30 Ft. Wide (SC)			3 /12 Roof Slope		7' 7-1/2" Sidewall Corner Bay	
<u>END BRACE &amp; E.C.E. LENGTHS AT A COLUMN</u>						
<u>Brace Angle</u>	<u>Board Length</u>	<u>Cut Length</u>	<u>E.C.E. (Max.)</u>	<u>E.C.E. (Sent)</u>	7' 4-1/2" End Column Location	<u>Note*</u>
4 1/16 112	10'	7'-11 3/4"	3' 1-1/2"	F749		2
			-	-		
			-	-		
			-	-		
			-	-		
<u>END BRACE &amp; E.C.E. LENGTHS AT JAMB COLUMNS (SLIDING DOOR #1)</u>						
<u>Brace Angle</u>	<u>Board Length</u>	<u>Cut Length</u>	<u>E.C.E. (Max.)</u>	<u>E.C.E. (Sent)</u>		<u>Note*</u>
N/A			-	-		
<u>END BRACE &amp; E.C.E./UPRIGHT LENGTHS ABOVE SLIDING DOOR #1. DOOR HEIGHT = GTH +: 0.0 IN.</u>						
<u>Brace Angle</u>	<u>Board Length</u>	<u>Cut Length</u>	<u>Upright (Max.)</u>	<u>Upright (Sent)</u>		<u>Note*</u>
<u>END BRACE &amp; E.C.E. LENGTHS AT JAMB COLUMNS (SLIDING DOOR #2)</u>						
<u>Brace Angle</u>	<u>Board Length</u>	<u>Cut Length</u>	<u>E.C.E. (Max.)</u>	<u>E.C.E. (Sent)</u>		<u>Note*</u>
			-	-		
<u>END BRACE &amp; E.C.E./UPRIGHT LENGTHS ABOVE SLIDING DOOR #2. DOOR HEIGHT = GTH +: 0.0 IN.</u>						
<u>Brace Angle</u>	<u>Board Length</u>	<u>Cut Length</u>	<u>Upright (Max.)</u>	<u>Upright (Sent)</u>		<u>Note*</u>

\*Notes  
1 = Brace runs from top of column.  
2 = Brace runs from 2" above top of column for clearance due to angle of brace (less than a 3/12 slope).  
3A = Brace runs from bottom of sliding door track girt.  
4A = Brace runs from grade to heel height for sliding door.

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REQUIRED FOOTING WORKSHEET

(READY-MIX/STILT FOOTINGS)

Customer Name:  
Job Number:

MENZ
64048366

COLUMN FOOTING TYPE & SIZE			QTY. OF FOOTINGS	YARDS READY MIX UNDER & AROUND	
ROUND	" under	" around		EACH COLUMN	TOTAL
16" dia.	8	9	15	0.08	1.50
18" dia.	8	9		0.10	
24" dia.	10	9		0.20	
30" dia.	13	9		0.37	
36" dia.	16	9		0.60	
42" dia.	20	9		0.94	
48" dia.	23	9		1.33	
54" dia.	26	9		1.83	
SQUARE				-	
36" sqr.	18	9		0.79	
42" sqr.	20	9		1.15	
48" sqr.	23	9		1.66	
CTR.DR.GUIDE STUB				0.08	
ADJ. CTR.DR.GUIDE STUB 16" dia. X4ft. deep				0.25	
JAMB PROT.(4")				0.25	
JAMB PROT.(7")				0.33	
DEADMEN				0.25	
# of different Footings for Steel Cols		None			
# of different Backfilled Footings -		None			
TOTAL YDS. READY MIX				2.00	

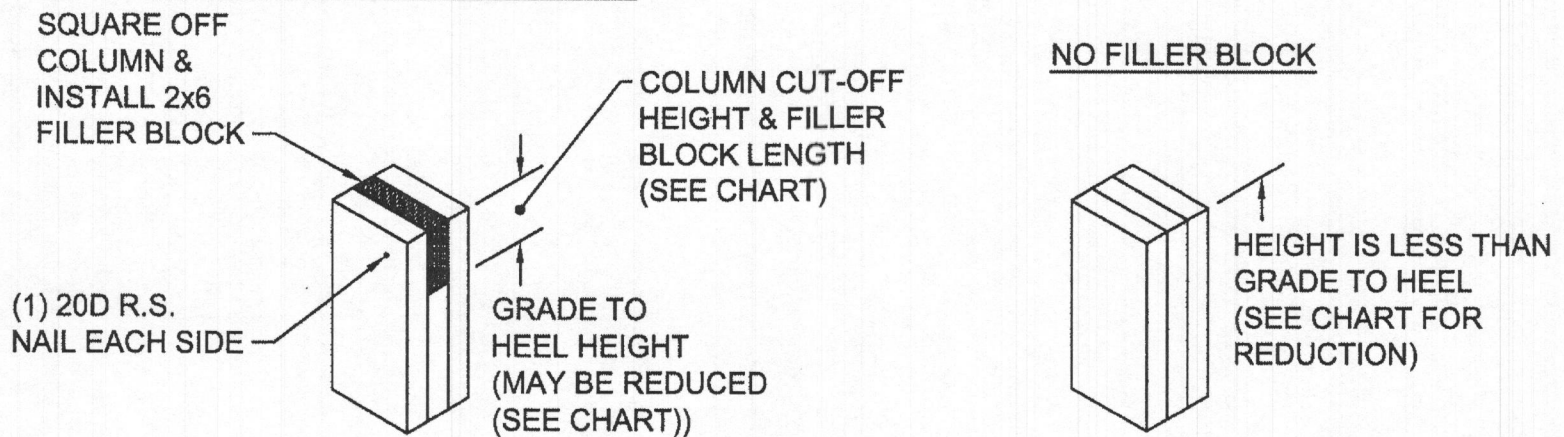
**CONCRETE SPECIFICATIONS -**  
Concrete shall be 3000 PSI mix minimum 440 lbs cement per yard of concrete. ASTM specifications C150 must be met. Maximum cement replaced by Class C fly ash per yard is 50 lbs (replaced at 1.5 times cement removed). Aggregate must be sound crushed rock or washed gravel 1" maximum diameter. Water reducer may be added.  
  
Inform the ready-mix company of a possible delay in unloading and expect additional charges for time delay of unloading.

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## HIP ROOF CORNER FRAMING (45° HIP)

### CORNER COLUMN FILLER BLOCK



### COLUMN CUT-OFF HEIGHT & FILLER BLOCK LENGTH

RAFTER SIZE	F.B./ C.C.O.	ROOF SLOPE								
		3/12	4/12	5/12	6/12	7/12	8/12	9/12	10/12	12/12
2x10	F.B.	3-7/8"	3-11/16"	3-1/2"	3-5/16"	3-1/16"	2-13/16"	2-1/2"	2-3/16"	2"
	C.C.O.	STD.	STD.	STD.	STD.	STD.	STD.	STD.	STD.	(1/2")
2x12	F.B.	2"	2"	2"	2"	2"	2"	2"	NONE	NONE
	C.C.O.	(3/16")	(3/8")	(9/16")	(13/16")	(1-1/8")	(1-7/16")	(1-3/4")	(1/8")	(15/16")
LVL	F.B.	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE
	C.C.O.	(3)"	(3-1/4")	(3-1/2")	(3-7/8")	(4-1/4")	(4-11/16")	(5-1/8")	(5-5/8")	(6-3/4")

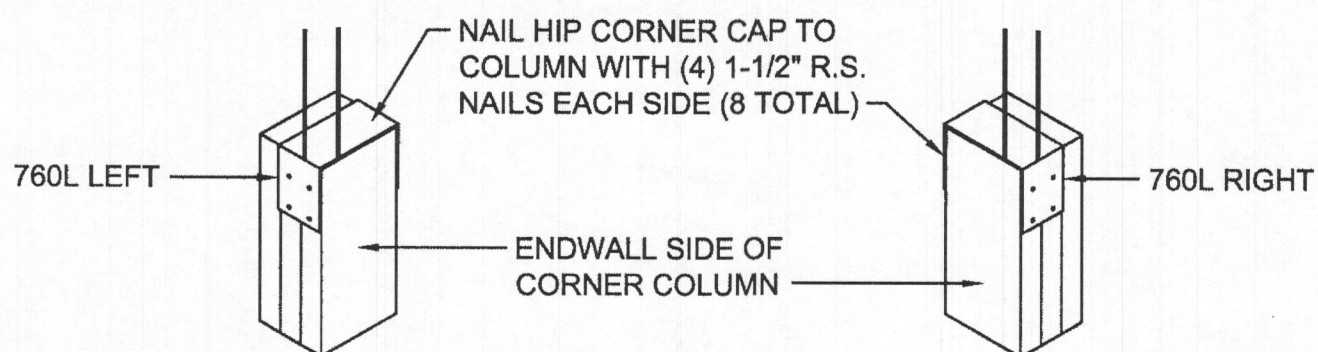
#### NOTES:

ALL DIMENSIONS ARE TAKEN FROM GRADE TO HEEL HEIGHT (DIM. IN ( ) ARE BELOW STANDARD CUT-OFF HEIGHT & ALL OTHERS ARE ABOVE STANDARD HEEL HEIGHT).

F.B. = FILLER BLOCK

C.C.O. = COLUMN CUT-OFF

### 760L HIP CORNER CAP INSTALLATION



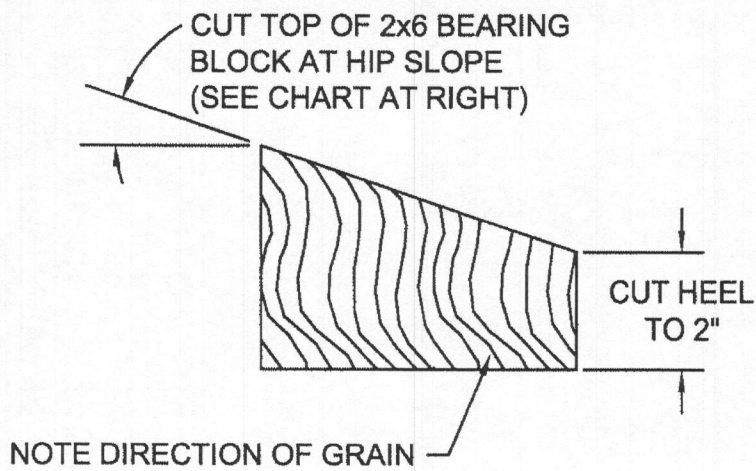




**MORTON BUILDINGS**  
CONSTRUCTION PROCEDURE MANUAL

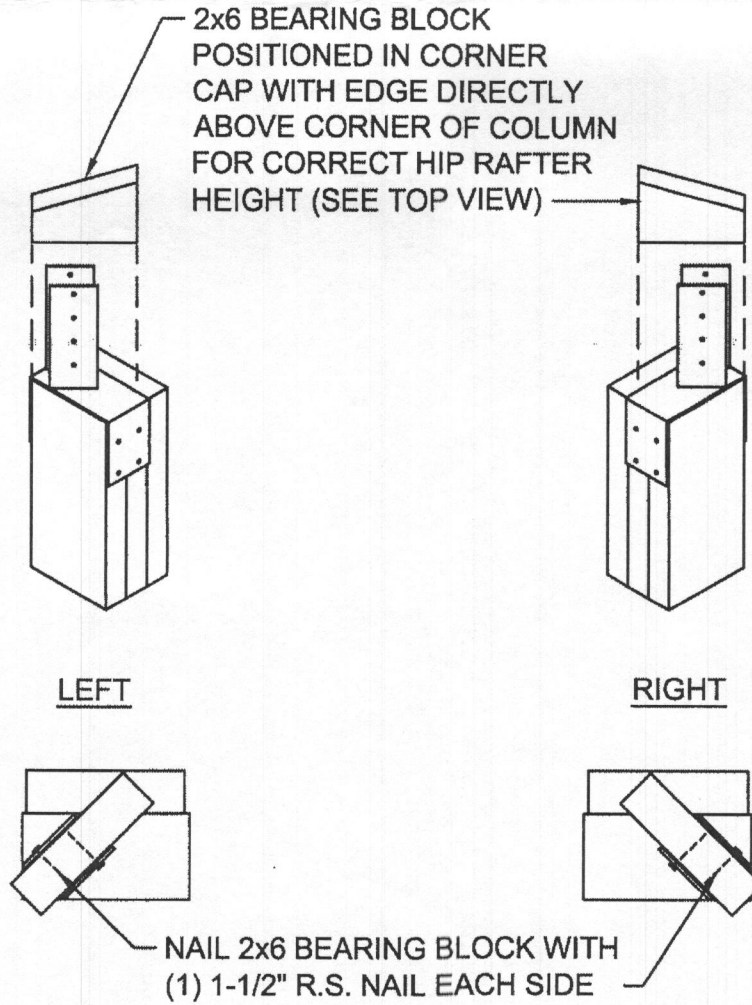
## HIP ROOF CORNER FRAMING (45°)

### CORNER COLUMN BEARING BLOCK



ROOF SLOPE	HIP SLOPE
3/12	(2-1/8)/12
4/12	(2-13/16)/12
5/12	(3-9/16)/12
6/12	(4-1/4)/12
7/12	(4-15/16)/12
8/12	(5-11/16)/12
9/12	(6-3/8)/12
10/12	(7-1/16)/12
12/12	(8-1/2)/12

### BEARING BLOCK INSTALLATION



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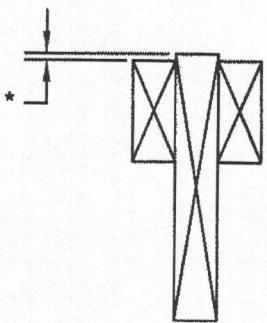


**MORTON BUILDINGS**  
CONSTRUCTION PROCEDURE MANUAL

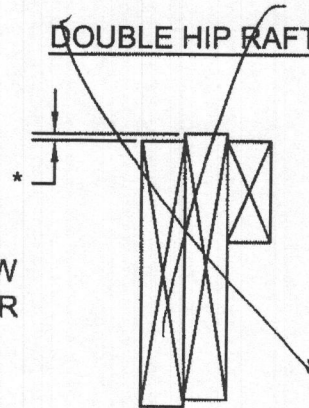
## HIP ROOF LEDGERS, PURLINS & BASE TRIM

(FOR A 45° HIP ONLY)

SINGLE HIP RAFTER



DOUBLE HIP RAFTER

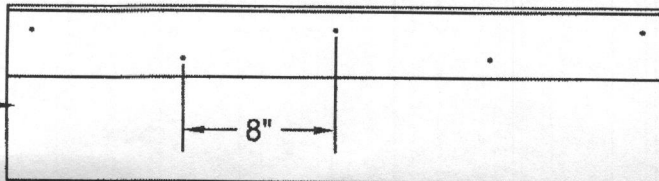


\*FOR A 45° HIP, POSITION (2) 2x4 LEDGERS OR 2ND HIP RAFTERS & LEDGER AT DIM. 'A' BELOW TOP OF HIP RAFTER (SEE CHART BELOW). FOR A HIP OTHER THAN 45°, 1 LEDGER MAY BE ABOVE HIP RAFTER & 1 MAY BE BELOW (SEE PLANS FOR LEDGER SETTING).

ROOF SLOPE	3/12	4/12	5/12	6/12	7/12	8/12	9/12	10/12	12/12
DIM. 'A'	1/4"	3/8"	7/16"	1/2"	9/16"	5/8"	11/16"	3/4"	7/8"

LEDGER NAILING

NAIL 2x4 LEDGERS (OR 2ND HIP RAFTER) TO HIP RAFTER WITH 10D GUN NAILS 8" O.C., STAGGERED.

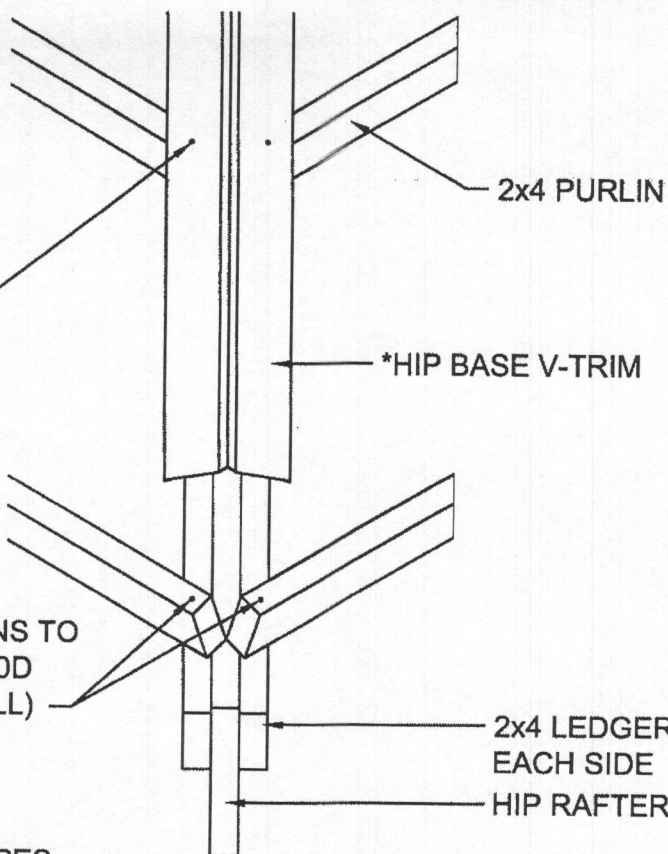


HIP BASE V-TRIM INSTALLATION

NAIL HIP BASE V-TRIM TO EACH PURLIN WITH (1) 1-1/2" R.S. NAIL

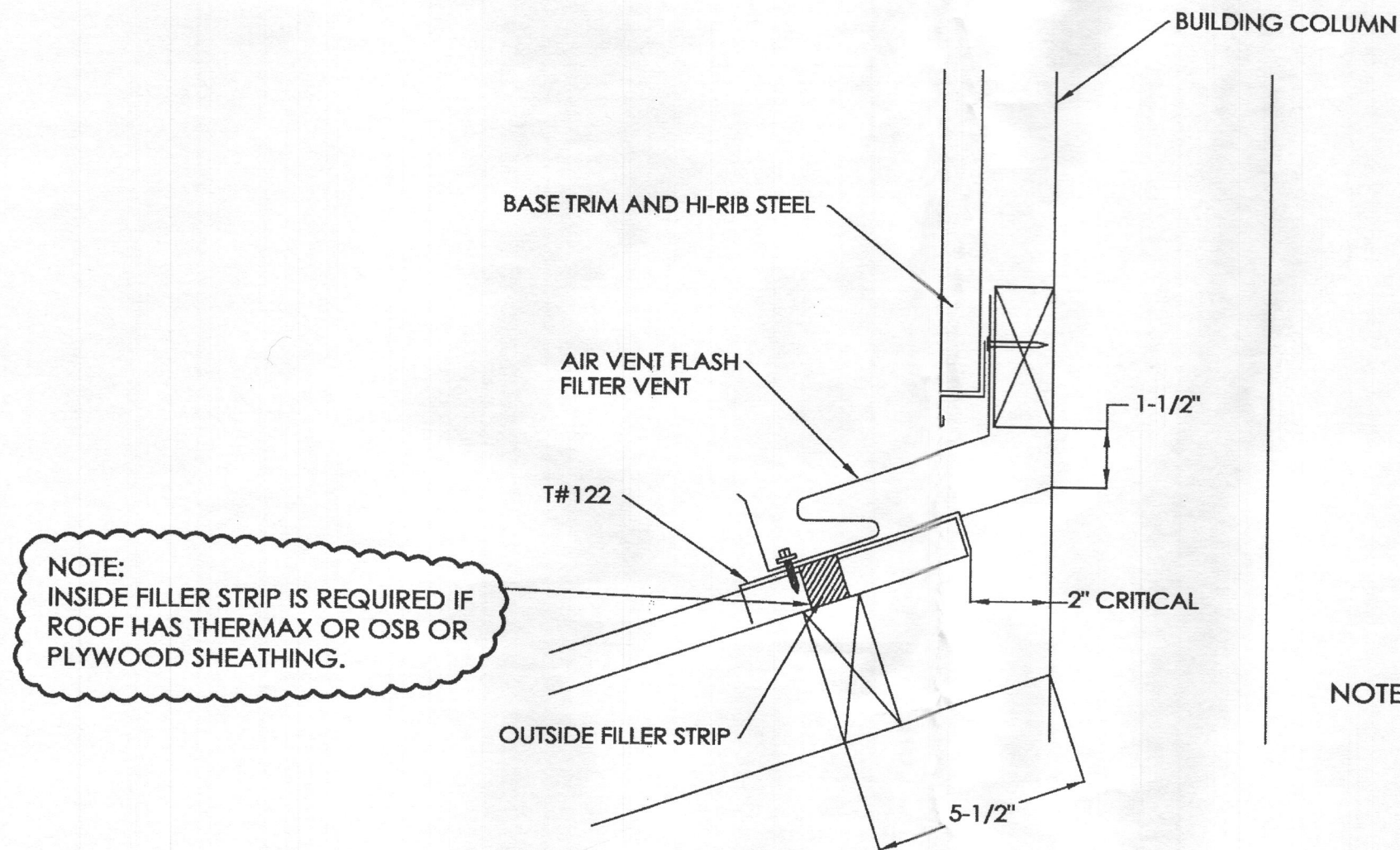
FASTEN 2x4 PURLINS TO LEDGER WITH (1) 60D R.S. NAIL (PRE-DRILL)

\*T#224 FOR UP TO 6/12 SLOPE.  
T#225 FOR 7/12 THROUGH 10/12 SLOPES.



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NOTE: INSIDE FILLER STRIP IS REQUIRED IF ROOF HAS THERMAX OR OSB OR PLYWOOD SHEATHING.

NOTE: IF THE VENT-A-FLASH COVER IS INCLUDED YOU MUST INCLUDE THIS PAGE IN YOUR DETAILS ALSO.

THE 2" DIMENSION IS CRITICAL SINCE IT WILL MAKE SURE THE STEEL AND TRIM IS EXTENDED HIGH ENOUGH TO HELP MAKE THE SYSTEM MORE WEATHERPROOF.

# **VENT-A-FLASH ON STEEL HI-RIB ROOF** (STEEL HI-RIB ROOF)

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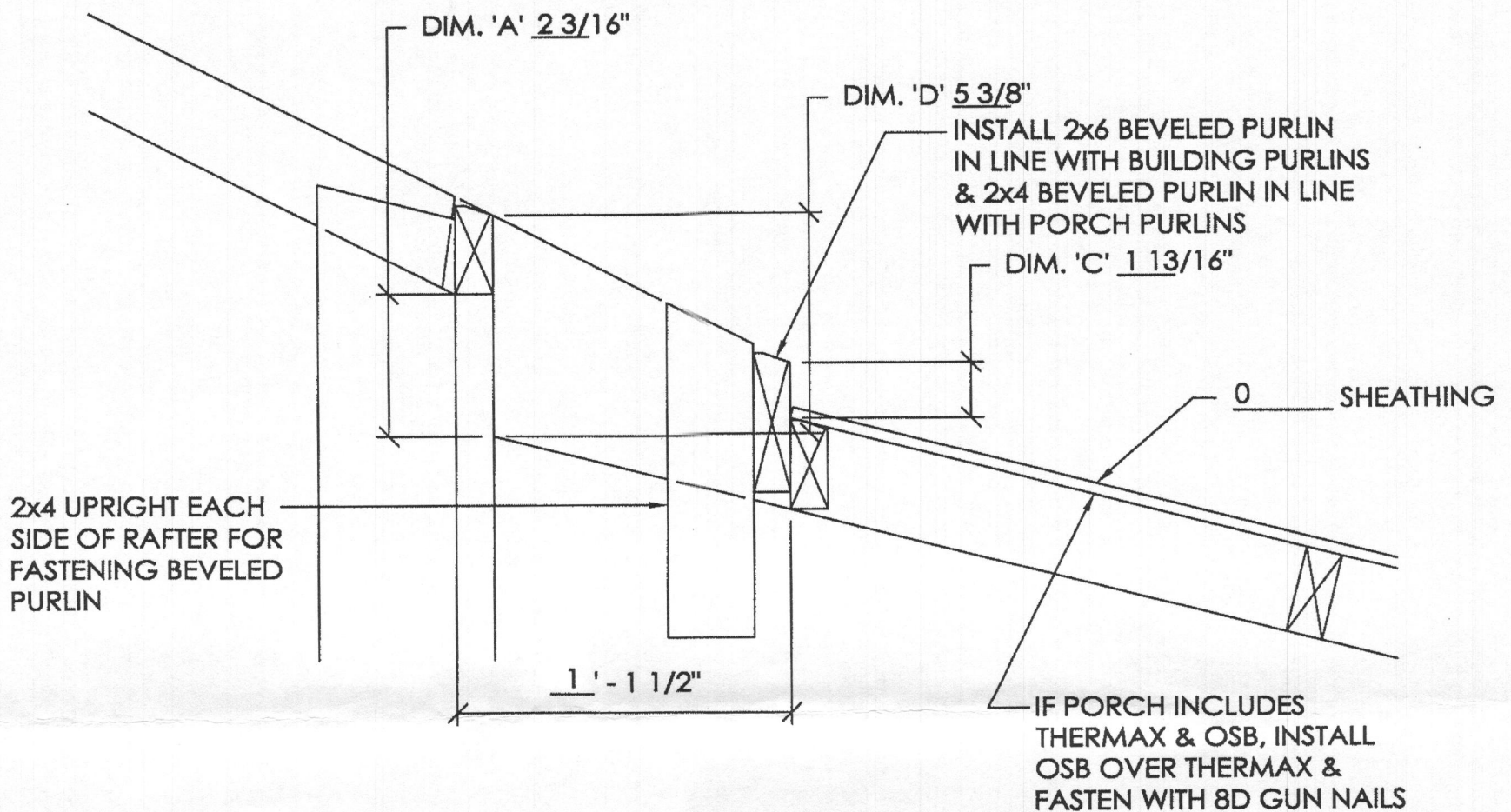


**MORTON BUILDINGS**  
CONSTRUCTION DETAILS

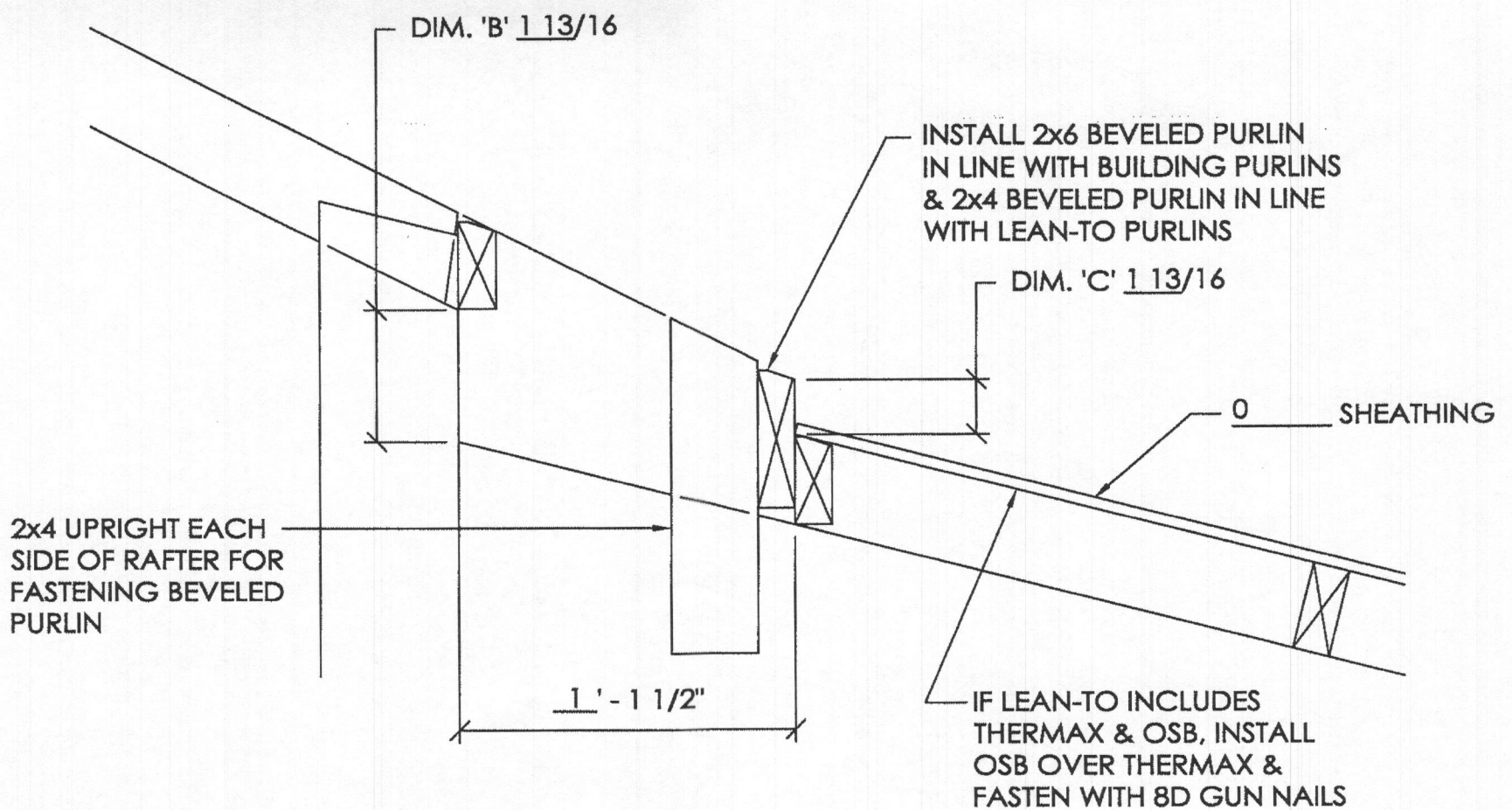
# CASE 1 PORCH/LEAN-TO CONNECTION

( 3 /12 BUILDING (2x4 PURLINS) TO A 3 /12 PORCH/LEAN-TO (2x4 PURLINS))

PORCH CONNECTED AT NAILER LINE WITH SET-DOWN TRANSITION AT OVERHANG LOCATION



LEAN-TO CONNECTED AT COLUMN LINE WITH SET-DOWN TRANSITION AT OVERHANG LOCATION



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LEAN-TO HEIGHT CALCULATOR			Project #:	
1) MAIN BUILDING GRADE-TO-HEEL HEIGHT	14	FT.		
2) MAIN BUILDING TRUSS HEEL HEIGHT	15.5	IN.		
3) MAIN BUILDING ROOF PITCH	3	/12		
4) MAIN BUILDING PURLIN TYPE (2x4 OR 2x6 PURLINS)	2x4	PURLINS		
5) LEAN-TO WIDTH	15	FT.		
6) LEAN-TO HEEL HEIGHT	15.5	IN.		
7) LEAN-TO ROOF PITCH	3	/12		
8) LEAN-TO PURLIN TYPE (2x4 OR 2x6 PURLINS)	2x4	PURLINS		
9) LEAN-TO SHEATHING THICKNESS	0"			
10) PITCH BREAK LOCATION	@ 1' OH	with T#177		
11) CASE 1 - LEAN-TO PITCH BREAK = @ 1' OH	DIM 'A'	DIM 'B'	DIM 'C'	DIM 'D'
	2 3/16"	1 13/16"	1 13/16"	5 3/8"
LEAN-TO HEIGHT		10	FT.	1 - 1/4 IN.
CUT-OFF HEIGHT		19 - 1/4	IN.	

DECIMAL-TO-FRACTION

0.0625 = 1/16"

0.1250 = 1/8"

0.1875 = 3/16"

0.2500 = 1/4"

0.3125 = 5/16"

0.3750 = 3/8"

0.4375 = 7/16"

0.5000 = 1/2"

0.5625 = 9/16"

0.6250 = 5/8"

0.6875 = 11/16"

0.7500 = 3/4"

0.8125 = 13/16"

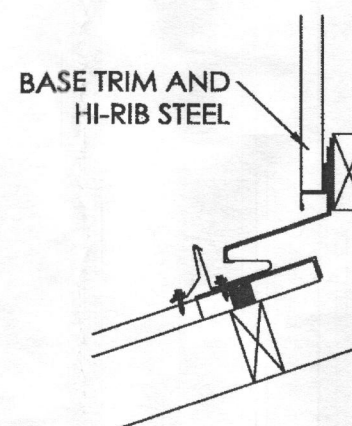
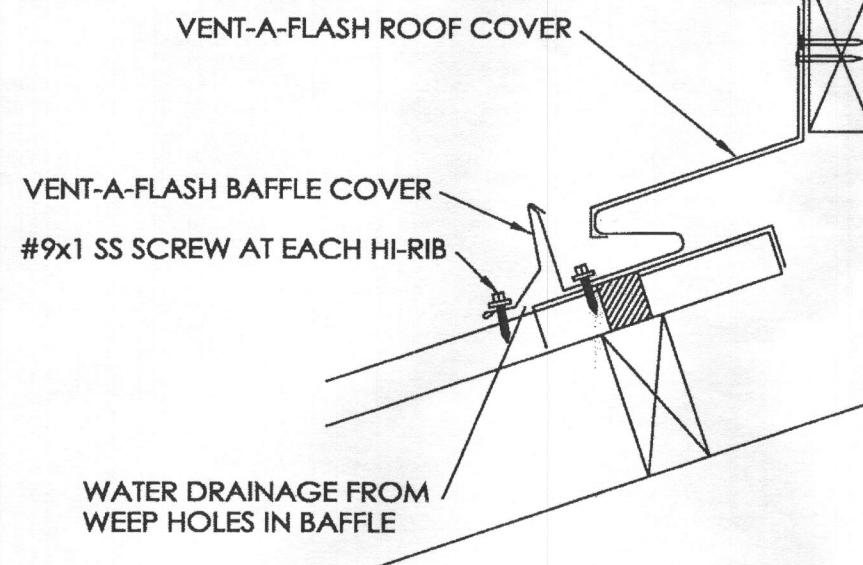
0.8750 = 7/8"

0.9375 = 15/16"

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THE VENT-A-FLASH COVER IS USED WHEN A STANDARD COLOR IS NOT AVAILABLE TO MATCH THE ROOF OR TRIM COLOR.



1. INSTALL THE VENT-A-FLASH SYSTEM PER STANDARD PROCEDURES.
2. COVER THE ROOF WITH VENT-A-FLASH ROOF COVER. HOOK THE BOTTOM END UNDER THE LOUVERS AND FASTEN THE TOP END TO THE NAILER.
3. HOOK THE VENT-A-FLASH BAFFLE COVER OVER THE VENT-A-FLASH BAFFLE AND STITCH THE CRIMPED LEG TO EACH HI-RIB.

NOTE: SEE DETAIL FOR VENT-A-FLASH ON STEEL HI-RIB ROOF FOR PURLIN, STEEL, AND T#122 POSITION.

## VENT-A-FLASH COVER

(STEEL HI-RIB ROOF)



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PAGE 2 OF 2  
DATE: 11/07

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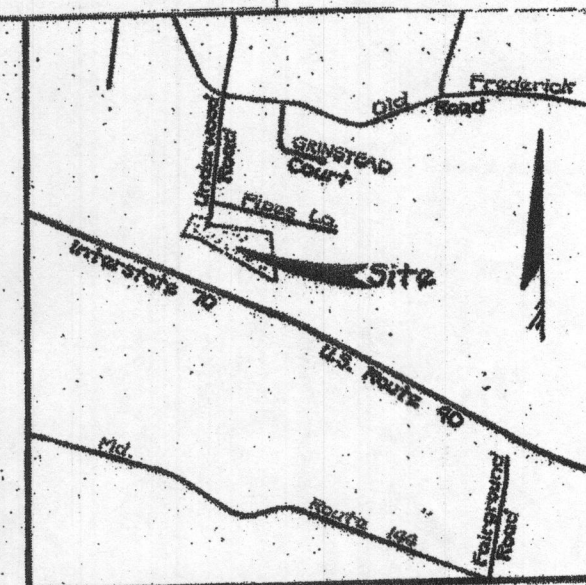
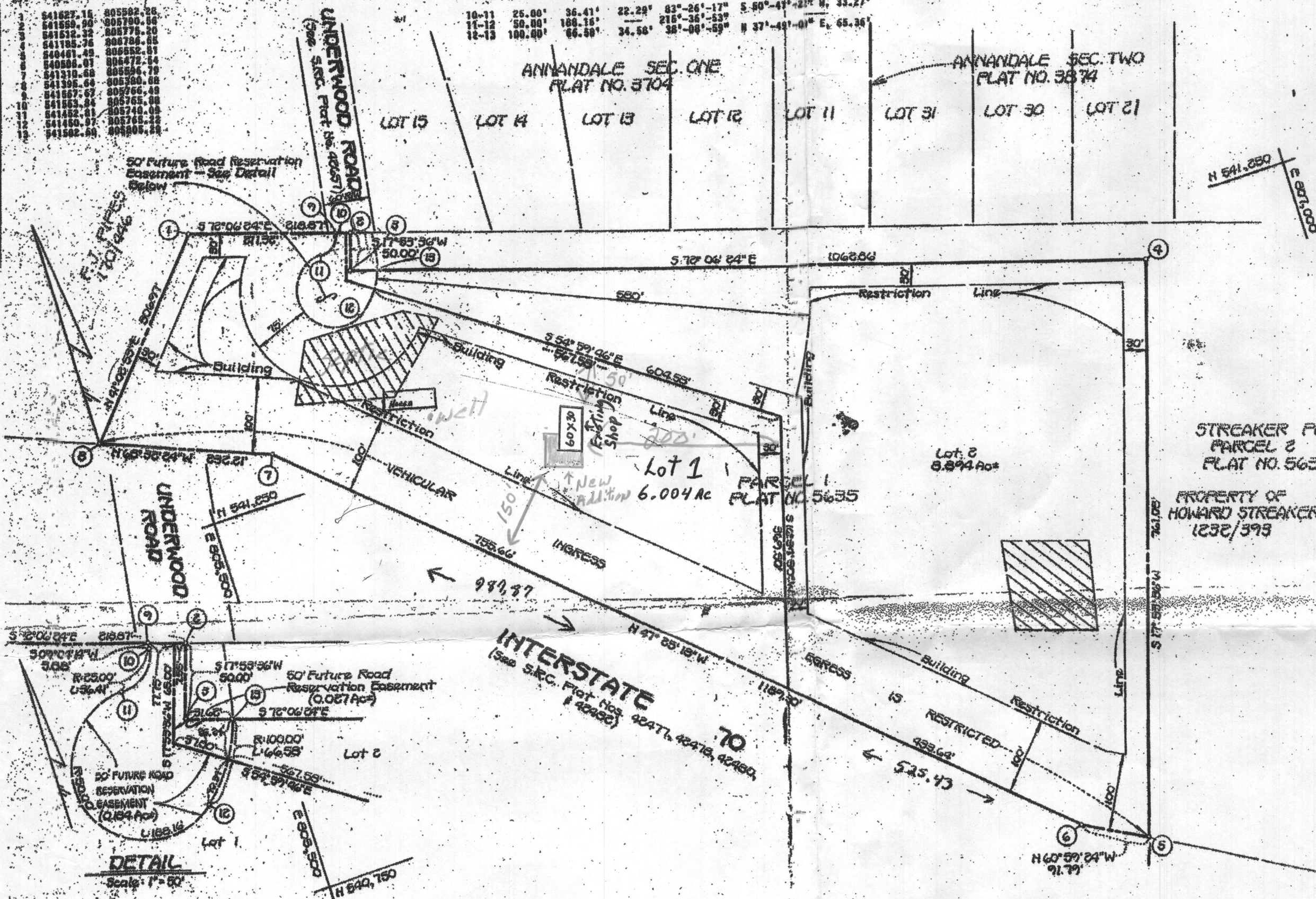
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PT.	NORTH	EAST
1	541827.15	805582.05
2	541828.35	805700.55
3	541830.35	805778.55
4	541833.35	805856.55
5	541837.35	805934.55
6	541842.35	806012.55
7	541848.35	806090.55
8	541855.35	806168.55
9	541863.35	806246.55
10	541872.35	806324.55
11	541882.35	806402.55
12	541893.35	806480.55
13	541905.35	806558.55

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING AND DISTANCE
10-11	25.00'	36.41'	22.28'	83°-26'-17"	S 60°-41'-21" W, 33.27'
11-12	50.00'	108.15'	—	216°-36'-53"	—
12-13	100.00'	36.50'	24.58'	38°-00'-59"	N 37°-49'-01" E, 65.36'



Vicinity Map  
Scale: 1"=6000'

- NOTES:
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
  - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
  - SUBJECT PROPERTY ZONED "R" PER 8/2/85 COMPREHENSIVE ZONING PLAN.
  - EXISTING STRUCTURE ON LOT 1.
  - THE COORDINATES SHOWN HEREON ARE BASED ON THE COORDINATE VALUES SHOWN ON PLAT #5635.
  - T.P. SET - DENOTES IRON PIN CAPPED 10692" SET.
  - CONC. MON. SET - DENOTES CONCRETE MONUMENT SET.
  - NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO THE EXISTING BUILDING ARE TO BE CONSTRUCTED AT A DISTANCE OF LESS THAN THE ZONING REGULATIONS ALLOW.
  - THIS PLAT IS SUBJECT TO VP-84-133-A1.
  - OFFICE OF PLANNING AND ZONING NO. R-84-19.
  - FURTHER SUBDIVISION OR RESUBDIVISION OF LOTS 1 OR 2 WILL REQUIRE PUBLIC ROAD CONSTRUCTION IN ACCORDANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY DESIGN MANUAL.
  - THE OWNERS OF LOTS 1 AND 2, SHALL GRANT A RIGHT-OF-WAY EXTENSION TO UNDERWOOD ROAD AS NECESSARY TO ACCOMMODATE THE EXTENSION OF UNDERWOOD ROAD TO ALLOW FOR THE SUBDIVISION OF PARCEL 2 AS SHOWN ON PLAT 6036 ENTITLED STREAKER PROPERTY.

STREAKER PROP.  
PARCEL 2  
PLAT NO. 5635

PROPERTY OF  
HOWARD STREAKER, JR.  
1232/393

#### Area Tabulation

Total number of lots to be recorded  
Total area of lots to be recorded  
Total area of roadway reservation Eas't  
Total area to be recorded

2  
14.898 Ac.  
0.211 Ac.  
15.109 Ac.

Owner &  
Developer  
Mr. & Mrs. William Streaker  
15900 Frederick Road  
West Friendship, Maryland 21794

Good Set (Menz)

PLAT 7059

1/28 1987 AMONG THE LAND RECORDS OF  
HOWARD COUNTY, MD

Fisher, Collins & Carter, Inc.  
Civil Engineers & Land Surveyors  
8588 Court Avenue  
Ellicott City, Maryland 21043  
Tel: (301) 461-6895

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

APPROVED FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

OWNER'S CERTIFICATE:  
WE, WILLIAM E. STREAKER, SR., AND MARY ANN STREAKER, HIS WIFE, HEREBY ADOPT THIS PLAN OF SUBDIVISION AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS, AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAIN AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS, THE FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY, WITNESS OUR HANDS THIS 22ND DAY OF NOVEMBER, 1986.

WILLIAM E. STREAKER, SR.  
MARY ANN STREAKER

#### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY TITLE CONTRACTORS, INC. TO WILLIAM E. STREAKER, SR. AND MARY ANN STREAKER, BY DEED DATED FEBRUARY 17, 1984 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN C.M.P. LIBER 1274 AT FOLIO 564 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND.

YERRELL A. FISHER, S. F10692 DATE

LOTS 1 & 2  
WILLIAM E. STREAKER  
SUBDIVISION  
A Resubdivision of  
Parcel 1

Tax Map 9 Eoning R P/O Parcel 528

Third Election District  
Howard County, Maryland

Scale: 1"=96 FT F-87-76 December 10, 1986

F-87-76

CK:MAF

Bruce + Nancy Menz  
1971 Underwood Rd.  
Sykesville, Md. 21784